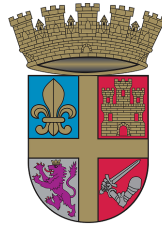


AMENDED



CITY OF
ST. AUGUSTINE
EST. 1565

CITY OF ST. AUGUSTINE PLANNING AND ZONING BOARD
TUESDAY, JULY 1, 2025 - 1:00 PM
ALCAZAR ROOM

1. Roll Call
2. General Public Comments for Items Not on the Agenda
3. Approval of Minutes
 - a) April 30, 2025, Special Meeting Minutes
 - b) May 6, 2025, Regular Meeting Minutes
 - c) June 3, 2025, Regular Meeting Minutes
4. Modification and Approval of Agenda
5. Conservation Overlay Zone Development
 - a) PZB2025-0041
Administratively Continued from the June 3, 2025 Regular Meeting
Ryan Carter - Applicant
c/o Carter Environmental Services
David Ott - Owner
[22 N Saint Augustine Blvd](#)
To approve the construction of a dock within Conservation Overlay Zones 1 & 2.
 - b) PZB2025-0042
Administratively Continued from the June 3, 2025 Regular Meeting
Intervest Construction of Jax. Inc. - Applicant
Carri Grass / Robert Grass - Owner
[111 Oyster Catcher Cir](#)
To approve the removal of significant trees within Conservation Overlay Zones 2 & 3.
 - c) PZB2025-0044
Continued from the June 3, 2025, Regular Meeting
Kevin Marks - Applicant
c/o Shoreland Home Builders
Angelo Tradito - Owner
c/o Old Stone Management
[Pelican Reef Dr / PID #158573-0070](#)
To approve the construction of a retaining wall within Conservation Overlay Zones 2 & 3.

d) PZB2025-0045 David Meck - Applicant & Owner
[Pelican Reef Dr / PID #158571-4070](#)
To approve the removal of a significant tree(s) within Conservation Overlay Zones 2 & 3.

e) PZB2025-0048 Intervest Construction of Jax. Inc. - Applicant
John & Erin Olinger - Owner
[124 Spartina Ave](#)
To approve the removal of significant trees within Conservation Overlay Zones 2 & 3.

f) ~~PZB2025-0050~~
~~*Withdrawn*~~
~~Tim Boehlein, PE—Applicant~~
~~c/o JBrown Professional Group Inc~~
~~Edward Nettles—Owner~~
~~c/o Jabez Enterprises, Inc~~
~~[100 Marina Cove Dr / PID #162220-0042](#)~~
~~[W Marina Cove Dr / PID #162220-0044](#)~~
~~To approve the removal of significant trees and significant tree canopy within Conservation Overlay Zone 3.~~

6. Variance

a) PZB2025-0036 Anthony Valachovic - Applicant & Owner
[205 Alcazar St](#)
Continued from the June 3, 2025, Regular Meeting
To approve a variance request to the front yard setback requirement and to increase the maximum lot coverage.

b) ~~PZB2025-0047~~
~~Continued from the June 3, 2025, Regular Meeting~~ *Administratively Continued to August 5, 2025 Meeting*
~~Huyen Le—Applicant~~
~~Phillip Le—Owner~~
~~[15 Garnett Ave](#)~~
~~To approve a variance request to the maximum square footage of a guest house and reduce the front yard setbacks.~~

7. Use by Exception

a) PZB2025-0049 James G. Whitehouse, Esq. - Applicant
Richard Dettra / Dettra Living Trust - Owner
[120 La Quinta Pl](#)
To approve a Use by Exception for an off-site parking facility within 400 feet of a commercial use at 115 La Quinta Pl.

8. Land Use Plan Amendment & Rezoning & Variance

a) PZB2025-0046 Amy Skinner - Applicant & Owner
c/o City of St. Augustine
[241 W King St](#)
Administratively Continued from the June 3, 2025 Regular Meeting
To approve a land use plan amendment to change the future land use from Commercial Medium Intensity to Public, a rezoning from Commercial Medium-Two (CM-2) to Government Use (GU) and a variance to eliminate the required off-street parking.

9. Other Business

- a) Board discussion to set a Special Meeting date in July.

10. Adjournment

Notices: In accordance with Florida Statute 286.0105: “If any person decides to appeal any decision made by the Historic Architectural Review Board with respect to any matter considered at this scheduled meeting or hearing, the person will need a record of the proceedings, and for such purpose the person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.” In accordance with the Americans with Disabilities Act, persons needing a special accommodation to participate in this proceeding should contact the individual or agency sending notice not later than seven days prior to the proceeding at the address given on the notice. Telephone: (904) 825-1007 or 1-800-955-8771 (TDD).

Please note that one or more members of the City Commission or its appointed boards or committees may attend this meeting and participate, however they may not engage in a discussion or debate amongst themselves on any issue that will likely come before their respective elected or appointed body.

The materials prepared and presented are part of the City’s ongoing Florida Public Records and Government in the Sunshine compliance, and are not intended to be relied upon or to reach investors or the trading markets.

CITY OF ST. AUGUSTINE

Planning and Zoning Special Board Meeting April 30, 2025

The Planning and Zoning Board met in formal session Wednesday, April 30, 2025, at 1:30 p.m. in the Alcazar Room at City Hall. The meeting was called to order by Christina Tucker, Chairperson, and the following were present:

1. Roll Call: Christina Tucker, Chairperson
Charles Pappas
Mike Davis
Carl Blow
Matthew Shaffer
Susan Johns

Absent: Ashleigh Barnes, Vice- Chairperson (Excused)

City Staff: Amy Skinner, Director, Planning & Building Department
Jacob Fredriksson, Planning & Building Planner
Sarah Daugherty, Senior Planner
Richard "Buddy" Schauland, Building Official
Jessica Beach, Chief Resiliency Officer and Deputy Director,
Utilities and Public Works
Ray Deschler, Flood Plain Coordinator
Isabelle Lopez, City Attorney
Elyse Weimann, Recording Secretary

2. General Public hearings for Items Not on the Agenda

none

3. Discussion and Recommendation of the Update to the City of St. Augustine Vision Statement

3. (a) Discussion related to the proposed update of the City's Vision Statement

Mr. Fredrikson opened the discussion by providing a recap of the public workshops that had been held starting in August of 2024 as well as the special meetings that the PZB, HARB, and CRC boards participated in to gather as much input for updating the city's 2014 Vision Plan. He stressed the

importance of the review and the subsequent recommendation to the City Commission.

Public hearing was opened; however, there was no response.

Board Discussion:

- Overall, the plan was well thought out
- Did not feel urban sprawl pertained to the city
- Change the wording for goals to strengthen and support the local economy
- Continued reference to livability was well stated
- The reference to previous comments was very helpful
- The biggest challenge was addressing the mobility in the city, especially during

the Nights of Lights and this should be included in the Vision Plan

- Mobility affected the quality of life for residents as well as the visitor experience
- The city was complying with statutes and would modify the language and the behavior to comport with the law.

MOTION

Ms. Tucker MOVED to RECOMMEND the updates to the Vision Plan to the City Commission. The motion was SECONDED by Mr. Pappas.

VOTE ON MOTION:

AYES: Tucker, Pappas, Johns, Shaffer, Blow, Davis

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

4. Discussion and Recommendation Regarding an Initiative to Develop more Resilient Criteria or Building for Flood Prevention

4. (a) Discussion related to developing criteria in the land development code to incorporate more resilient types of construction and site development techniques in flood prone areas

Amy Skinner, Planning and Building Director, advised that board that the City Commission had directed them to develop more resilient criteria for building flood prevention. She said that the draft included revised examples of higher regulation standards as well as language from the environmental consultant and internal staff.

Sarah Daughtery, Senior Planner, advised the board that the staff had been collaborating to create an article for lot grading and the plan was to codify the measures previously determined such as limits for impervious surface and a lot grading packet including lot grading review for single-family development. She explained that the code would create a hierarchy for

neighborhoods depending on the level of storm water, and it would house the language that would address the fill and also created a framework for internal use to determine who would be responsible for the review process. She added that some language had been included to address maintaining proper drainage on each property.

Public hearing was opened.

Ms. Tucker read a letter from the public in the record citing that any changes to the code would likely have a negative impact on the area and that building on stem walls or piers would be the best plan.

Donna Dove said the discussion pertained more to new construction instead of existing properties. She said her property was on the list to be raised, and the footprint of her home would not change even if it were elevated. She was concerned that she would not be approved given that her home was on a slab. She asked if there was a way to grandfather some of these homes into the revised code language. She said the homes on Anastasia Island were different to those in Lincolnville and felt the rules should be specific to the location.

Lauren Giber stated her home was built with crawl space causing many issues.

Tom Bartlett asked for clarification regarding the limit of thirty inches for retaining walls.

Board Discussion:

Mr. Shaffer said that the board needed to implement something regarding shoreline standards. He asked if St. Augustine was the only municipality that was in the process of amending the criteria for development in Conservation Overlay Zones. He said that it was necessary to address the issue of fill. He questioned if the plan was to strike a balance

Ms. Lopez said that other jurisdictions had criteria they abided by that was more specific to their location.

Ms. Skinner said the criteria were in the original 1990 Comprehensive Plan and were based on science at that time. She said that over time, criteria may need to be updated to keep up with the changes in the area. She said that seventy-five percent of the city had a natural shoreline, and the plan was to be consistent with other rules, thus the thirty-inch measure for flood walls was established.

Ms. Tucker wanted to have criteria people could meet without having to come to the Planning and Zoning Board or have an appeals process providing more information about how their neighbors would not be impacted and then those would come before the board.

Ms. Skinner said that appeals would come before the PZB with an engineering assessment and additional information.

Ms. Tucker felt there would be a need for a variance or appeals process as there were many different circumstances with homes and the best placement for them would be in chapter 28.

Ms. Tucker continued asking about the fill limitations and said it was understood that the intent of the limits was to steer builders to use alternative construction methods to stay within the parameters. She said that the residential lot grading did not indicate the age of the survey to be used in the plan and the minimal fill limit should be defined.

Ms. Skinner advised that the survey should show current conditions.

Mr. Blow commented that it was clear that not everyone would be happy, but this process was necessary. He pointed out that FEMA was pushing flood insurance and mandating how high the homes should be

with little concern for the environment. He felt that it was important to have a variance process to address the many unique situations in the area. He said that the focus should be on actual flood zones. He noted that staff were not completely comfortable with the red-lined version received from the consultant but highlighted page six of the ordinance that said to incorporate native seagrass and native plants, he said that seagrass caused many issues when trying to dredge and seagrass was not native to this area and should be eliminated. He spoke about the section that dealt with the enhancement of seawalls specifically the one around Davis Shores as this was beyond its useful life and these projects should promote riprap as this was a good process to protect property and contributed to a living shoreline.

Ms. Lopez questioned applications that had a lot of silting with a narrow useable passageway.

Mr. Blow said that navigation should be taken into consideration in those cases and whether it would be impeded. He asked why the PZB needed to be involved in developments with an approved master stormwater plan.

Mr. Davis agreed that neighborhoods with existing master plans should be left alone. He said that the difficult part of the process was getting the proper balance between property rights versus new building standards, he favored no changes to the twenty-five foot buffer language on an existing lot and thought homes that were trying to be raised due to flood impacts should also be grandfathered in. He wanted to confirm where the thirty-inch flood wall would be measured from; existing grade varied from house to house so he felt that there should be more clarification for consistency. He mentioned a five percent increase in lot coverage as an incentive for those who were using the stem wall or pier construction. He wanted to incorporate standards for fill at the garage level. He said

that as long as there was no fill being added at the back of the property in Davis Shores, the seawall, as long as it was at the same height as other ones in the area, should not come to PZB. He was in favor of adding a separate line for retaining wall instead of a flood wall.

Ms. Johns was concerned with the language regarding the issuance of permits. She noted that most applications would be approved because most professionals would not admit harmful effects. There needed to be clarification of who would conduct any review of projects.

Mr. Pappas asked if the proposed flood elevation of a minimum seven feet was enough. He liked the idea of offering incentives to builders.

Ms. Skinner thought this was beneficial and the comments would be used to make some adjustments and then bring it back to the Board for a recommendation.

5. Discussion and Recommendation Regarding the Required Update to the City's Water Supply Plan

5. (a) Discussion related to the proposed update of the City's Water Supply Plan

Amy Skinner explained to the Board that the water supply plan was adopted in 2020. She advised that the city was required to update the plan in concert with the Water Management District (WMD) every five years and that update was due by June. She said the WMD would review the existing plan and notate any necessary updates and once that was completed, she would then include the requested updates in the city's plan and provide a red lined version for the PZB to review at the June meeting and subsequently make a recommendation to the City Commission.

¹ Transcribed by Michele Fudo

Public hearing was opened.

Lauren Giber asked about the collection of rainwater in various open fields to create an additional water supply.

Public hearing was closed.

Board discussion:

- All of the potable water was from the ground
- The city had a permit for the discharge of treated wastewater
- The city had submitted a plan as required to address SB 64
- The city did not have the infrastructure at this time to process reclaimed water
- There was a spring located off of the shoreline that was active and produced thousands of gallons of fresh water

Mr. Pappas told the board that he had had discussions with others in the community and asked if the city would be amenable to providing pre-approved building plans.

Ms. Lopez advised that the city would have to proceed with caution with pre-approved plans as this could potentially bypass HARB review.

Ms. Skinner pointed out that often the delays come from the insurance process or FEMA, not the permitting process.

6. Adjournment

Having no further business, Ms. Tucker adjourned the meeting at 3:34 P.M.¹

Christina Tucker, Chairperson

CITY OF ST. AUGUSTINE

Planning and Zoning Board Regular Meeting
May 6, 2025

The Planning and Zoning Board met in formal session Tuesday, May 6, 2025, at 1:00 p.m. in the Alcazar Room at City Hall. The meeting was called to order by Christina Tucker, Chairperson and the following were present:

1. Roll Call: Christina Tucker, Chairperson
Charles Pappas
Mike Davis
Carl Blow
Matthew Shaffer
Susan Johns

Absent Ashleigh Barnes, Vice- Chairperson (Excused)

City Staff: Amy Skinner, Director, Planning & Building Department
Jacob Fredriksson, Planning & Building Planner
Sarah Daugherty, Senior Planner
Isabelle Lopez, City Attorney
Michele Fudo, Recording Secretary

2. General Public hearings for Items Not on the Agenda

BJ Kalaidi said that the PZB should modify the WCCRA plan to leave Oyster Creek in its natural condition, to not allow for parking on West King Street and dining on the sidewalks on West King Street.

3. Approval of Minutes

MOTION

Mr. Blow **MOVED** to **APPROVED** the April 1, 2025 minutes as presented. The motion was **SECONDED** by Mr. Pappas and **PASSED** by **UNANIMOUS VOICE VOTE**.

MOTION

Mr. Blow **MOVED** to **APPROVED** the February 19, 2025 Special Meeting minutes as presented. The motion was **SECONDED** by Mr. Pappas and **PASSED** by **UNANIMOUS VOICE VOTE**.

MOTION

Mr. Blow **MOVED** to **APPROVED** the December 18, 2024 Special Meeting minutes as presented. The motion was **SECONDED** by Mr. Pappas and **PASSED** by **UNANIMOUS VOICE VOTE**.

4. Modification and Approval of Agenda

MOTION

Mr. Pappas **MOVED** to **APPROVE** the Agenda as presented. The motion was **SECONDED** by Mr. Davis and **PASSED** by **UNANIMOUS VOICE VOTE**.

5. Conservation Overlay Zone Development

**5. (a) PZB2025-0018 – Svend E. Pelch – Applicant
Pelch Family Trust – Owner
28 N. St. Augustine Boulevard**

Continued from the April 1, 2025 Regular Meeting

To approve the construction of a seawall on top of an existing bulkhead and to construct a flood wall within Conservation Overlay Zones 2 & 3.

Ms. Daugherty read the staff report and said review of Section 11-29 is the responsibility of the Planning and Zoning Board for the proposed development within Conservation Overlay Zones 2 and 3. This application is for the construction of a seawall on top of an existing bulkhead and to construct a flood wall within COZ 2 & 3 at 28 N. St. Augustine Boulevard / PID 213490-0000.

Steve Lawrence reviewed the application.

Ex Parte Communication: none

Public hearing was opened; however, there was no response.

The Board discussed:

- Confirmed the number of check valves at four located on the seawall
- There would be no fill added
- The elevation question had been answered
- The height of the seawall seemed to be appropriate
- The application met the criteria
- There had been no objections from the property owner on the north side
- The height of the wall on the north property line would be thirty inches

MOTION

Ms. Tucker MOVED to APPROVE application PZB2025-0018 for the construction of a seawall on top of an existing bulkhead and to construct a flood wall within Conservation Overlay Zones 2 and 3. The motion was SECONDED by Mr. Blow.

VOTE ON MOTION:

AYES: Tucker, Blow, Johns, Shaffer, Pappas, Davis

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

5. (b) PZB2025-0019 – Amanda Mishoe c/o Robert Chalk Construction Company Inc. – Applicant

Amelia Duddington – Owner

Spring Street / PID 108880-0221

Continued from the April 1, 2025 Regular Meeting

To approve the removal of significant trees within Conservation Overlay Zone 3.

Ms. Daugherty read the staff report and said review of Section 11-29 is the responsibility of the Planning and Zoning Board for the proposed development within Conservation Overlay Zone 3. This application is for the removal of one significant tree at Spring Street / PID 108880-0221.

Amanda Mishoe and Robert Chalk reviewed the application.

Ex Parte Communication: none

Public hearing was opened; however, there was no response.

The Board discussed:

- Confirmed that there were eight trees being removed of which three were significant trees

Mr. Shaffer asked how the trees were positioned on the property in relation to the proposed structure.

A brief discussion followed to determine which trees were going to be removed according to the documents provided by the applicant.

- Agreed that it was necessary to remove the trees listed
- No fill would be added to the site

MOTION

Mr. Shaffer MOVED to APPROVE application PZB2025-0019 at Spring Street for the removal of significant trees within Conservation Overlay Zone 3. The motion was SECONDED by Mr. Pappas.

VOTE ON MOTION:

AYES: Shaffer, Pappas, Johns, Blow, Davis, Tucker

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

5. (c) PZB2025-0021 – Kenan Wang c/o TWP Management LLC DBA K. Nan Construction – Applicant

Li Fang and Mei Hua He – Owner
21 Hybiscus Ave / PID 149870-0221

Continued from the April 1, 2025 Regular Meeting

To approve the placement of fill within Conservation Overlay Zone 1 for the construction of a single-family residence and approve the removal of a significant tree canopy within Conservation Overlay Zone 2.

Ms. Daugherty read the staff report and said review of Section 11-29 is the responsibility of the Planning and Zoning Board for the proposed development within Conservation Overlay Zone 1 and 2. This application is for the placement of fill and the removal of significant tree canopy within COZ 1 and 2 at 21 Hybiscus Avenue / PID 149870-0221.

Kenan Wang reviewed the application.

The Board presented their Ex Parte Communication.

Public hearing was opened.

BJ Kalaidi asked about the status of the tree canopy. She wanted a better description provided.

Public hearing was closed.

The Board discussed:

- It appeared that the arborist report was still missing
- Trees on the side of the property were being removed because they were deemed not healthy and others were in the footprint of the structure

Mr. Wang reviewed the arborist report for the board along with the tree survey.

- The water oak was within the footprint of the building
- Wanted clarification of the proposed grading plan
- It appeared that the property would be clear cut
- The trees on the west side of the property could be saved
- The plan was to use stem wall construction
- Confirmed that most of the fill would be on the east side of the lot
- Wanted to have more clarity with the application prior to approval.

Ms. Lopez advised the applicant to provide an oversized paper version of the tree survey to include the footprint of the house.

Mr. Shaffer suggested continuing the application so additional documentation could be provided for review.

MOTION

Mr. Shaffer MOVED to CONTINUE application PZB2025-0021 to the June 3, 2025 meeting. The motion was SECONDED by Ms. Tucker.

VOTE ON MOTION:

AYES: Shaffer, Tucker, Johns, Blow, Davis, Pappas

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

5. (d) PZB2025-0022 – Kenan Wang c/o TWP Management LLC DBA K. Nan Construction – Applicant

Li Fang and Mei Hua He – Owner
23 Hybiscus Ave / PID 149870-0240
Continued from the April 1, 2025 Regular Meeting

To approve the placement of fill within Conservation Overlay Zone 1 for the construction of a single-family residence and approve the removal of a significant tree canopy within Conservation Overlay Zone 2.

Ms. Daugherty read the staff report and said review of Section 11-29 is the responsibility of the Planning and Zoning Board for the proposed development within Conservation Overlay Zone 1 and 2. This application is for the placement of fill and the removal of significant tree canopy within COZ 1 and 2 at 23 Hybiscus Avenue / PID 149870-0240.

The Board presented their Ex Parte Communication.

Public hearing was opened; however, there was no response.

The Board discussed:

Mr. Blow asked staff about the purchase of mitigation credits.

Ms. Lopez advised that there were no mitigation banks available in the city in the basin.

MOTION

Ms. Tucker MOVED to CONTINUE application PZB2025-0022 at 23 Hybiscus Avenue to the June 3, 2025 meeting. The motion was SECONDED by Mr. Pappas.

VOTE ON MOTION:

AYES: Tucker, Pappas, Johns, Shaffer, Blow, Davis,

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

5. (e) PZB2025-0024 – Nathan Bussey c/o Pivot Construction LLC – Applicant

William Woodward – Owner
Weeden St / PID 206871-0020
Continued from the April 1, 2025 Regular Meeting

To approve the removal of significant trees within Conservation Overlay Zone 3.

Ms. Daugherty read the staff report and said review of Section 11-29 is the responsibility of the Planning and Zoning Board for the proposed development within Conservation Overlay Zone 3. This application is for the removal of two significant trees at Weeden Street / PID 206871-0020.

Nathan Bussey reviewed the application.

The Board presented their Ex Parte Communication.

Public hearing was opened.

BJ Kalaidi asked if it was permitted to provide donations to the mitigation fund. She also wanted to know if it was possible to donate trees to be planted in the Lincolnville area.

Ms. Daugherty advised that code did not allow for donations to be counted as tree mitigation credits. She said that the applicant had enough credits in the updated proposal.

Public hearing was closed.

The Board discussed:

- Currently there were no trees on the lot
- The plan was reviewed as presented in the packet
- Were there trees that would grow faster to replace the canopy on the lot
- The proposed plan met the requirements for tree mitigation; the plan was a good solution
- The staff summary indicated that 5 significant trees were removed
- FPL requested that there be an easement in the front right of way

- Planning and Building would coordinate with the CRA for the placement of the trees

MOTION

Mr. Blow MOVED to APPROVE application PZB2025-0024 for the replacement of three six-inch live oaks on the east end of the lot and two cabbage palms; the applicant would provide five live-oak trees, four-inch caliper to the city of St Augustine to be planted in Lincolville to be determined by the city staff or a monetary settlement to be negotiated between the applicant and the staff. The motion was SECONDED by Mr. Pappas.

VOTE ON MOTION:

AYES: Blow, Pappas, Johns, Shaffer, Davis, Tucker

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

**5. (f) PZB2025-0028 – Ryan Carter c/o Carter Environmental Services – Applicant
Joe Tringali – Owner
211 Inlet Drive**

To approve modification to an existing dock within Conservation Overlay Zones 1 & 2.

Ms. Daugherty read the staff report and said review of Section 11-29 is the responsibility of the Planning and Zoning Board for the proposed development within Conservation Overlay Zone 1 and 2. This application is for the modification of a dock at 211 Inlet Drive / PID 213710-0000.

Ryan Carter reviewed the application.

The Board presented their Ex Parte Communication.

20 certified notices were sent, 1 was returned in favor, 0 were returned opposed and 0 had comments.

Public hearing was opened; however, there was no response.

The Board discussed:

- The requested modifications appeared necessary
- Any unnecessary pilings would be removed after the modifications were complete
- The application met criteria
- Clarified the distance between the proposed dock and the channel

MOTION

Mr. Davis MOVED to APPROVE application PZB2025-0028 at 211 Inlet Drive for modifications to an existing dock within Conservation Overlay Zone 1 & 2 because it met the seventeen criteria. The motion was SECONDED by Mr. Pappas.

VOTE ON MOTION:

AYES: Davis, Pappas, Johns, Shaffer, Blow, Tucker

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

**5. (g) PZB2025-0029 – Kevin M Marks c/o Shoreland Home Builders – Applicant
Ron and Pam Bowman – Owner
201 Pelican Reef Dr. / PID 158573-0010**

To approve the removal of significant trees within Conservation Overlay Zones 2 & 3.

Ms. Daugherty read the staff report and said review of Section 11-29 is the responsibility of the Planning and Zoning Board for the proposed development within Conservation Overlay Zone 2 and 3. This application is for the removal of significant trees at 201 Pelican reef Drive / PID 158573-0010.

Kevin Marks reviewed the application.

The Board presented their Ex Parte Communication.

10 certified notices were sent, 3 were returned in favor, 0 were returned opposed and 0 had comments.

Public hearing was opened; however, there was no response.

The Board discussed:

- If the driveway was reconfigured, it seemed that some of the trees could be saved
- The consensus with the arborist was that the trees would eventually be negatively affected
- Four of the cedar trees would be saved
- Most of the trees would be negatively affected because of the fill, which was necessary to bring the garage to base flood elevation
- Recognized the challenges for the builder; however, trying to rework the plan could potentially save a few more trees
- Felt that the driveway could be reconfigured to save an eleven-inch oak and a twelve-inch cedar
- There would still be adverse conditions, and the trees would likely have to be removed later
- Verified the location of the ten cedar trees
- At this time there was no plan for a retaining wall
- Needed to provide clarification to the applicant to leave the 11-inch oak

MOTION

Mr. Pappas MOVED to APPROVE application PZB2025-0029 at 201 Pelican Reef Drive for the removal of six significant trees to construct a single-family home with the condition that tree number two and tree number six would be saved. The motion was SECONDED by Ms. Tucker.

VOTE ON MOTION:

AYES: Pappas, Tucker, Johns, Shaffer, Blow, Davis

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

5. (h) PZB2025-0030 – Ryan Pereira – Applicant & Owner 201 Inlet Drive

To approve the construction of a dock within Conservation Overlay Zones 1 & 2.

Ms. Daugherty read the staff report and said review of Section 11-29 is the responsibility of the Planning and Zoning Board for the proposed development within Conservation Overlay Zone 1 & 2. This application is for the construction of a dock at 201 Inlet Drive / PID 213750-0000.

Terri Pereira, Ryan LaConte, Marie Lipuria reviewed the application.

Ex Parte Communication: none

21 certified notices were sent, 0 were returned in favor, 0 were returned opposed and 0 had comments.

Public hearing was opened; however, there was no response.

The Board discussed:

- Confirmed the proposed changes were to expand from a four-foot-wide boardwalk to a five-foot-wide boardwalk with an added ten by twelve upland platform
- Confirmed that the lot was not being split
- The original drawing showed 260 feet but did not include the terminal end platform, the actual length was 295 feet

MOTION

Mr. Davis MOVED to APPROVE application PZB2025-0030 at 201 Inlet Drive for the construction of a dock within Conservation Overlay Zone 1 & 2 as it met

the seventeen criteria. The motion was **SECONDED** by Mr. Pappas.

VOTE ON MOTION:

AYES: Davis, Pappas, Johns, Shaffer, Blow, Tucker

NAYES: NONE

MOTION CARRIED UNANIMOUSLY¹

There was a request by James McGarvey to have item 8.b. PZB2025-0034 heard earlier in the agenda.

MOTION

Mr. Davis made a **MOTION** to move item 8.b. earlier in the agenda. The motion was **SECONDED** by Ms. Tucker and **PASSED WITH A VOICE VOTE OF 5/1**

6. Variance

6. (a) PZB2025-0026 – Mike Koppenhafer c/o Fisher Koppenhafer Architecture + Interior Design – Applicant Robert and Georgiana Pulak – Owner 134 Oneida Street

To approve a variance request to the front and side yard setbacks and to increase the maximum lot coverage.

Mr. Fredrikson read the staff report and said based on a review of Sec. 28-29 staff finds that the Board may approve the variance request for

- A secondary front yard setback of four (4) feet
- A side yard setback of six (6) feet eight (8) inches along the western property line,
- A side yard setback of three (3) feet eight (8) inches along the northern property line, and
- A maximum lot coverage of forty-nine and seven tenths (49.7) percent at 134 Onieda Street / PID 211200-0000.

Mike Koppenhafer and Rob Pulak reviewed the application.

The Board presented their Ex Parte Communication.

23 certified notices were sent, 1 was returned in favor, 3 were returned opposed and 2 had comments.

Public hearing was opened.

BJ Kalaidi said she was concerned that that the size of the addition was too large for the lot and that neighbors might be affected negatively.

Public hearing was closed.

The Board discussed:

- The proposed porch addition would be about one foot above the fence line
- The addition would be one story
- This was a non-conforming lot
- The current lot coverage was thirty-five-and one-half percent
- Confirmed removal of all pavers
- The size of the porch could be scaled down
- This was a small lot measuring .08 acres
- Did not see the justification for the setback variance on the north side of the property
- Needed to bring the proposed addition in line with the required setback on the north side to a five-foot setback
- Confirmed that the construction would be on CMU piers
- The house was on a stem wall

Ms. Lopez advised that the board could articulate the underlying facts, such as the removal of the pavers and the specific facts for the reason of the approval.

Mr. Davis said that the reason the board was considering approving the lot coverage

¹ Break 3:03 – 3:16 pm

above thirty-five percent was this was a small, non-conforming lot, and the type of construction of the house was stem wall, which allowed for better drainage.

MOTION

Mr. Shaffer MOVED to APPROVE application PZB2025-0026 based on the modified proposal, which reduced the size of the addition and factored in the type of construction that was proposed as well as existing. No variance would be granted for the north setback, and the addition would be in line with the current northern elevation; the type of construction would be on piers as the existing house was. The motion was SECONDED by Mr. Pappas.

VOTE ON MOTION:

AYES: Shaffer, Pappas, Johns, Blow, Davis, Tucker

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

6. (b) PZB2025-0032 – Kelley Gudahl Sinclair – Applicant & Owner 208 Alcazar Street

To approve a variance request to increase the maximum fence height within the front yard setback.

Mr. Fredrikson read the staff report and said based on a review of Sec. 28-29 staff finds that the Board may either

- APPROVE the variance request for a fence with a height of eight (8) feet as the practical difficulty or unnecessary hardship is so substantial, serious and compelling due to the layout of this property or
- DENY the variance request for a fence with a height of eight (8) feet as there is no singular, unique disadvantage identified at 208 Alcazar Street / PID 216700-0000

Jason and Kelly Sinclair reviewed the application

The Board presented their Ex Parte Communication.

17 certified notices were sent, 4 were returned in favor, 0 were returned opposed and 3 had comments.

Public hearing was opened; however, there was no response.

The Board discussed:

- It was clear that the fence needed to be replaced
- Expressed sympathy regarding the increased traffic in the area as well as the privacy and security
- There were no objections from the neighbors
- Preferred replacing the fence with six-foot height and using natural screening
- The backyard was the side yard as well, which created a disadvantage

MOTION

Mr. Pappas MOVED to APPROVE application PZB2025-0032 for the variance request for the maximum fence height as the singular disadvantage was the house being on a corner lot. The motion was SECONDED by Mr. Blow

VOTE ON MOTION:

AYES: Pappas, Blow, Johns, Shaffer, Davis, Tucker

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

6. (c) PZB2025-0033 – Andrew Douglas – Applicant & Owner 201 Kenan Street

To approve a variance request to increase the maximum fence height within the front yard setback.

Mr. Fredrikson read the staff report and said based on a review of Sec. 28-29 staff finds that the Board may either APPROVE the variance request for a fence with a height of six (6) feet as the practical difficulty or unnecessary hardship is so substantial , serious and compelling due to the layout of this property OR DENY the variance request for a fence with a height of six (6) feet as there is no singular, unique disadvantage identified at 201 Kenan Street / PID 222550-0000.

The applicant was not present.

Mr. Davis made a MOTION to move item 6.c. to the end of the agenda. The motion was SECONDED by Mr. Pappas and APPROVED by UNANIMOUS VOICE VOTE.

Mr. Pappas said that this would go to Code Enforcement since the applicant was still not present and this was an after the fact approval.

Mr. Shaffer suggested that the application be denied without prejudice.

The Board presented their Ex Parte Communication.

15 certified notices were sent, 0 were returned in favor, 0 were returned opposed and 0 had comments.

Public hearing was opened.

Donna Dove said that the fence blocked the view on the road from either side. She felt that this intersection needed to have clear visibility, and this was not possible with the fence height at six feet.

BJ Kalaidi said that there was an ordinance that regulated the height of the fence at four feet tall.

Public hearing was closed.

The Board discussed:

Mr. Shaffer confirmed that there was an ordinance that regulated the height of fences.

Mr. Pappas advised that he had been by the site and agreed that the visibility for drivers was compromised with the fence height.

MOTION

Mr. Shaffer MOVED to DENY WITHOUT PREJUDICE application PZB2025-0033 a variance request to increase the maximum fence height within the front yard setback at 201 Kenan Street. The reason for the denial was that the request did not meet criteria part D that granting of the variance would not be contrary to the public interest and would not adversely affect other property in the vicinity. The motion was SECONDED by Mr. Pappas.

VOTE ON MOTION:

AYES: Shaffer, Pappas, Johns, Blow, Davis, Tucker

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

7. Use by Exception

7. (a) PZB2025-0011 – Jack Banks – Applicant & Owner
8 Grant Street

Continued from the March 4, 2025 Regular Meeting

To approve a use by exception for one (1) off-site parking space within the Municipal Parking Garage.

Mr. Fredrikson read the staff report and said based on a review of Sec. 28-29 staff finds that the Board may APPROVE the use by exception request for one (1) off-site automobile parking space within the Municipal Parking Garage at 8 Grant Street / PID 156600-0000.

In the event of this request is approved by the Board, staff also recommends the following conditions:

- Approval of this use by exception for one

(1) automobile parking space within the Municipal Parking Garage is contingent upon providing proof of a parking pass at the time of vacation rental registration
- When registering the short-term rental at 8 Grant Street, proof of purchase for a parking pass with the same duration as that of the vacation rental registration period shall be provided to the Code Enforcement Division

Jack Banks reviewed the application.

The Board presented their Ex Parte Communication.

Public hearing was opened; however, there was no response.

The Board discussed:

- The parking garage needed to be listed in the advertisement as a potential place to park
- The applicant had completed the due diligence
- The parking garage was inconsistent with health and safety concerns

MOTION

Mr. Blow MOVED to APPROVE application PZB2025-0011 with the stipulation that the advertising for the short-term rental clearly stated that the only available parking was located at the Municipal Parking Garage. The motion was SECONDED by Ms. Tucker.

VOTE ON MOTION:

**AYES: Blow, Tucker, Johns, Davis
NAYES: Shaffer, Pappas
MOTION CARRIED 4/2**

**7. (b) PZB2025-0031 – Jacob Throneburg
c/o Curaleaf FI, LLC – Applicant
Layth Adamo c/o PV Commercial
Management LLC – Owner
1280 N. Ponce de Leon Boulevard**

To approve a use by exception for a medical marijuana dispensary.

Mr. Fredriksson read the staff report and said based on a review of Dec. 28-29 staff finds that the Board may APPROVE, with or without conditions, a medical marijuana treatment center use by exception request within the CM-2 zoning district at 1280 N. Ponce de Leon Boulevard / PID 190630-0000.

Jacob Throneburg reviewed the application.

The Board presented their Ex Parte Communication.

10 certified notices were sent, 0 were returned in favor, 0 were returned opposed and 0 had comments.

Public hearing was opened; however, there was no response.

The Board discussed:

- Using the criteria, it appeared that this could be approved
- Verified that the five hundred feet was measured from door to door
- Confirmed the hours of operation to be Monday thru Saturday 10am -8:30pm and Sunday 10am-7pm

MOTION

Mr. Pappas MOVED to APPROVE application PZB2024-0031 use by exception for a medical marijuana dispensary. The motion was SECONDED by Mr. Shaffer

VOTE ON MOTION:

AYES: Pappas, Shaffer, Johns, Blow, Davis, Tucker

**NAYES: NONE
MOTION CARRIED UNANIMOUSLY²**

**7. (c) PZB2025-0035 – Star Song School – Applicant
James N Sheils c/o FBM Holdings, LLC – Owner
101 Masters Drive**

To approve a use by exception for a school.

Mr. Fredriksson read the staff report and said based on a review of Sec. 28-29 staff finds that the Board may APPROVE, with or without conditions, a school use by exception request at 101 Masters Drive / PID 110110-0000.

Irene Arriola reviewed the application.

The Board presented their Ex Parte Communication.

10 certified notices were sent, 1 was returned in favor, 0 were returned opposed and 0 had comments.

Public hearing was opened; however, there was no response.

The Board discussed:

- The application met the criteria
- There had been no complaints from neighboring businesses regarding traffic problems
- This property had been a school for a number of years
- The proposed school had a lessor attendance than previously
- Student pickup could be off the street
- A Use by Exception stays with the applicant, so no conditions were necessary

MOTION

² Break 4:52 – 5:11 pm

Ms. Tucker MOVED to APPROVE application PZB2024-0035 for a Use by Exception for a school at 101 Masters Drive. The motion was SECONDED by Mr. Pappas.

**VOTE ON MOTION:
AYES: Tucker, Pappas, Johns, Shaffer, Blow, Davis
NAYES: NONE
MOTION CARRIED UNANIMOUSLY**

8. Rezoning

**8. (a) PZB2025-0008 – Mark Shelton, AICP c/o Kimley-Horn and Associates, Inc. – Applicant
Toll Southeast LP Company, Inc. – Owner
Arapaho Ave / PID 134780-0000; 1500
Arapaho Ave / PID 134770-0001; 1510
Arapaho Ave / PID 134790-0000**

Continued from the April 1, 2025 Regular Meeting

To approve a PUD modification to allow the removal of significant trees within Conservation Overlay Zones 2 & 3.

Mr. Fredriksson read the staff report and said based on Sec. 28-29 of the City's Code, given the scale and complicated nature of PUDs, the PZB shall require review of a planned unit development final development plan, and narrative requirements with at least two (2) public hearing(s) in an effort to garner as much information and public input as possible, as well as, to finalize any recommendations to the city commission.

The Planning and Zoning Board is required to provide a report and recommendation to the City Commission showing that the Board has studied and considered:

1. The need and justification for the change
2. The relationship of the proposed amendment or rezoning to the city's general planning program and such comprehensive plans as may from time

to time be adopted by the city commission

3. Consistency with the comprehensive plan.

In addition, staff requests that in order to ensure that the proposed mitigation plan exceeds typical City requirements, the rationale for choosing the types and quantities of trees proposed to be planted should be provided to serve as support for an acceptable mitigation plan prior to a Board recommendation

Mark Shelton, Jason Scarberry, Carl Masters, and Mark White reviewed the application.

Mr. Shelton reviewed the language that had been changed in the PUD after negotiations with the city.

Ex Parte Communication: presented

Public hearing was opened.

BJ Kalaidi said that she had not seen the additional text changes and asked that this section be read out loud for those that were not in attendance.

Ms. Lopez advised that she had not been involved in the process for the PUD. She said that she had a conversation with Ms. Avery-Smith regarding the two separate conditions; that one should be specific to the PUD and a separate condition for the shipyard application.

Ms. Johns asked the applicant who had been in the negotiations.

Ms. Tucker advised that the language was online and the change to the language had not been affected in the changes presented.

Mr. Shelton advised that the language included a conversation with Ms. Lopez and the suggestions from the board.

Mr. Blow thought that the application should not be heard until the shipyard application was heard as they should be connected.

Mr. Pappas suggested moving this application to the second hearing and then they would be able to hear both applications at the same time.

Public hearing was closed.

The Board discussed:

Mr. Shaffer agreed with comments that were made. He thought that the language "natural causes" should be changed or removed.

Ms. Johns highlighted the language in the text stating that the trees were guaranteed "but for an act of God"

Ms. Tucker read the new language provided by the applicant into the record. She said that she was not in favor of waiving the second hearing. She reiterated that the reference to natural causes needed to be changed.

Mr. Davis asked if a reference to code enforcement should be included in the text.

Ms. Lopez agreed that code enforcement should be included.

Mr. Scarberry advised that the reference to "act of God" removed the ninety-day limit for replacement of trees should they die.

Ms. Johns asked for clarity in the language concerning replacement of trees if they were destroyed by an act of God.

Ms. Lopez asked the Board to give her an indication of what they wanted included in the text of the PUD regarding the modification.

The Board advised that the phrase natural causes needed to be removed, also the language regarding destruction by acts of God needed to clarify the time limits for replacement of trees.

MOTION

Mr. Pappas MADE A MOTION TO MOVE application PZB2025-0008 to a second hearing June 3, 2025. The motion was SECONDED by Ms. Tucker.

VOTE ON MOTION:

AYES: Pappas, Tucker, Johns, Shaffer, Blow, Davis

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

**8. (b) PZB2025-0034 – James McGarvey
c/o Real Estate Development – Applicant
James McGarvey – Owner
36 Granada Street**

To approve a PUD modification.

This item was heard prior to item 6.a.

Mr. Fredriksson read the staff report and said based on Sec. 28-29 of the City's Code, the Planning and Zoning Board (PZB) is required to provide a report and recommendation to the City Commission showing that the Board has studied and considered:

1. The need and justification for the change.
2. The relationship of the proposed amendment or rezoning to the city's general planning program and such comprehensive plans as may from time to time be adopted by the city commission.
3. Consistency with the comprehensive plan

Given the scale and complicated nature of PUDs and based on Sec. 28-29 of the City's Code, the PZB shall require review of a planned unit development final development plan, and narrative requirements with at least two (2) public hearing(s) in an effort to garner as much information and public input as possible, as well as, to finalize any recommendations to the city commission.

James McGarvey reviewed the request for the amendment for the PUD, whichs was regarding the mural on the outside of the building. He proposed placing a framed pictorial history on the interior of the building.

The Board presented their Ex Parte Communication.

9 certified notices were sent, 0 were returned in favor, 0 were returned opposed and 0 had comments.

Public hearing was opened.

BJ Kalaidi expressed her concerns with PUD in general. She was against not painting the outside of the building.

Public hearing was closed.

The Board discussed

Mr. Shaffer felt that the reasoning for the justification for the change was acceptable, and he agreed with staff analysis of the proposed amendment, that it was consistent with requirements and consistent with the comprehensive plan.

Ms. Tucker asked staff about the parking language in the text.

Mr. Fredriksson advised that this was provisional in the event that the parking code was updated.

Mr. Blow thought that painting a feed store sign on the building would be confusing to the public.

Mr. Davis agreed that historical photos on the inside met the intent of the project and felt that this was a good compromise.

Mr. Pappas wanted some type of signage outside as this was supposed to be a mural of the past. He said that he did not support the change in the language for parking as it was designed to incorporate that parking

regulation at the time the PUD was established.

Mr. Shaffer had no issue with placing photos inside the facility rather than a mural on the outside.

Mr. Blow said that there had been much discussion regarding parking at this building and some relaxation of regulation had been incorporated in the PUD.

Ms. Lopez advised that what had been requested was effectively a self-amending provision so that when parking code was changed, the PUD would change with the new regulation.

A discussion followed to determine if a sign should be placed outside of the building to commemorate the different businesses that had existed in the past.

Ms. Tucker asked that applicant if that would be an acceptable compromise.

Mr. McGarvey listed the different uses that the building had housed over the many years that it had stood at the site. He advised the Board that this building had never been considered an historic building.

Ms. Lopez advised that since this was a PUD modification, the Board could add any conditions that would be stated to staff and those could be included in the recommendation to the city commission.

MOTION

Mr. Shaffer MOVED to RECOMMEND application PZB2025-0034 to the city commission to leave the current wording regarding parking as it exists in the current PUD and that in lieu of the mural there be an exterior historical reference to past uses of the building that had existed previously consistent with other markers in the city. The motion was SECONDED by Mr. Pappas.

VOTE ON MOTION:

AYES: Shaffer, Pappas, Johns, Blow, Davis, Tucker

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

9. Other Business

9.(a) West City Community Redevelopment Area (WCCRA) plan adoption recommendation

Jaime D. Perkins provided the Board with a presentation of the proposal for the WCCRA. She highlighted Section five of the plan and advised the Board that their objective was to review this section and confirm that it complied with the city comprehensive plan and then make a recommendation to the Community Redevelopment Agency Board. She highlighted the modifications in the plan that had been made at the mayor's suggestion.

Ms. Tucker listed the concerns that Ms. Kalaidi had brought forth at the beginning of the meeting including no funding for the parking garage and leaving Oyster Creek in its natural state.

Ms. Perkins responded and advised that there were no certainties in the plan regarding specific projects or programs; however, it allowed for the plan to have flexibility. She advised that the city did not own West King Street, and the CRA/City Commission asked that there be no language in the plan regarding how the funds would be used.

Mr. Shaffer asked if there would be an opportunity for public input when determining how any monies would be allocated.

Ms. Perkins referred to the Statement of Project and Program Implementation in the plan that defined how projects would go forward and that the CRA would have the final say on those plans. She said that this was thirty-year plan and there may not be an opportunity to amend the plan in the future.

Mr. Davis asked what the real intent of the CRA would be.

Ms. Perkins advised that the CRA was being established to address slum and blight in the area and parking was part of the problem.

Mr. Davis asked if the Broudy parking garage was to go through, what year would the city be purchasing the garage.

Ms. Lopez advised that negotiations were ongoing and currently there was a tiered approach to having the opportunity to purchase that structure and later to purchase the land on a thirty- year time frame.

MOTION

Mr. Davis MOVED TO RECOMMEND the WCCRA plan as modified to the City Commission with the finding that it complied with the Comprehensive Plan. The motion was SECONDED by Mr. Pappas.

VOTE ON MOTION:

AYES: Davis, Pappas, Johns, Shaffer, Blow, Tucker

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

10. Adjournment

Having no further business, Ms. Tucker adjourned the meeting at 6:27 P.M.³

Christina Tucker, Chairperson

³ Transcribed by Michele Fudo

CITY OF ST. AUGUSTINE

Planning and Zoning Board Regular Meeting
June 3, 2025

The Planning and Zoning Board met in formal session Tuesday, June 3, 2025, at 1:00 p.m. in the Alcazar Room at City Hall. The meeting was called to order by Asleigh Barnes, Vice-Chairperson and the following were present:

1. Roll Call: Ashleigh Barnes, Vice- Chairperson
Charles Pappas
Mike Davis
Carl Blow
Matthew Shaffer
Susan Johns

Absent Christina Tucker, Chairperson (Excused)

City Staff: Amy Skinner, Director, Planning & Building Department
Jacob Fredriksson, Planning & Building Planner
Sarah Daugherty, Senior Planner
Isabelle Lopez, City Attorney
Michele Fudo, Recording Secretary

2. General Public hearings for Items Not on the Agenda

Kimberly Graine provided an update regarding the community gate and access off Ponce Island Drive. She said that they were working with the developer and were pleased with the substantial improvements. She said that there were still concerns with the road to the commercial parcel and was requesting that there be one road going in and out of the commercial area.

3. Approval of Minutes

none

4. Modification and Approval of Agenda

Item 5.d was ADMINISTRATIVELY CONTINUED to the July 1, 2025 Planning and Zoning Board meeting.

Item 5.e was ADMINISTRATIVELY CONTINUED to the July 1, 2025 Planning and Zoning Board meeting.

Item 10.a was ADMINISTRATIVELY CONTINUED to the July 1, 2025 Planning and Zoning Board meeting.

MOTION

Mr. Pappas MOVED to APPROVE the Agenda with the following changes: PZB2025-0041, PZB2025-0042 and PZB2025-0046 would be continued to the July 1, 2025 meeting. The motion was SECONDED by Mr. Blow.

VOTE ON MOTION:

AYES: Pappas, Blow, Johns, Shaffer, Davis, Barnes

NAYES:

MOTION CARRIED UNANIMOUSLY

5. Conservation Overlay Zone Development

5. (a) PZB2025-0003 – William Schaefer c/o Dominion Engineer Group – Applicant Michael Braren Manager c/o Ponce Commercial, LLC – Owner

4000 US Highway 1 N/PID 073430-0032 & US Highway 1 N/PID 073430-0035

To approve the removal of significant trees within Conservation Overlay Zone 3.

Mr. Fredriksson read the staff report and said review of Section 11-29 and Chapter 25 is the responsibility of the Planning and Zoning Board for the proposed development and tree mitigation within Conservation Overlay Zone 3 along US Highway 1 N /PID's 073430-0032 & 073430-0035.

William Schaefer, Brett Goddard, Mike Braren and Ellen Avery-Smith reviewed the application. Mr. Schaefer provided graphics for the board to review, and Mr. Goddard continued the review specifically in relation to the tree removal, explaining that there was no tree mitigation required.

The Board presented their Ex Parte Communication.

Public hearing was opened.

Kimberley Graine said that the current iteration of the plan was much improved. She said that the engineer had advised that the lighting and noise issues would be addressed as the property was developed. She told the Board that the St. Johns River Water Management District modification was still pending. She felt that the plan for the screening area between the residential and commercial was improved.

Ms. Avery-Smith focused the board on the tree removal.

Public hearing was closed.

The Board discussed:

- The plan looked good
- Confirmed that five of the parcels were currently under contract

Ms. Avery-smith pointed out that there was a significant amount of fill being placed on the

parcels as well as the arsenic remediation area that was required.

- Confirmed that significant trees were outside the remediation area and the developer was looking for a different option for parcel fourteen
- Confirmed which parcels were currently under design
- Verified that the thirty-eight inch oak tree would not be saved because of the necessary turnaround for delivery vehicles
- The applicant had responded to concerns
- The addition of the tree wells would save two more trees
- The southern portion of the property was not part of the review
- Confirmed that the only thing being done in that area was a cul de sac

MOTION

Ms. Barnes MOVED to APPROVE application PZB2025-0003. The motion was SECONDED by Mr. Pappas.

VOTE ON MOTION:

AYES: Barnes, Pappas, Johns, Shaffer, Blow, Davis

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

5. (b) PZB2025-0021 – Kenan Wang c/o TWP Management LLC DBA K. Nan Construction – Applicant
Li Fang and Mei Hua He – Owner
21 Hybiscus Avenue / PID 149870-0221

To approve the placement of fill within Conservation Overlay Zone 1 for the construction of a single-family residence and approve the removal of significant tree canopy within Conservation Overlay Zone 2.

Ms. Daugherty read the staff report and said review of Section 11-29 is the responsibility of the Planning and Zoning Board for the

proposed development within Conservation Overlay Zone 1 and 2. This application is for the placement of fill and the removal of significant tree canopy within COZ 1 and 2 at 21 Hybiscus Avenue / PID 049780-0221

Kenan Wang reviewed the application

The Board presented their Ex Parte Communication.

Public hearing was opened.

Dr. Sylvia O'Neale described the property in the application as being close to Fort Mose Park and was home for a variety of birds species. She was concerned that there had been too much development in the wetlands in Florida. She also mentioned that the wetlands were a natural filter for the water supply in Florida.

Mr. Wang provided his rebuttal.

Public hearing was closed.

The Board discussed:

Mr. Shaffer asked staff how the board should consider the development of the lots in question.

Mr. Lopez advised that no net loss was the policy of the city; however, this did not exclude the applicant from purchasing credits elsewhere.

Mr. Shaffer responded saying that this was a platted parcel and zoned for residential development. He continued saying the goal was to maintain as much tree canopy as possible and questioned why several trees on the Prado Avenue side were proposed for removal.

Mr. Wang referred to the arborist report and said that some of the trees were too close to the footprint of the proposed structure. He confirmed stem wall construction and said that there was a possibility to shift the footprint saving some of the trees.

Mr. Davis explained that depending on which way a tree was leaning, toward the structure, or away from the structure, would determine if a tree could remain viable after construction.

Mr. Blow confirmed that the applicant owned five parcels of which only two were usable. He suggested placing a conservation easement on the three parcels that could not be developed.

Mr. Davis said that all requested information had been provided, and he had no problem with the application. He agreed that a conservation easement was a good idea and advised the public that all the requirements had been met to develop the property.

Mr. Pappas felt that the fill would have a serious impact, and he would like to see the applicant replant trees.

Mr. Davis verified that the fill was only what was necessary to grade the lot properly.

MOTION

Ms. Barnes MOVED to TABLE PZB 2025-0021 to open PZB2025-0022. Mr. Pappas SECONDED the motion. MOTION PASSED BY UNANIMOUS VOICE VOTE.

MOTION

Mr. Pappas MOVED to REOPEN PZB2025-0021. The motion was SECONDED by Mr. Blow. MOTION PASSED BY UNANIMOUS VOICE VOTE.

MOTION

Ms. Barnes MOVED to APPROVE application PZB2025-0021 to approve the placement of fill as per the plans received on June 3, 2025 from the owner and the removal of significant trees identified in the same plans conditional on the placement of a conservation easement agreement for lots 23, 25, and 27 / PID 1498700230. The motion was SECONDED by Mr. Pappas.

VOTE ON MOTION:

AYES: Barnes, Pappas, Johns, Shaffer, Blow, Davis
NAYES: NONE
MOTION CARRIED UNANIMOUSLY

5. (c) PZB2025-0022 – Kenan Wang c/o TWP Management LLC DBA K. Nan Construction – Applicant
Li Fang and Mei Hua He – Owner
23 Hybiscus Avenue / PID 149870-0240

To approve the placement of fill within Conservation Overlay Zone 1 for the construction of a single-family residence and approve the removal of a significant tree canopy within Conservation Overlay Zone 2.

Ms. Daugherty read the staff report and said the review of Section 11-29 is the responsibility of the Planning and Zoning Board for the proposed development within Conservation Overlay Zone 1 and 2. This application is for the placement of fill and the removal of significant tree canopy within COZ 1 and 2 at 23 Hybiscus Avenue / PID 149870-0240.

Ex Parte Communication: none

Public hearing was opened; however, there was no response.

The Board discussed:

There were no additional comments from the Board on this application.

MOTION

Ms. Barnes MOVED to APPROVE application PZB2025-0022 to approve the placement of fill as per the plans received on June 3, 2025 from the owner and the removal of significant trees identified in the same plans conditional on the placement of a conservation easement agreement for lots 23, 25, and 27 / PID 1498700230. The motion was SECONDED by Mr. Pappas.

VOTE ON MOTION:

AYES: Barnes, Pappas, Johns, Shaffer, Blow, Davis
NAYES: NONE
MOTION CARRIED UNANIMOUSLY

5. (d) PZB2025-0041 – Ryan Carter c/o Carter Environmental Services – Applicant
David Ott – Owner
22 N. St. Augustine Boulevard

To approve the modification of an existing dock within Conservation Overlay Zones 1 & 2.

This item was **ADMINISTRATIVELY CONTINUED** to the July 1, 2025 Planning and Zoning Board meeting. See item 4.

5. (e) PZB2025-0042 – Intervest Construction of Jax. Inc. – Applicant
Carri Grass / Robert Grass– Owner
111 Oyster Catcher Circle

To approve the removal of significant trees within Conservation Overlay Zones 2 & 3.

This item was **ADMINISTRATIVELY CONTINUED** to the July 1, 2025 Planning and Zoning Board meeting. See item 4.

5. (f) PZB2025-0044 – Kevin Marks c/o Shoreland Home Builders – Applicant
Angelo Tradito c/o Old Stone Management – Owner
228 Pelican Reef Drive / PID 158573-0070

To approve the construction of a retaining wall within Conservation Overlay Zones 2 & 3.

Ms. Daugherty read the staff report and said review of Section 11-29 is the responsibility of the Planning and Zoning Board for the proposed development within Conservation Overlay Zones 1 and 2. This application is for the construction of a retaining wall at 228 Pelican Reef Drive / PID 158573-0070.

Staff recommends CONTINUATION for additional information or reconsideration or DENIAL of the application as the applicant has not submitted the information requested by the Board.

1. Proposed top of wall and bottom of wall elevations of the retaining wall
2. Drainage plan with flow arrows and finished grade elevations
3. If applicable the limits of structure(s) with Finish Floor Elevation (FFE) in NAVD88
4. Information clarifying if any portion of the retaining wall would encroach on the Conservation Easement

Kevin Marks reviewed the application.

The Board presented their Ex Parte Communication.

8 certified notices were sent, 0 were returned in favor, 0 were returned opposed and 0 had comments.

Public hearing was opened; however, there was no response.

The Board discussed:

- Clarified the survey provided had spot elevations on the neighboring property and the plan was to match those elevations
- Thought that if staff were not able to review the application completely because of missing information, the board should not be reviewing the application
- Advised the applicant that it was necessary to follow up with the entity that they were working with
- Agreed that the requested information was necessary for the final approval
- Thought continuation was the best path forward

MOTION

Mr. Shaffer MOVED to CONTINUE application PZB2025-0044 to the July 1, 2025 meeting. The motion was SECONDED by Mr. Davis

VOTE ON MOTION:

AYES: Shaffer, Davis, Johns, Blow, Barnes, Pappas

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

5. (g) PZB2025-0038 – Fremont Latimer c/o Marquis Latimer + Halback, Inc. – Applicant
Windward Shipyard Land Holdings LLC – Owner
255 Diesel Road / PID 134230-0000; Diesel Road / PID 134230-0020; Diesel Road / PID 134340-0000; 275 Ice Plant Road / PID 134390-0000; Ice Plant Road / PID 134390-0010; Ice Plant Road / PID 134410-0000; Arapaho Avenue / PID 134600-0000; Arapaho Avenue / PID 134630-0000; Arapaho Avenue / PID 134650-0000; 1500 Arapaho Avenue / PID 134760-0000; Arapaho Avenue / PID 134770-0000

To amend the previously approved Conservation Overlay Zone development application PZB2022-0021 to include provisions for additional trees to be planted and preserved.

Mr. Fredriksson read the staff report and said review of Section 11-29 and Chapter 25 is the responsibility of the Planning and Zoning Board for the proposed tree mitigation plan amendment within Conservation Overlay Zone 3 within the Windward Shipyards Development.

Approval of this proposal would require the planting of five (5) Live Oak trees of significant size within the proposed Town Center shown on the boundary survey provided.

Jeremy Marquis, Carl Masters and Fremont Latimer reviewed the application.

The Board presented their Ex Parte Communication.

19 certified notices were sent, 0 were returned in favor, 0 were returned opposed and 0 had comments.

Public hearing was opened.

BJ Kalaidi asked where any new trees would be planted if the proposed trees did not survive. She wanted the plans to be made clear for the public in regard to the option to pay \$40,000 per tree or replace trees as needed.

Mr. Marquis explained that the owner would either pay the city \$40,000 per tree and the city would decide where the tree would be planted, or the owner would replace the tree within the parcel.

Public hearing was closed.

The Board discussed:

- Thought that the presented solution was good
- Appreciated the effort put in from both parties regarding the language and the solution for the town center
- Questioned where the cedar trees were located
- Advised that the cedars had been transplanted and some were not doing well.

There was a discussion about how to mitigate for the cedar trees that had not survived the transplanting, and any dead cedar trees would be replaced credit for credit with cedar trees.

Ms. Lopez advised that there could be no additional requirements for the trees added to the order for this application.

MOTION

Ms. Barnes MOVED to APPROVE application PZB2025-0038 with an amendment to add the additional trees. The motion was SECONDED by Ms. Johns.

VOTE ON MOTION:

AYES: Barnes, Johns, Shaffer, Blow, Pappas, Davis

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

6. Rezoning

**6. (a) PZB2025-0008 – Mark Shelton, AICP
c/o Kimley-Horn and Associates, Inc. – Applicant
Toll Southeast LP Company, Inc. – Owner
Arapaho Avenue / PID 134780-0000; 1500
Arapaho Avenue / PID 134770-0001; 1510
Arapaho Avenue / PID 134790-0000**

To approve a PUD modification to allow the removal of significant trees within Conservation Overlay Zones 2 & 3.

Mr. Fredriksson read the staff report and said based on Sec. 28-289 of the City’s Code, given the scale and complicated nature of PUD’s, the PZB shall require review of a planned unit development final development plan, and narrative requirements with at least two (2) public hearing(s) in an effort to garner as much information and public input as possible, as well as, to finalize any recommendations to the city commission. The June 3, 2025 PZB regular meeting will mark the fifth (5th) time that this application has been heard.

The Planning and Zoning Board is required to provide a report and recommendation to the City Commission showing that the Board has studied and considered

1 The need and justification for the change

2 The relationship of the proposed amendment or rezoning to the city’s general planning and such comprehensive plans as

may from time to time be adopted by the city commission

3 Consistency with the comprehensive plan.

In addition, staff requests that in order to ensure that the proposed mitigation plan exceeds typical City requirements, the rationale for choosing the types and quantities of trees proposed to be planted should be provided to serve as support for an acceptable mitigation plan prior to a Board recommendation.

Kristen Reed and Justin Scarberry reviewed the application.

Mr. Scarberry said that cedar trees were part of the landscape plan for the development on the Toll Brother's property.

Ms. Lopez confirmed that there was no new language in the PUD for the cedar trees.

Ex Parte Communication: none

11 certified notices were sent, 0 were returned in favor, 0 were returned opposed and 0 had comments.

Public hearing was opened.

BJ Kalaidi asked for clarity for the public to have a better understanding of what would happen with the proposed development.

Public hearing was closed.

Mr. Pappas asked if there should be language in the PUD to address the cedar trees.

Ms. Lopez advised that there should be.

Mr. Scarberry said that the land where the cedars were located was outside the PUD area and would be planted when the development was completed per an already approved landscape plan.

The Board discussed:

Mr. Shaffer said he still thought it was a good idea to wrap the cedars into this PUD.

Ms. Lopez explained that she was presenting ideas and if the applicant wanted to include cedars they could, but it did not appear that the applicant wanted to do that.

Mr. Blow talked about the planned light signal at Arapaho Avenue, which was not included in this application.

Ms. Lopez said that the development was a separate issue.

Mr. Scarberry deferred to Windward because they were involved in the discussions.

Mr. Masters advised that the FDOT would have to be involved in the discussion regarding the intersection light. He said that the DOT would not allow for the installation of an intersection because the traffic flow did not merit the new signal / intersection at this time.

Mr. Blow was concerned that the city would have to bear the entire expense of the installation.

Mr. Masters said that there were options such as escrow but that would be outside of this application.

Mr. Davis favored a recommendation.

Ms. Johns advised that she approved of the new language.

Mr. Pappas agreed with the tree mitigation.

MOTION

Mr. Blow MOVED to RECOMMEND application PZB2025-0008 for the rezoning request and that the City Commission review the Amended and Restated Shipyards Development Agreement to determine the need for inclusion of the PUD development. The motion was SECONDED by Ms. Barnes

VOTE ON MOTION:

AYES: Blow, Barnes, Johns, Shaffer

NAYES: Pappas, Davis

MOTION CARRIED 4/2¹

7. Variance

7. (a) PZB2025-0036 – Anthony Valachovic – Applicant & Owner 205 Alcazar Street

To approve a variance request to the front yard setback requirement.

Ms. Daugherty read the staff report and said based on a review of Sec. 28-29 staff finds that the Board may APPROVE or CONTINUE the variance request for a reduction of the side yard setback to 0 feet at 205 Alcazar / PID 215040-0000.

Kristen and Anthony Valachovic reviewed the application.

The Board presented their Ex Parte Communication.

13 certified notices were sent, 3 were returned in favor, 0 were returned opposed and 2 had comments.

Public hearing was opened; however, there was no response.

The Board discussed

- Confirmed the allowable lot coverage was twenty-five percent
- The existing lot coverage was slightly below twenty-five percent
- Flat concrete was part of the impervious surface
- Adding the roof will increase the current lot coverage
- Staff estimated the current lot coverage to be thirty-three percent, which would allow for an additional ninety-five square feet

- Confirmed the current lot coverage to be thirty-three percent and the applicant was allowed to go to thirty-five
- Needed to have a building plan

After a brief discussion, there was consensus with the board for a continuance.

MOTION

Mr. Davis MOVED to CONTINUE application PZB2025-0036 at 205 Alcazar Street to the July 1, 2025 meeting. The motion was SECONDED by Mr. Pappas.

VOTE ON MOTION:

AYES: Davis, Pappas, Johns, Shaffer, Blow, Barnes

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

7. (b) PZB2025-0043 – Alan T. Sterling, II – Applicant Cathy and Alan T. Sterling, II – Owner 51 Miruela Avenue

To approve a variance to the maximum lot coverage.

Ms. Daugherty read the staff report and said based on a review of Sec. 28-29 staff finds that the Board may APPROVE, CONTINUE, or DENY the variance request to exceed the maximum lot coverage at 51 Miruela Avenue / PID 215000-0000.

Alan Sterling reviewed the application.

The Board presented their Ex Parte Communication.

A brief discussion followed that determined there may be no need for the variance.

Ms. Lopez advised that continuation would be a better solution.

The Board discussed

¹ Break 3:45 – 3:54

MOTION

Ms. Barnes MOVED to CONTINUE application PZB2025-0043. The motion was SECONDED by Mr. Shaffer.

VOTE ON MOTION:

AYES: Barnes, Shaffer, Johns, Blow, Davis, Pappas

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

7. (c) PZB2025-0047 – Huyen Le –

Applicant

Phillip Le – Owner

15 Garnett Avenue

To approve a variance request to the maximum square footage of a guest house and reduce front yard setbacks.

Mr. Fredriksson read the staff report and said based on a review of Sec. 28-29 staff finds that the Board may APPROVE the variance requests to the maximum size of a guest house and minimum yard requirements at 15 Garnett Avenue / PID 190080-0000.

Huyen Le and Phillip Le reviewed the application.

The Board presented their Ex Parte Communication.

15 certified notices were sent, 1 was returned in favor, 0 were returned opposed and 0 had comments.

Public hearing was opened.

Melinda Rakoncay confirmed the zoning to be CL-2 and was curious if the house would be a short-term rental.

Public hearing was closed.

The Board discussed

- This was a substantial variance request in terms of size and scope
- It was important to know if this had been used as a guest house

- Confirmed zoning as CL-2 being used as a single-family use and following the RG-1 regulations
- Confirmed that the structure was already on the property
- Had this been permitted and if so, when
- This was an after-the-fact approval for the guest house
- The variance had to meet certain criteria
- Needed to know if a permit had been pulled to convert the garage into a guest house
- Advised the applicant that more information was needed, especially if the guest house had been permitted

MOTION

Ms. Barnes MOVED to CONTINUE application PZB2025-0047 to the July 1, 2025. The motion was SECONDED by Mr. Davis

VOTE ON MOTION:

AYES: Barnes, Davis, Johns, Shaffer, Blow, Pappas

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

8. Use by Exception

8. (a) PZB2025-0039– Katya Zaharieva – Applicant & Owner

27 Grove Avenue

To approve a use by exception for a multifamily dwelling.

Mr. Fredriksson read the staff report and said based on a review of Sec. 28-373, staff finds that the Board should CONTINUE the multifamily dwelling use by exception request within HP-5 zoning district at 27 Grove Avenue / PID 193950-0000 to allow the applicant time to provide a parking plan which meets the City’s minimum requirements for off-street parking.

Katya Zaharieva and Ivan Tokolov reviewed that application.

The Board presented their Ex Parte Communication.

11 certified notices were sent, 1 was returned in favor, 2 were returned opposed and 3 had comments.

Public hearing was opened.

Melinda Rakoncay listed all the reasons she felt that approval should not be granted.

Sandra Chapin said there were already parking problems in the area, she had no problem with the plan the family had, but did not support the short-term rental.

Public hearing was closed.

Ms. Zaharieva provided her rebuttal

The Board discussed

- No problem with long term goal; however, there was not sufficient parking for a multi-family
- Did not meet the criteria
- Did not support the public health safety and welfare
- Could not identify any hardship

MOTION

Ms. Barnes MOVED to DENY application PZB2025-0039 because it did not meet the requirement for use by exception. The motion was SECONDED by Mr. Shaffer.

VOTE ON MOTION:

AYES: Barnes, Shaffer, Johns, Blow, Davis, Pappas

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

9. Land Use Plan Amendment & Rezoning

9. (a) PZB2025-0037 – Reuben Franklin c/o City of St. Augustine – Applicant & Owner

500 Anastasia Boulevard

To approve a land use plan amendment to change the future land use from Commercial Low Intensity to Public and rezoning from Commercial Low – Two (CL-2) to Government Use (GU).

Mr. Fredriksson read the staff report and said historically staff does not make recommendations concerning amendments to the City’s Future Land Use Map or rezoning requests. Based on Sec. 28-30 of the City’s Code, the Board is tasked with making recommendations to the city commission which shall show that the Board has studied and considered:

- 1 The need and justification for the change
- 2 The relationship of the proposed amendment or rezoning to the city’s general planning program and such comprehensive plans as may from time to time be adopted by the city commission.

3 Consistency with the comprehensive plan

Amy Skinner was sworn in for the record and reviewed the application.

The Board presented their Ex Parte Communication.

29 certified notices were sent, 0 were returned in favor, 1 was returned opposed and 1 had comments.

Public hearing was opened; however, there was no response.

The Board discussed

- Inclined to recommend
- Supported the application based on the need and justification
- There was consensus for support; this was a public safety benefit

MOTION

Ms. Barnes MOVED to RECOMMEND application PZB2025-0037 for the land use change and the rezoning from Commercial Low Intensity to Public and CL-2 to GU as this was consistent with the comprehensive plan. The motion was SECONDED by Mr. Shaffer.

VOTE ON MOTION:

AYES: Barnes, Shaffer, Johns, Blow, Davis, Pappas

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

10. Land Use Plan Amendment & Rezoning & Variance

**10. (a) PZB2025-0046 – Amy Skinner – Applicant & Owner
241 West King Street**

To approve a land use plan amendment to change the future land use from Commercial Medium Intensity to Public, a rezoning from Commercial Medium-Two (CM-2) to Government Use (GU) and a variance to eliminate the required off-street parking.

This item was ADMINISTRATIVELY CONTINUED to the July 1, 2025 Planning and Zoning Board meeting. See Item 4.

11. Other Business

11. (a) Discussion and Recommendation regarding the 2025 update to the City's Water Supply Plan

Ms. Skinner advised that she needed a recommendation of the changes to the city's water supply plan to send to the city commission for adoption.

Public hearing was opened; however, there was no response.

Mr. Davis confirmed that there were no major changes to the plan.

² Transcribed by Michele Fudo

Ms. Skinner explained that this would hold the city accountable for having enough water to support the projected population and that the city would conserve as much water as possible and reuse water where possible.

MOTION

Ms. Barnes MOVED to RECOMMEND the update to the city's water supply plan to the City Commission for approval. The motion was SECONDED by Mr. Davis.

VOTE ON MOTION:

AYES: Barnes, Davis, Johns, Shaffer, Blow, Pappas

NAYES:

MOTION CARRIES UNANIMOUSLY

12. Adjournment

Having no further business, Ms. Tucker adjourned the meeting at 5:02 P.M.²

Christina Tucker, Chairperson



Planning and Zoning Board

Planning Division Staff Report
 Planning and Building Department

Public Hearing Date	Agenda Item	Application Number
July 1, 2025	5.a.	PZB2025-0041
Request	Address	Parcel ID
Conservation Overlay Zone Development	22 N Saint Augustine Blvd	213470-0000

Site & Background Information

Applicant: Ryan Carter
 c/o Carter Environmental Services

Owner: David Ott

Property Class:
 (St. Johns County
 Property Appraiser) 0100 – Single Family

**Future Land Use
 Designation:** [Residential Low Density](#)

Zoning Designation: [Residential Single-Family-One: RS-1](#)

Acreage: 0.26

Neighborhood: North Davis Shores

Archaeological Zone: N/A

Request Summary

This is a request for [Conservation Overlay Zone \(COZ\) development](#) to construct a dock in [COZ 1&2](#) at 22 N saint Augustine Boulevard. The approval of this application would allow for the construction of a one hundred and fourteen (114) linear foot dock and sling lift with a total proposed dock area of one thousand and twelve (1,012) square feet.

Staff Analysis

Consistency with the City of St. Augustine's Comprehensive Plan 2040

Comprehensive Plan Element	Goal, Policy, or Objective	Staff Analysis
Future Land Use		
Historic Preservation		
Conservation and Coastal Management	<p>Policy 2.1.3</p> <p>Applications for development in any of the Conservation Overlay Zones shall be evaluated according to the following criteria:</p> <p>(12) Impact of development on vistas and scenic opportunities by linear feet, height, mass and percent of site.</p>	<p>The proposed dock will not exceed eight (8) feet above the mean high water and would be CONSISTENT with policy 2.1.3 (12) impacts on scenic vistas.</p>
	<p>CCM Policy 2.1.1</p> <p>Conservation Overlay Zone 1 Passive recreation, wildlife preservation and conservation areas, green space, and fishing piers, boat docks, and other water dependent uses, including boat ramps and marinas, shall be the primary uses within this Conservation Overlay Zone.</p>	<p>Docks within COZ 1 are consistent with CCM Policy 2.1.1</p>
Recreation and Open Space		
Transportation and Mobility		
Housing		
Infrastructure		

Review of Applicable City of St. Augustine Code of Ordinances

The Planning and Zoning Board [shall review all applications for development in COZ 1](#). Permits for structures and uses located within Conservation Overlay Zone 1 shall be issued only for such structures and uses which have received permits under provisions of applicable federal and state regulations and will be issued only for those structures and related uses such as fishing piers and catwalks, boardwalks, boat docks, boathouses, boat ramps, marinas, and marine railways, as well as dredging and filling, which are determined to be to the benefit of the public as a whole and which are determined as having no significant negative impact on natural systems, by either individual or cumulative effect. The planning and zoning board is [authorized to impose limitations](#) in the nature and manner of construction and/or use so as to avoid damage to adjacent salt marshes and the vegetative communities contained therein, to eliminate any harm to the animal, fish or shellfish contained therein, to avoid blocking or disrupting vistas and scenic opportunities, and to enhance those vistas and scenic opportunities which are determined to benefit the public as a whole.

Applications for development in Conservation Overlay Zones shall be [evaluated according to the following criteria](#):

Staff Analysis of Applicable Criteria (Sec. 11-29(c))

(1) Site specific location

The site contains a single-family home in North Davis Shores. The applicant is proposing to build a one-hundred and fourteen (114) linear foot dock with sling lift with a total proposed dock area of one thousand and twelve (1,012) square feet.

(2) The site's relationship to adjacent properties, bodies of water and surrounding conservation zones.

The dock is proposed within Conservation Zones 1 and 2 and is within the waters of the Matanzas River. The site has approximately seventy-seven (77) linear feet of bulkheaded shoreline. Adjacent properties have bulkheaded shorelines. The adjacent property to the north is developed with a single-family home while the property to the south is multi-family.

(3) Natural and proposed drainage patterns.

Unknown.

(4) Effect of point and nonpoint discharge in the marine environment.

Unknown.

(5) Proposed soil stabilization and erosion control methods.

The application provides limited information on soil and stabilization methods including silt fences and turbidity barriers.

(6) Impact on floodplain.

Unknown

(7) Impact of development on vegetative and animal communities.

The [Florida Fish and Wildlife Marine Resources GIS Map Viewer](#) do not indicate seagrass, oyster beds or mangroves within the project site. Aerial images indicate some vegetation along the shoreline, and it appears that the dock will not impact this area.

(8) Potential for contaminated drainage, storage of pollutants and the use of poisonous chemicals and materials.

Unknown

(9) Effect of shade on vegetation and shellfish.

The [Florida Fish and Wildlife Marine Resources GIS Map Viewer](#) do not indicate seagrass, oyster beds or mangroves within the project site. Aerial images indicate some vegetation along the shoreline, and it appears that the dock will not impact this area.

(10) Effect of boat wake and boat traffic on manatees, vegetation, shellfish and wildlife, as well as shoreline erosion.

[Florida Fish and Wildlife Marine Resources GIS Map Viewer](#) indicates this site is just north of a Slow Speed Minimum Wake area.

(11) Impact of development on shoreline by linear feet and percent of site.

The site has approximately seventy-seven (77) linear feet of bulkheaded shoreline. The dock is proposed to have a five (5) foot wide walkway at the shoreline which will impact six percent of the site. The terminal platform will be twenty-eight feet wide, which is thirty-six (36) percent of the site.

(12) Impact of development on vistas and scenic opportunities by linear feet, height, mass and percent of site.

The proposed dock will extend one-hundred and fourteen (114) linear foot dock with sling lift with a total proposed dock area of one thousand and twelve (1,012) square feet. The height will not exceed eight (8) feet above mean high water.

(13) Existing amounts of native plants and proposed retention and use of native plants for landscape and open space purposes.

Aerial images and the [Florida Fish and Wildlife Marine Resources GIS Map Viewer](#) do not indicate seagrass, oyster beds or mangroves within the project site.

(14) Impact of development on plant and animal habitat and potential loss in acres and percent of site.

Aerial images and the [Florida Fish and Wildlife Marine Resources GIS Map Viewer](#) do not indicate seagrass, oyster beds or mangroves within the project site.

(15) Impact of development on water quality. Water quality objectives will be presumed to have been met if runoff water is routed to a surface water management system permitted by the St. Johns River Water Management District or to a treatment facility that is equivalent to the water quality treatment criteria (water retention/detention) of the water management district. (An engineer or landscape architect licensed in the State of Florida is required to certify that the treatment facility is equivalent to the district's criteria.)

Not applicable.

(16) Impact of development on shellfish and on commercial and sport fish and waterfowl.

The [Florida Fish and Wildlife Marine Resources GIS Map Viewer](#) indicate that shellfish harvesting is prohibited in all seasons in this area.

(17) Specific conditions applicable to docks. In addition to the considerations listed in subsections (1) through (16) herein, no boathouse, roofed structure or wall shall be constructed on any dock. This section shall not

prohibit the use of bumpers or similar structures built at or near the water line and below deck elevation to protect the dock from damage caused by moored vessels. The deck of any private boat dock shall not exceed ~~six (6)~~ eight (8) feet in height above mean high water. Boatlifts mounted on docks, or constructed on or adjacent to a dock, shall be limited to a capacity of twelve thousand (12,000) pounds or less. All boatlifts shall be low profile boatlifts or no profile boatlifts, and no boats in excess of thirty-two (32) feet in length shall be allowed on a boatlift. In addition, the maximum height, excluding masts, antennas and other non-occupiable features, of a boat suspended in a boatlift shall not exceed ~~six (6)~~ eight (8) feet above the gunwale (gunnel); whereby, the gunwale (gunnel) is defined as the upper edge of the side of the ship or boat. A low-profile boatlift is a boatlift for a single watercraft in which no part of the boatlift shall exceed three (3) feet above the deck. A no profile boatlift is a boatlift for a single watercraft in which no part of the boatlift shall protrude above the deck.

The deck will not exceed (8) feet above the mean high water. The applicant states that the boat lifts will be a no-profile and not exceed 12,000 pounds. The application appears to be consistent with the dock requirements.

Staff Recommendation

Review of Section 11-29 is the responsibility of the Planning and Zoning Board for the proposed development within Conservation Overlay Zone 1 & 2. This application is for the construction of a dock at 22 N Saint Augustine Boulevard / PID 213470-0000.

Attachments

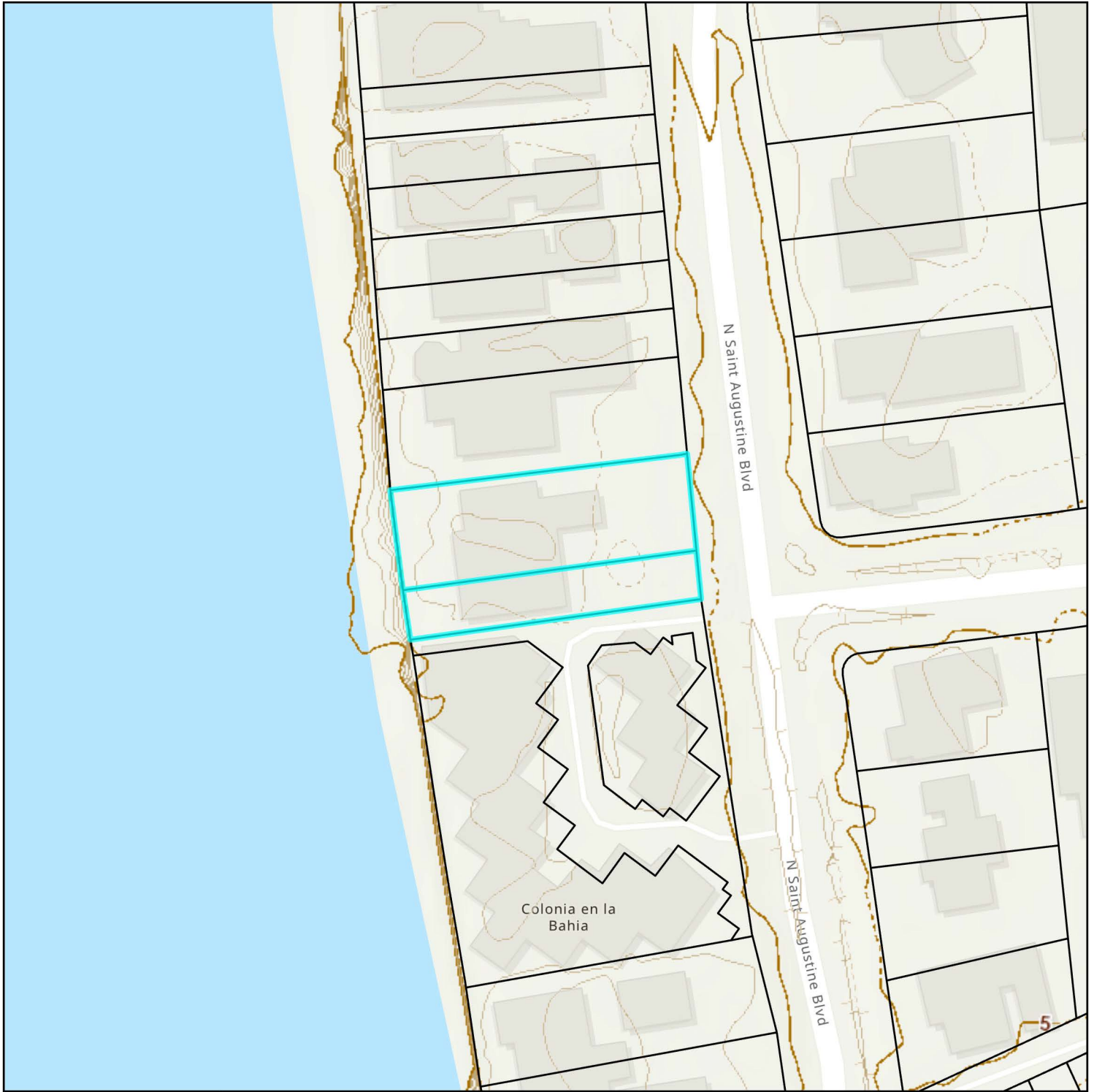
1. Site Maps & Photos
2. Application
3. St. Johns County Property Appraiser Report
4. Supplemental Information
5. DEP Permit

Staff Report prepared by:



Sarah Daugherty
Senior Planner
Planning and Building Department

**Attachment 1:
Site Maps
and Photos**



Elevation Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

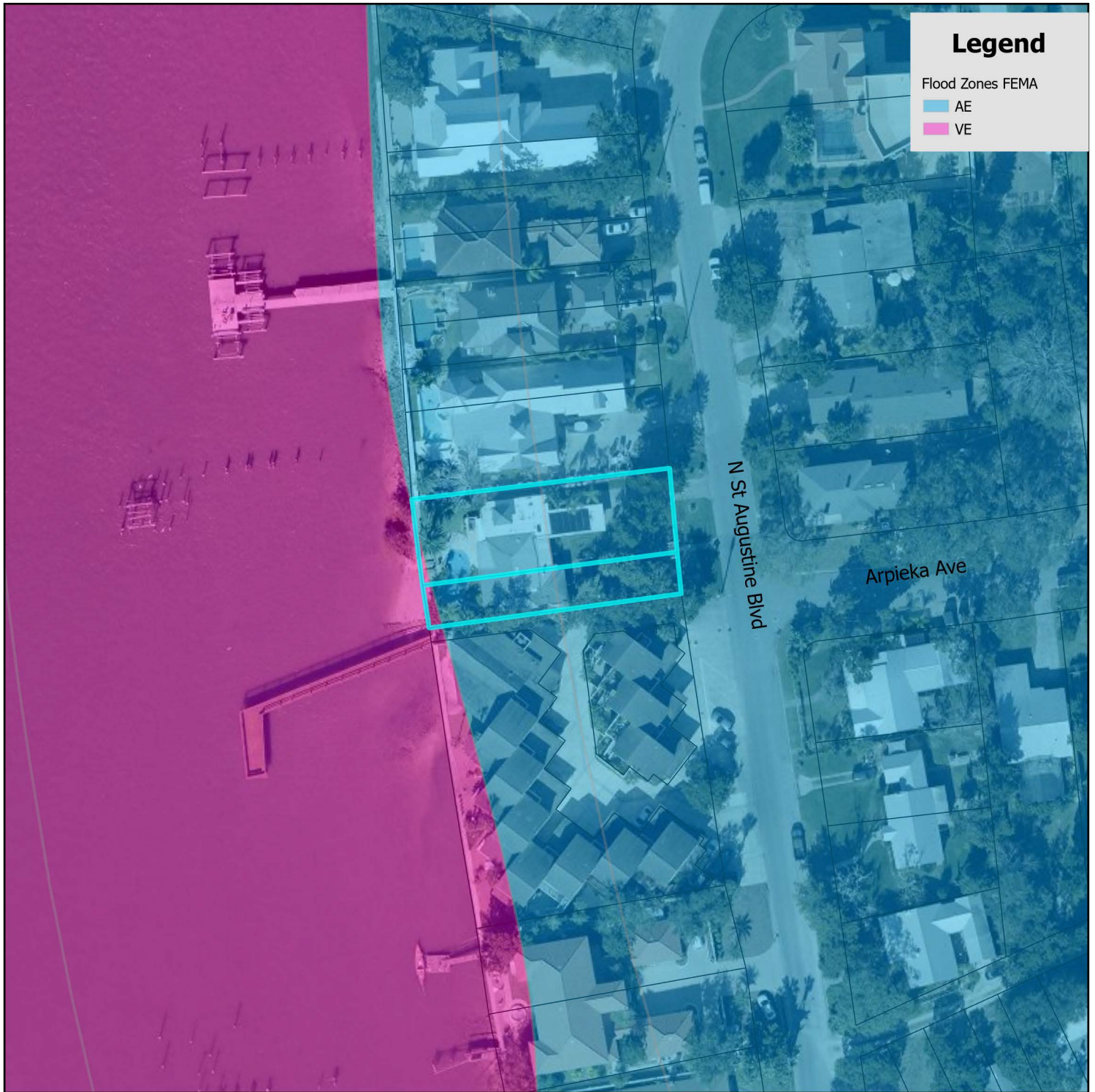
DISCLAIMER
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2025

0 0.01 0.01 Miles

0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



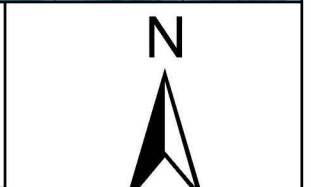
Legend

Flood Zones FEMA

- AE
- VE



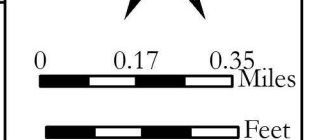
FEMA Flood Zone Map



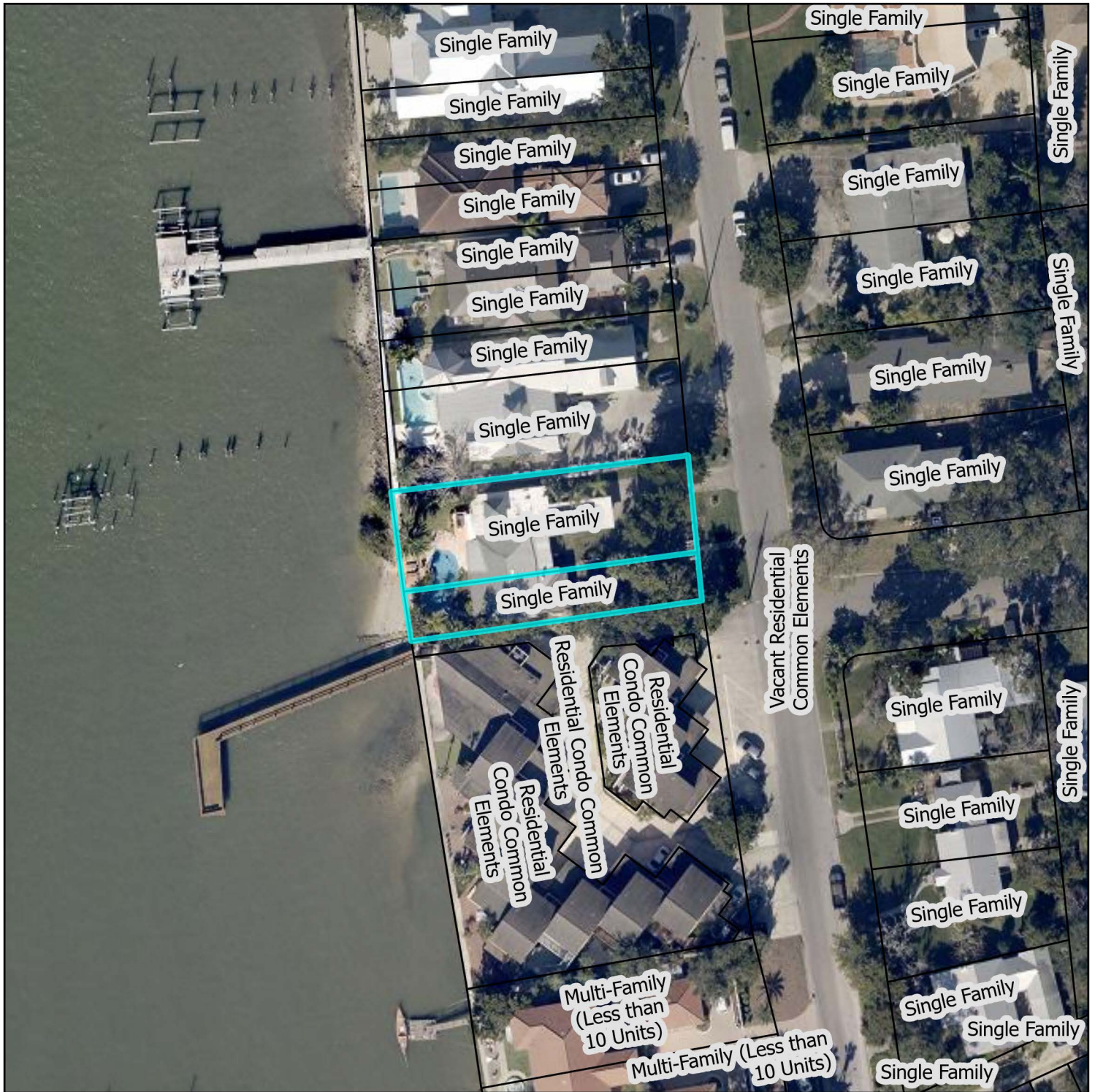
City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

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2025



Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



St. Johns County Property Appraiser Use Classification Map



City of St. Augustine
Planning, Zoning, & Building Department
P.O. Box 210, St. Augustine, FL 32085
Phone: (904) 825-1065

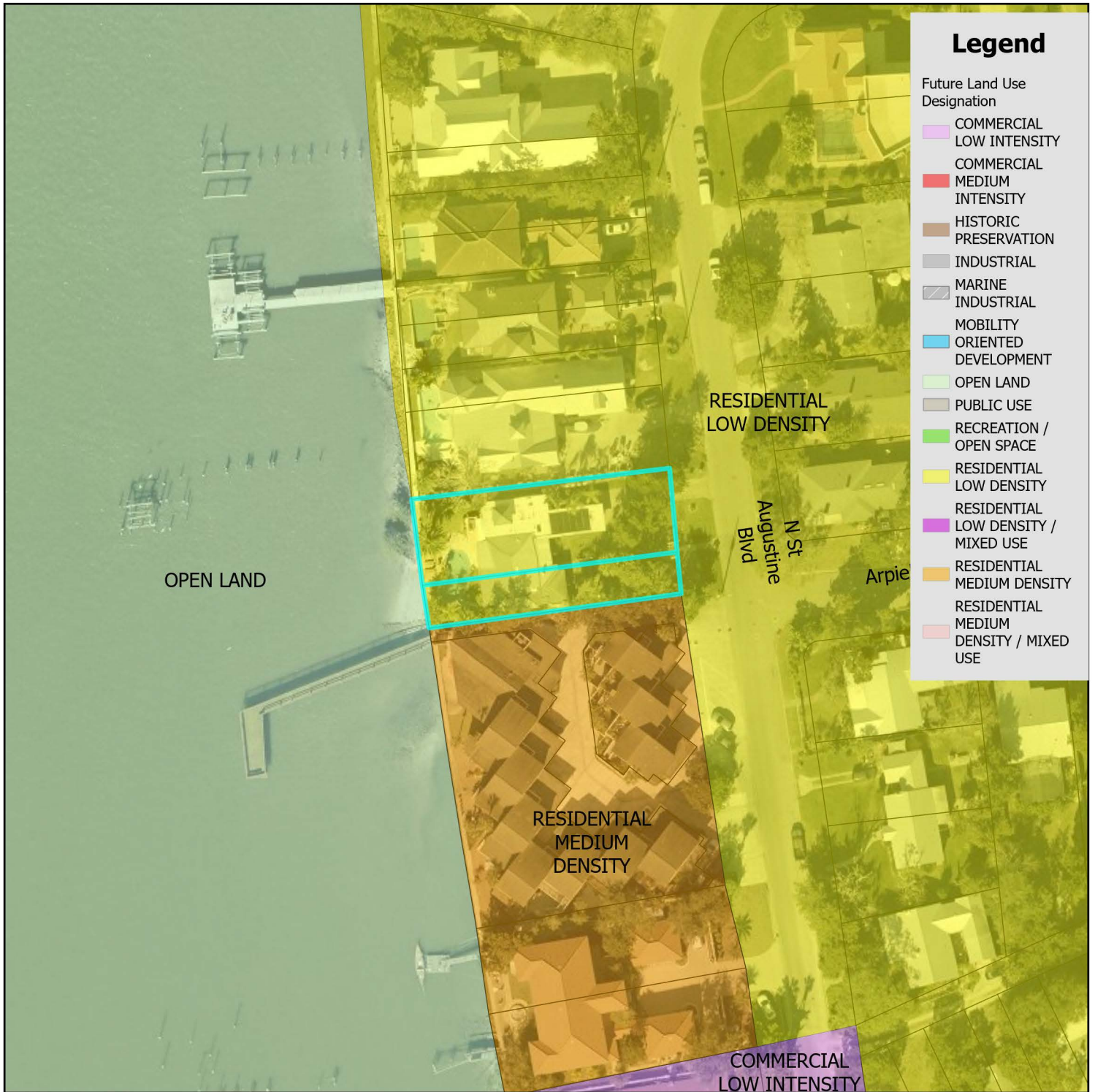
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2025

0 0.01 0.01 Miles

0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Legend

- Future Land Use Designation
- COMMERCIAL LOW INTENSITY
 - COMMERCIAL MEDIUM INTENSITY
 - HISTORIC PRESERVATION
 - INDUSTRIAL
 - MARINE INDUSTRIAL
 - MOBILITY ORIENTED DEVELOPMENT
 - OPEN LAND
 - PUBLIC USE
 - RECREATION / OPEN SPACE
 - RESIDENTIAL LOW DENSITY
 - RESIDENTIAL LOW DENSITY / MIXED USE
 - RESIDENTIAL MEDIUM DENSITY
 - RESIDENTIAL MEDIUM DENSITY / MIXED USE



Future Land Use Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

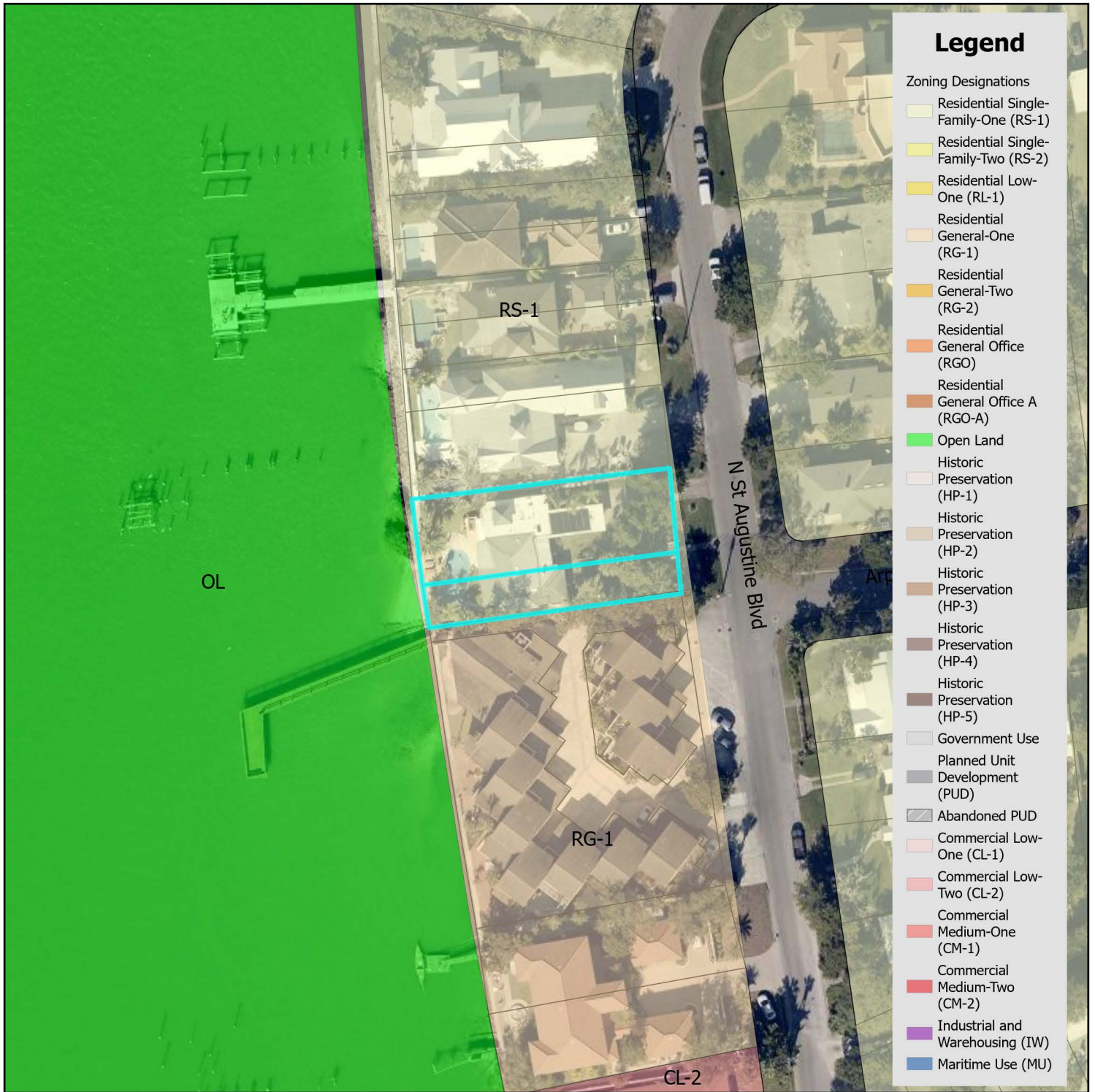
DISCLAIMER
 This map is for reference only. Data provided are derived from multiple sources with varying levels of accuracy. The City of St. Augustine disclaims all responsibility for the accuracy or completeness of the data shown hereon.

2025

0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Zoning Map



0 0.17 0.35 Miles

0 1,250 2,500 Feet

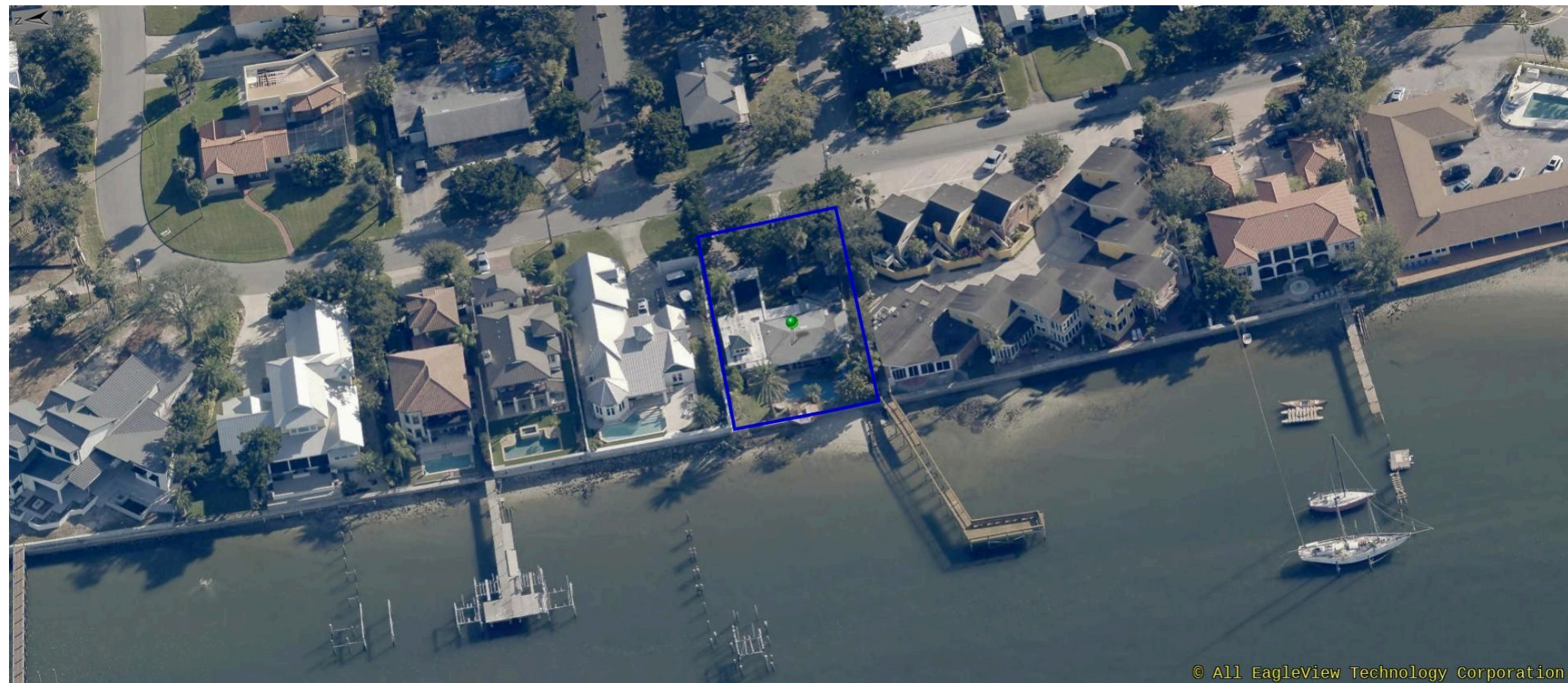
2025

City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
 This map is for reference only. Data provided are derived from multiple sources with varying levels of accuracy. The City of St. Augustine disclaims all responsibility for the accuracy or completeness of the data shown herein.

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

22 N St. Augustine Boulevard



12/08/2024

Attachment 2: Application



**CITY OF ST AUGUSTINE
APPLICATION TO PLANNING AND ZONING BOARD**

Application Fee: _____ (plus advertising costs) Project Number: _____

Receipt Number: _____ Meeting Date: _____

Advertising Costs: \$ _____ Paid On: _____ Receipt Number: _____

1. NAME OF APPLICANT: _____ Contact Number: _____

Business (if applicable): _____

Address: _____ City: _____ State: _____ Zip: _____

E-Mail Address: _____

2. NAME OF PROPERTY OWNER: _____ Contact Number: _____

Business (if applicable): _____

Address: _____ City: _____ State: _____ Zip: _____

E-Mail Address: _____

3. LEGAL DESCRIPTION OF PROJECT PROPERTY:

Lot: _____ Block: _____

Subdivision: _____ Parcel Number: _____

4. PROJECT STREET ADDRESS: _____

5. SPECIFIC PROPOSED USE: _____

6. ACTION REQUESTED:

Conservation Zone Development Appeal of Staff Determination

Exception Land Use Plan Amendment

Variance Rezoning

Other: _____

7. DESCRIPTION OF ACTION REQUESTED: _____

8. JUSTIFICATION FOR ACTION REQUESTED: _____

9. IF APPLYING FOR A VARIANCE, PLEASE COMPLETE THE FOLLOWING AND EXPLAIN THE SITUATION FULLY ALONG WITH PROVIDING DOCUMENTATION:

(a) Does the property because of size, shape, topography or other physical conditions, suffer singular disadvantage, which disadvantage does not apply to other properties in the vicinity: _____

(b) Can you establish that this disadvantage causes the owner to be unable to make reasonable use of the affected property: _____

(c) Can you establish that this disadvantage does not exist because of conditions created by the owner or applicant: _____

(d) Can you establish that granting of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this Section: _____

10. PREVIOUS APPLICATIONS:

Has any application been submitted to the Planning & Zoning Board concerning any part of the subject property within the past year?

Yes No If yes, please give date and final disposition below.

11. AGREEMENT:

In filing this application, I understand that it becomes a part of Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

Application must be signed by both applicant and property owner if different. Letter of authorization must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of either property owner or applicant.

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

IMPORTANT NOTICE: When the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the Board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the Board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the Code.



4-8-25

Signature of Applicant

Date



4/10/25

Signature of Property Owner

Date



**CITY OF ST. AUGUSTINE
DEVELOPMENT PERMIT APPLICANT WAIVER**

The applicant acknowledges and agrees to waive the limitation of three requests for additional information by the City of St. Augustine, pursuant to Chapter 166.033, Florida Statutes.

The applicant acknowledges and agrees that the City offers weekly Friday Review development review meetings, as well as, department specific applicant meetings with its reviewing staff at any point in the application process to attempt to resolve outstanding issues. The applicant is responsible for scheduling any requested meetings with City staff directly.

The applicant acknowledges and agrees that if after three unresolved submittals the applicant elects to proceed with final approval or denial proceedings, the applicant must request so in writing to the City.

Print name of applicant

A handwritten signature in black ink, appearing to read "R. A. Carter".

Signature of applicant

4-8-25

Date



Owner's Authorization For Agent

CARTER ENVIRONMENTAL SERVICES is/are hereby authorized TO ACT ON BEHALF OF DAVID OTT, the owner(s) of those lands described within the attached application, or described within the previously filed Application number: _____, and as described in the attached deed or other such proof of ownership as may be required, in applying to the City of St. Augustine's Planning & Zoning Board, located at: _____

BY: [Signature]
Signature of Owner
DAVID OTT
Print Name of Owner
904-945-0434
Telephone Number

State of Florida

County of St. Johns

Signed and sworn before me on this 10 day of APRIL, 2025.

By _____

Identification verified:
Oath sworn: _____ Yes No



Notary Signature: [Signature]

My Commission expires: Aug 3, 2027

PZB APPLICATION FEE SCHEDULE

Planning and Zoning Board fees are set by Resolution 2021-38 as follows:

Description of Work	Fee Amount
Rezoning: small scale	\$300.00 + ads & notices
Rezoning: large scale	\$1,000.00 + ads & notices
Land Use Plan Amendment: small scale	\$400.00 + ads & notices
Land Use Plan Amendment: large scale	\$1,400.00 + ads & notices
Planned Unit Development	\$400.00 or \$35.00/acre, whichever is greater, \$1,400 max + ads & notices
Zoning Variance	\$350.00 + ads & notices
Zoning Exception	\$250.00 + ads & notices
Conservation Overlay Zone Development	\$165.00 + ads & notices
Significant Tree Removal or Appeal of Tree Removal Permit Denial	\$165.00 + ads & notices
Appeal of Staff Determination	\$200.00 + ads & notices
Application to Amend Zoning Code	\$600.00 + ads & notices
Subdivision Plat Review	\$275.00 + ads, notices & additional associated costs

“Note: The cost of newspaper advertisement and all notices to surrounding property owners will be assessed by the city, paid by the city and reimbursed by the applicant. All advertising costs must be paid prior to issuance of a development permit.

The applicant shall reimburse the City the mailing cost for all notices and for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing.”

If a Credit Card Authorization Form is used for the payment of fees, the City will maintain the form and automatically charge additional advertising and noticing fees, once determined, to the credit-card account submitted.

By signing below, I acknowledge responsibility for both the initial application fee and any subsequent costs associated with legal advertising and/or noticing and understand that permits associated with my application may not be issued until such fees are paid.

I authorize the Planning and Building Department to maintain my payment information until a final cost for advertising and/or noticing is determined and charged. If a payment method other than Credit Card Authorization Form is used, I understand that I will be sent an invoice for the costs of advertising/noticing which must be paid prior to the issuance of any development permit related to my application. I am aware that I can request a copy of these fees and my receipt from Building Department Staff.

22 N ST AUGUSTINE BLVD

Project Address: _____

Applicant's Name: RYAN CARTER Applicant's Signature: 

DAVID OTT

Owner's Name: _____ Owner's Signature: 

**Attachment 3:
St. Johns County
Property Appraiser
Report**

St. Johns County, FL

Apply for Exemptions

Apply for Exemptions

Homestead Compliance

This form is not a Homestead Exemption application. To apply online for homestead and related exemptions, please click [here](#).

Homestead Compliance

Sales Questionnaire Form

If you are a new owner of this property, please click here to submit a Sales Questionnaire

Sales Questionnaire

2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID 2134700000
 Location Address 22 N ST AUGUSTINE BLVD
 SAINT AUGUSTINE 32080-0000
 Neighborhood Davis Shores (ICWFR) (590.05)
 Tax Description* 3-97 DAVIS SHORES N1/2 OF LOT 8 & ALL LOT 9 BLK 1
 OR6122/824
 *The Description above is not to be used on legal documents.
 Property Use Single Family (0100)
 Code
 Subdivision Davis Shores Ocean View Section
 Sec/Twp/Rng 17-7-30
 District City of St Augustine (District 452)
 Millage Rate 18.72
 Acreage 0.260
 Homestead Y

[Click Here to Open Cyclomedia Viewer in a New Tab](#)



Owner Information

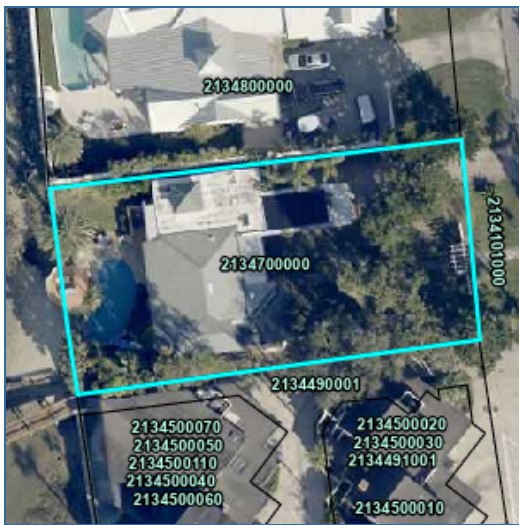
Owner Name [Ott David, Melissa](#) 100%
[Ott Melissa](#) 100%
 Mailing Address 5325 RIVERVIEW DR
 SAINT AUGUSTINE, FL 32080-0000

Exemption Information

Exemption Type	Status	Amount
Homestead		\$0
Tot/Perm DV		\$421,885

Additional Exemptions: Homestead

Map



Valuation Information

	2025
Building Value	\$212,578
Extra Features Value	\$9,335
Total Land Value	\$1,014,000
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$1,235,913
Total Deferred	\$814,028
Assessed Value	\$421,885
Total Exemptions	\$421,885
Taxable Value	\$0

Values listed are from our working tax roll and are subject to change.

Historical Assessment Information

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2024	\$199,180	\$9,884	\$1,014,000	\$0	\$0	\$1,223,064	\$409,995	\$1,223,064	\$0
2023	\$204,954	\$10,433	\$924,300	\$0	\$0	\$1,139,687	\$398,053	\$791,634	\$348,053
2022	\$188,816	\$30,938	\$712,858	\$0	\$0	\$932,612	\$386,459	\$646,153	\$286,459
2021	\$144,457	\$27,158	\$608,400	\$0	\$0	\$780,015	\$375,203	\$504,812	\$275,203
2020	\$146,581	\$27,330	\$608,400	\$0	\$0	\$782,311	\$370,023	\$462,288	\$320,023
2019	\$139,522	\$23,896	\$580,320	\$0	\$0	\$743,738	\$361,704	\$432,034	\$311,704
2018	\$141,488	\$24,048	\$580,320	\$0	\$0	\$745,856	\$354,960	\$440,896	\$304,960
2017	\$100,796	\$22,173	\$580,320	\$0	\$0	\$703,289	\$313,093	\$440,196	\$263,093
2016	\$141,404	\$18,239	\$580,320	\$0	\$0	\$739,963	\$322,038	\$467,925	\$272,038
2015	\$115,482	\$19,539	\$580,320	\$0	\$0	\$715,341	\$319,799	\$445,542	\$269,799
2014	\$111,839	\$20,839	\$580,320	\$0	\$0	\$712,998	\$317,261	\$445,737	\$267,261

Building Information

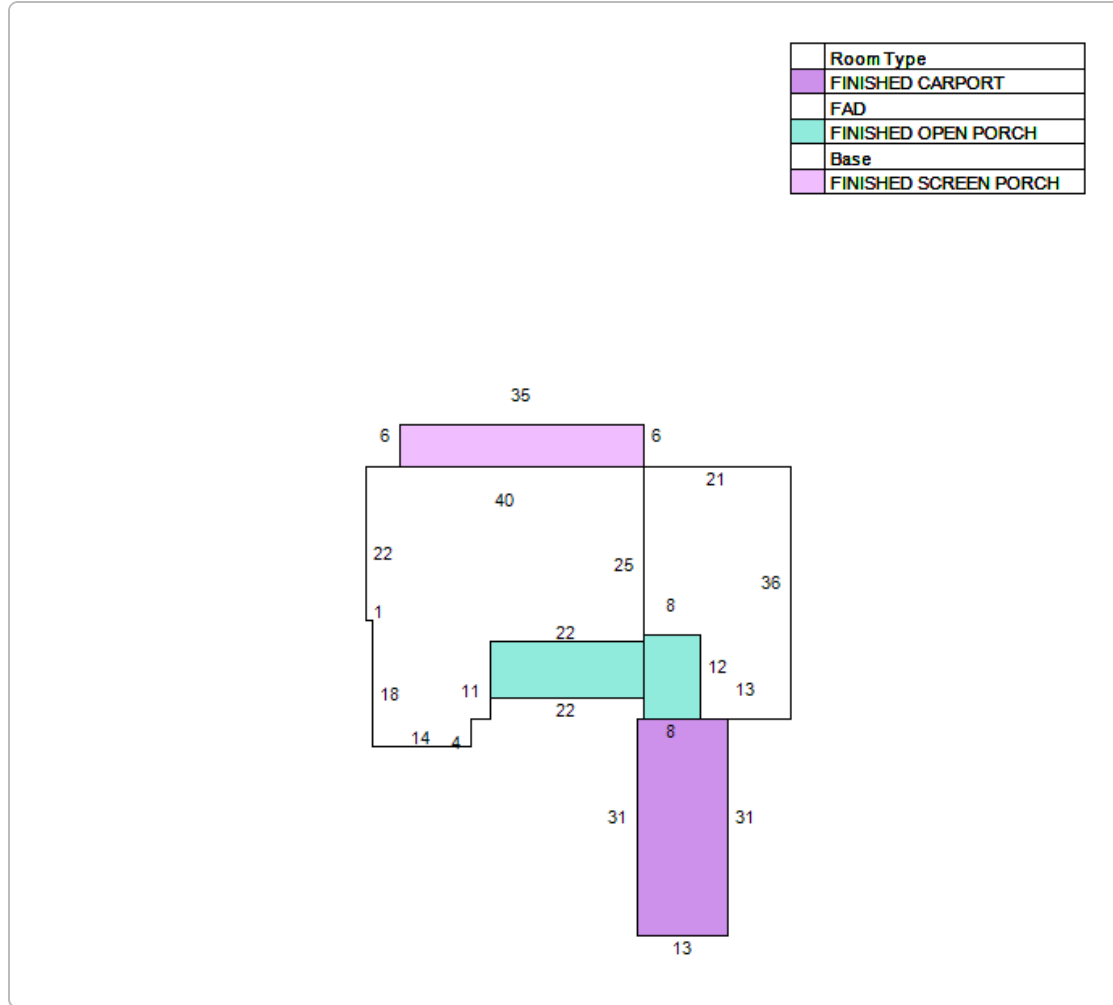
Building	1	Roof Cover	Composite Shingle
Building Value	\$212,578	Roof Structure	Gable Hip
Year Built	1950	Interior Flooring	Carpet, Ceramic Tile
Actual Area	2785	Interior Wall	Drywall
Conditioned Area	1900	Heating Type	Air Duct
Use	Single Family Residence	Air Conditioning	Central
Style	01	Bedrooms	0
Exterior Wall	Concrete Block	Baths	

Description	Square Footage
FINISHED SCREEN PORCH	210
BASE AREA	1240
FINISHED OPEN PORCH	176
FINISHED OPEN PORCH	96
ADDITION	660
FINISHED CARPORT	403

Description
Total SqFt

Square Footage
2785

Sketch Information



Extra Feature Information

Code Description	Status	Value
Bulkhead - Average (Mix)		9335

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Single Family	78	150	78	FF	\$1,014,000

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
4/1/2025	3/31/2025	\$2,150,000.00	WARRANTY DEED	6122	824	Q	I	ERKELENS HENRI A III ET AL	OTT DAVID,MELISSA
1/22/2025	9/8/2024	\$0.00	ORDER DET HX REAL P	6087	811	U	I	ERKELENS HENRI FREDERICK ESTATE	ERKELENS HENRI A III ET AL
11/14/2024	9/8/2024	\$0.00	LETTERS OF ADMN	6052	1743	U	I	ERKELENS HENRI FREDERICK	ERKELENS HENRI FREDERICK ESTATE
1/19/2022	1/19/2022	\$0.00	DISSOLUTION OF MARRIAGE	5472	1024	U	I	MCDANIEL DANIELLE KRISTA	ERKELENS HENRI FREDERICK
10/15/2019	2/14/2019	\$0.00	MARRIAGE CERTIFICATE	4813	837	U	I	ERKELENS HENRI FREDERICK	MCDANIEL DANIELLE KRISTA
2/18/2016	2/17/2016	\$0.00	FINAL JUDGMENT	4151	543	U	I	ERKELENS HENRI F	ERKELENS HENRI FREDERICK
	1/15/1997	\$100,200.00	QUIT CLAIM DEED	1218	1283	U	I	WILLIAMS JILLS (NKA SLATER)	ERKELENS HENRI F
	5/16/1995	\$238,500.00	WARRANTY DEED	1109	545	Q	I	BALL, DEMERRIS JOYNER	ERKELENS HENRI FREDERICK

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
	11/30/1994	\$0.00	ORDER DET HX REALP	1085	536	U	I	MC QUAIG FLORINE JOYNER ESTATE	BALL, DEMERRIS JOYNER

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.
[| User Privacy Policy](#) | [GDPR Privacy Notice](#)
[Last Data Upload: 4/29/2025, 12:23:22 AM](#)

Contact Us



Prepared by and return to:

Scott Patrou
Ginn & Patrou, PA
460 A1A Beach Boulevard
St. Augustine Beach, FL 32080
(904) 461-3000
File No 25-15

Parcel Identification No 213470-0000

[Space Above This Line For Recording Data]

WARRANTY DEED

(STATUTORY FORM – SECTION 689.02, F.S.)

This indenture made the 31st day of March, 2025, between Henri A. Erkelens, III, an unmarried man, Allison C. Erkelens, a married woman, Scott G. Erkelens, an unmarried man, Christopher V.K. Erkelens, a married man, and Todd P. Ehrlich, a married man, whose post office address is 13 Casanova Road, St. Augustine, FL 32080, of the County of St. Johns, Florida, Grantors, to David Ott and Melissa Ott, husband and wife, whose post office address is 5325 Riverview Drive, St. Augustine, FL 32080, of the County of St. Johns, Florida, Grantees:

Witnesseth, that said Grantors, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantors in hand paid by said Grantees, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantees, and Grantees' heirs and assigns forever, the following described land, situate, lying and being in St. Johns, Florida, to-wit:

N 1/2 of Lot 8 and all of Lot 9, Block 1, Davis Shores, according to the map or plat thereof, as recorded in Map Book 3, Page 97 through 102, inclusive, of the Public Records of St. Johns County, Florida.

Grantors warrant that at the time of this conveyance, the subject property is not the Grantors' homestead within the meaning set forth in the constitution of the State of Florida, nor is it contiguous to or a part of a homestead property. Grantors' residence and homestead address is: 13 Casanova Road, St. Augustine, FL 32080.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Subject to taxes for 2025 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantors hereby covenant with the Grantees that the Grantors are lawfully seized of said land in fee simple, that Grantors have good right and lawful authority to sell and convey said land and that the Grantors hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, Grantors have hereunto set Grantors' hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

WITNESS
PRINT NAME: Michelle Todrick
460 A1A Beach Blvd, St. Augustine, FL 32080

WITNESS
PRINT NAME: Amanda Viney
460 A1A Beach Blvd, St. Augustine, FL 32080

Henri A. Erkelens, III
Henri A. Erkelens, III

~~Alison C. Thiry~~ aw

~~Scott G. Erkelens~~

~~Christopher V.K. Erkelens~~

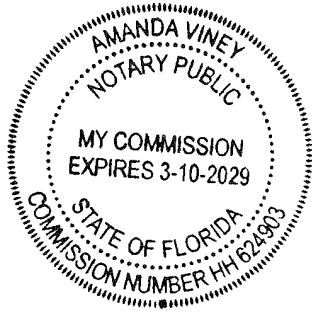
~~Todd P. Ehrlich~~

STATE OF FLORIDA
COUNTY OF ST. JOHNS

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 28th day of March, 2025, by Henri A. Erkelens, III, ~~Alison C Thiry, Scott G Erkelens, Christopher V.K. Erkelens, Todd P Ehrlich~~ and, who is/are personally known to me or who has/have produced FL DL as identification.

Amanda Viney
Signature of Notary Public

Print, Type/Stamp Name of Notary



In Witness Whereof, Grantors have hereunto set Grantors' hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
WITNESS
PRINT NAME: William J. Micea
460 A1A Beach Blvd, St. Augustine, FL 32080

[Signature]
WITNESS
PRINT NAME: Amanda Viney
460 A1A Beach Blvd, St. Augustine, FL 32080

[Signature]
Henri A. Erkelens, III

[Signature]
Allison C. Erkelens

[Signature]
Scott G. Erkelens

[Signature]
Christopher V.K. Erkelens

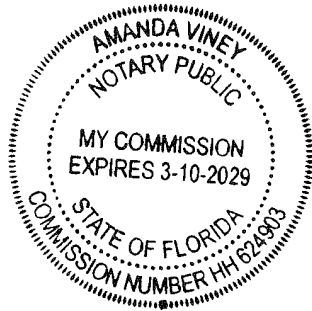
[Signature]
Todd P. Ehrlich

STATE OF FLORIDA
COUNTY OF ST. JOHNS

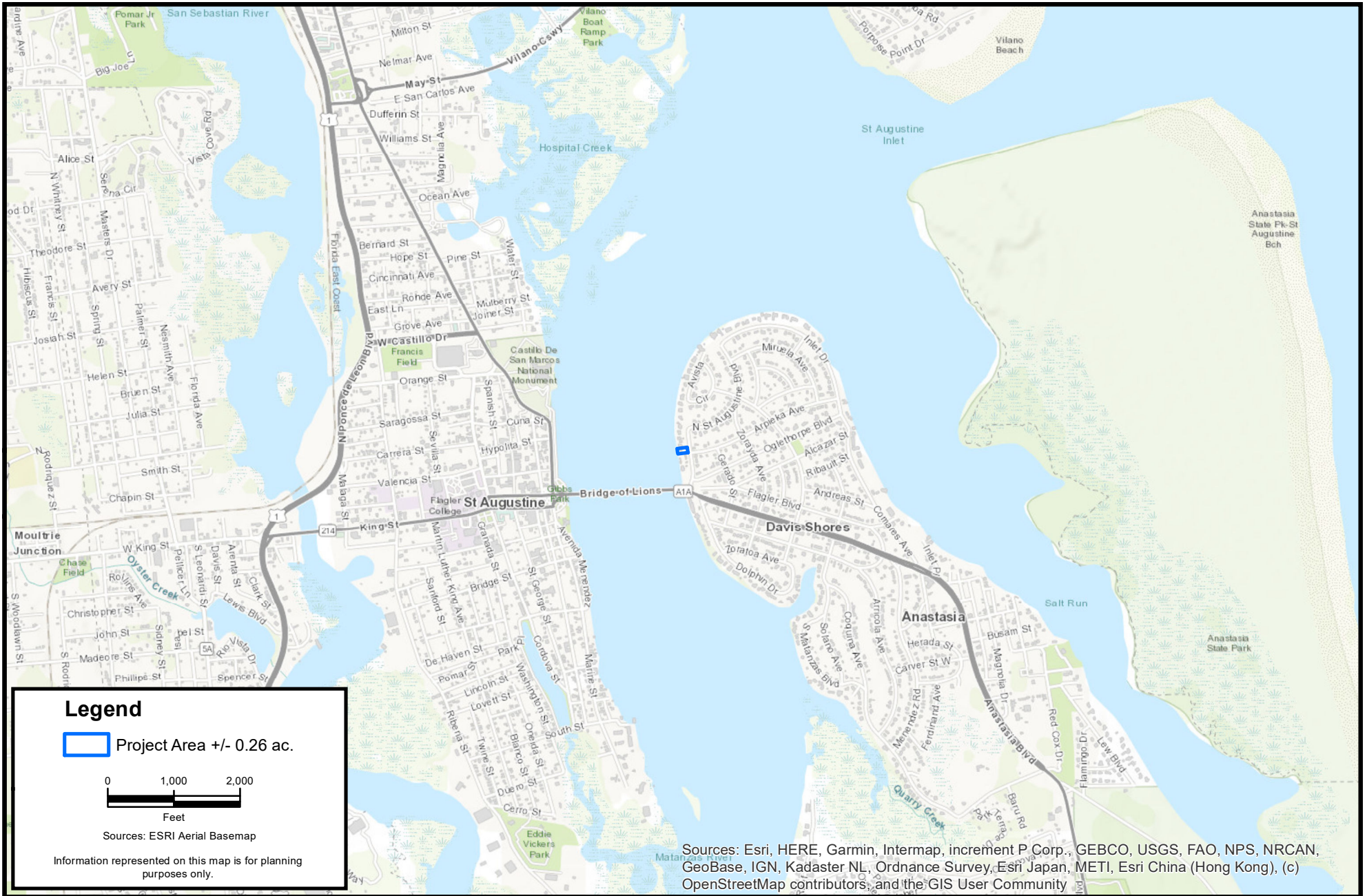
The foregoing instrument was acknowledged before me by means of physical presence or () online notarization, this 28th day of March, 2025, by ~~Henri A. Erkelens, III~~, Allison C Erkelens Scott G Erkelens, Christopher V.K. Erkelens, Todd P Ehrlich and , () who is/are personally known to me or who has/have produced Drivers license as identification.

[Signature]
Signature of Notary Public

Print, Type/Stamp Name of Notary



**Attachment 4:
Supplemental
Information**




CARTER ENVIRONMENTAL SERVICES, INC.

CES 42 Masters Drive
St. Augustine, FL 32084
904-540-1786


www.carterenv.com

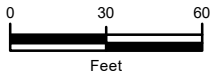
Project Location	
Ott - 22 N St. Augustine Blvd	
Project:	5.25165
	St. Augustine, FL
Date:	Apr 08 2025


 Figure: 1



Legend

 Project Area +/- 0.26 ac.



Sources: ESRI Aerial Basemap

Information represented on this map is for planning purposes only.

Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

CARTER ENVIRONMENTAL SERVICES, INC.



42 Masters Drive
St. Augustine, FL 32084
904-540-1786

www.carterenv.com

Current Aerial

Ott - 22 N St. Augustine Blvd



Project: 5.25165

St. Augustine, FL

Date: Apr 08 2025

Figure: 2

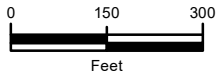


PZB Approval: 2022-0080
Green-24 N. St. Augustine Blvd

Proposed Structure

Legend

 Project Area +/- 0.26 ac.



Sources: ESRI Aerial Basemap

Information represented on this map is for planning purposes only.

Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

CARTER ENVIRONMENTAL SERVICES, INC.



42 Masters Drive
St. Augustine, FL 32084
904-540-1786

www.carterenv.com

Surrounding Structures

Ott - 22 N St. Augustine Blvd

Project: 5.25165

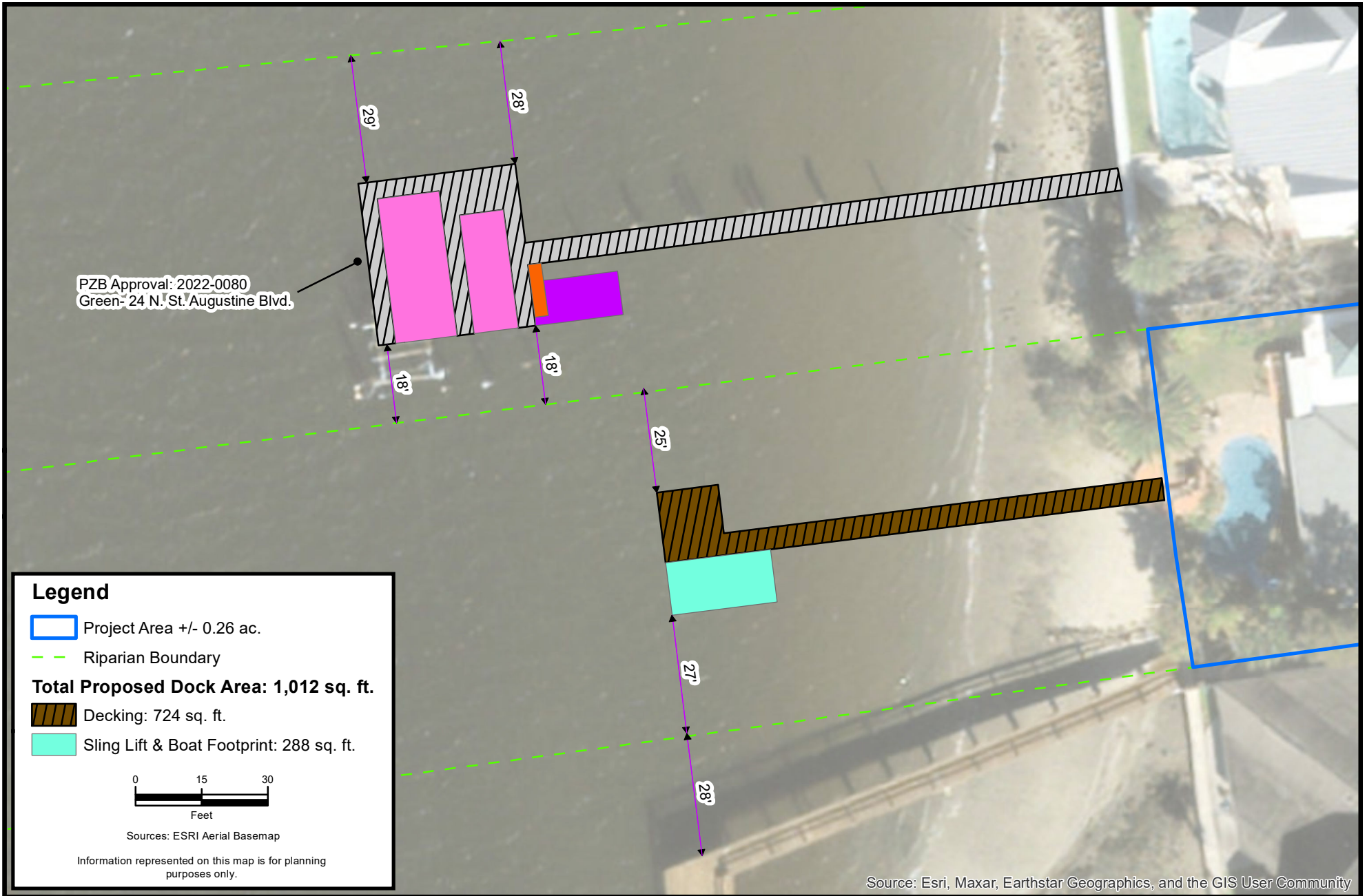
St. Augustine, FL

Date: May 01 2025

Figure: 3




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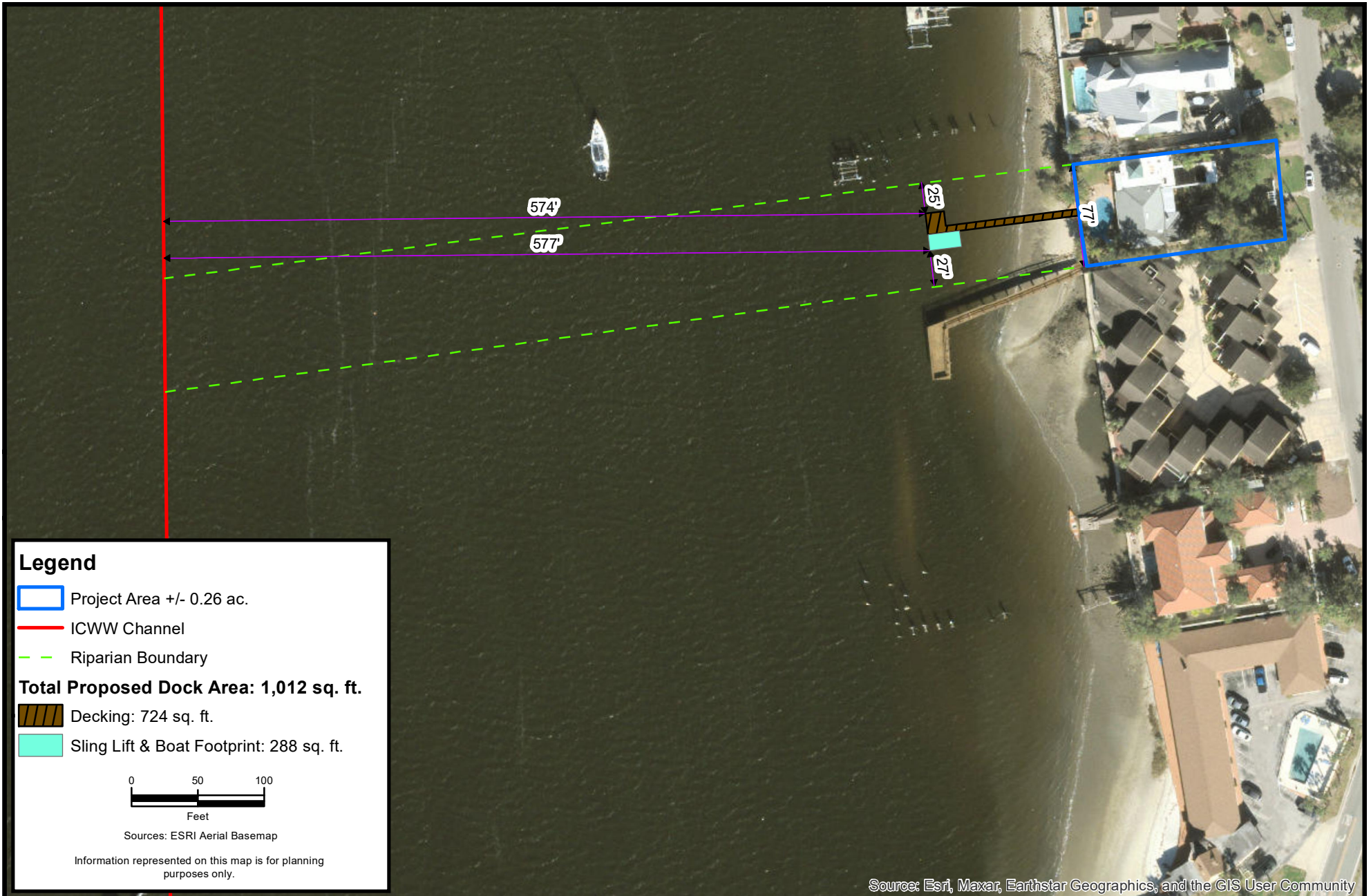
CARTER ENVIRONMENTAL SERVICES, INC.

CES 42 Masters Drive
St. Augustine, FL 32084
904-540-1786
www.carterenv.com

Adjacent Structures Proximity Ott - 22 N St. Augustine Blvd		
Project:	5.25165	St. Augustine, FL
		Date: May 01 2025


 Figure: **3a**

F:\CES Projects\Project Files\Active\Project Files\2025\5.25.165 Ott - 22 N. St. Aug Blvd\GIS\MXD\04_alignment.mxd



Legend

- Project Area +/- 0.26 ac.
- ICWW Channel
- Riparian Boundary

Total Proposed Dock Area: 1,012 sq. ft.

- Decking: 724 sq. ft.
- Sling Lift & Boat Footprint: 288 sq. ft.

0 50 100
Feet

Sources: ESRI Aerial Basemap

Information represented on this map is for planning purposes only.

Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

CARTER ENVIRONMENTAL SERVICES, INC.

CES 42 Masters Drive
St. Augustine, FL 32084
904-540-1786
www.carterenv.com

Proposed Alignment		
Ott - 22 N St. Augustine Blvd		
Project:	5.25165	St. Augustine, FL
Date:	Apr 25 2025	

Figure: **4**

F:\CES Projects\Project Files\Active\Project Files\2025\5.25.165 Ott 22 N. St Aug Blvd\GIS\MXD\05_dims.mxd



CARTER ENVIRONMENTAL SERVICES, INC.



42 Masters Drive
St. Augustine, FL 32084
904-540-1786

www.carterenv.com

Proposed Dimensions

Ott - 22 N St. Augustine Blvd

Project: 5.25165

St. Augustine, FL

Date: Apr 25 2025

Figure:

5



F:\CES Projects\Project Files\Active\Project Files\2025\5.25.165 Ott - 22 N. St. Aug Blvd\GIS\MXD\06_bathy.mxd



CARTER ENVIRONMENTAL SERVICES, INC.



42 Masters Drive
St. Augustine, FL 32084
904-540-1786

www.carterenv.com

Bathymetric Assessment

Ott - 22 N St. Augustine Blvd

Project: 5.25165

St. Augustine, FL

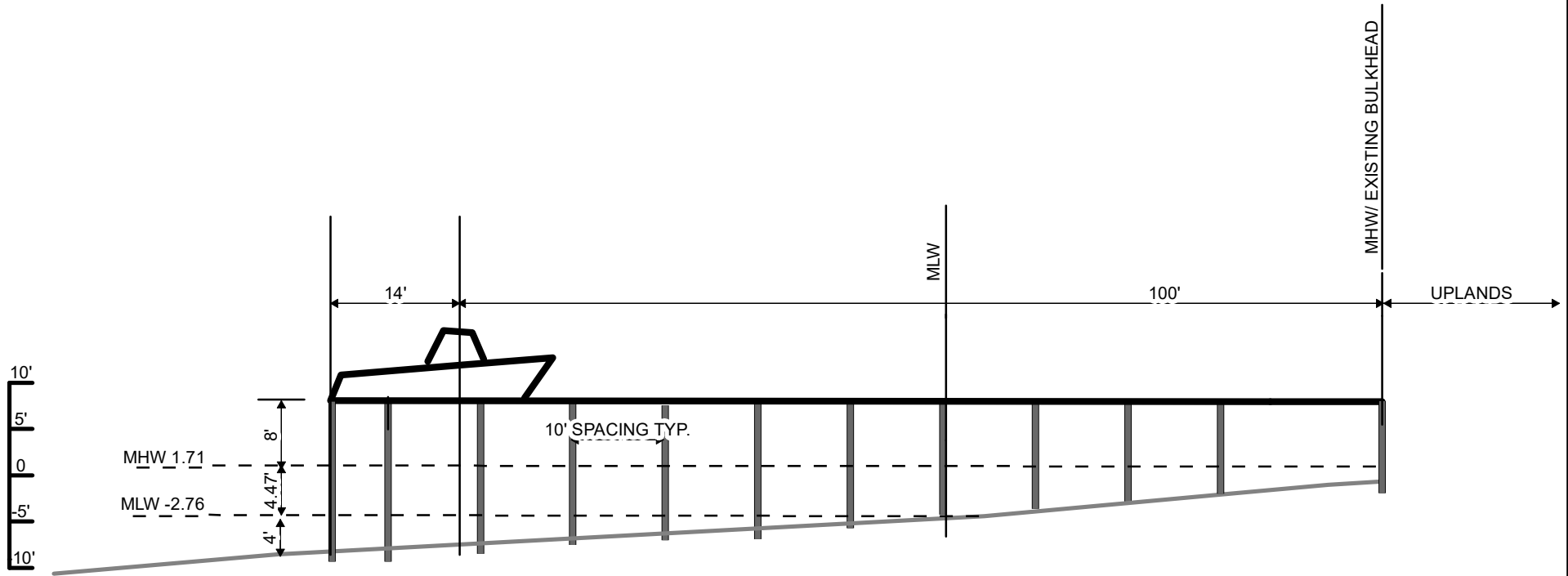
Date: Apr 25 2025

Figure:

6



F:\CES Projects\Project Files\Active\Projects\Ott - 22 N St. Aug Blvd\GIS\MXD\07_profile.mxd



CARTER ENVIRONMENTAL SERVICES, INC.



42 Masters Drive
St. Augustine, FL 32084
904-540-1786

www.carterenv.com

Profile View

Ott - 22 N St. Augustine Blvd

Project: 5.25165

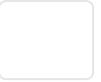
St. Augustine, FL

Date: Apr 28 2025

Figure:

7





Station Info

Tides/Water Levels

Meteorological Obs.

Phys. Oceanography

Datums for 8720576, ST. AUGUSTINE FL

NOTICE: All data values are relative to the NAVD88.

Elevations on NAVD88

Station: 8720576, ST. AUGUSTINE, FL

Status: Accepted (May 22 2012)

Units: Feet

Control Station: 8720220 Mayport (Ferry Depot), FL

T.M.: 75

Epoch: ([/datum_options.html#NTDE](#)) 1983-2001

Datum: NAVD88

Datum	Value	Description
MHHW (/datum_options.html#MHHW)	2.05	Mean Higher-High Water
MHW (/datum_options.html#MHW)	1.71	Mean High Water
MTL (/datum_options.html#MTL)	-0.53	Mean Tide Level
MSL (/datum_options.html#MSL)	-0.50	Mean Sea Level
DTL (/datum_options.html#DTL)	-0.44	Mean Diurnal Tide Level
MLW (/datum_options.html#MLW)	-2.76	Mean Low Water

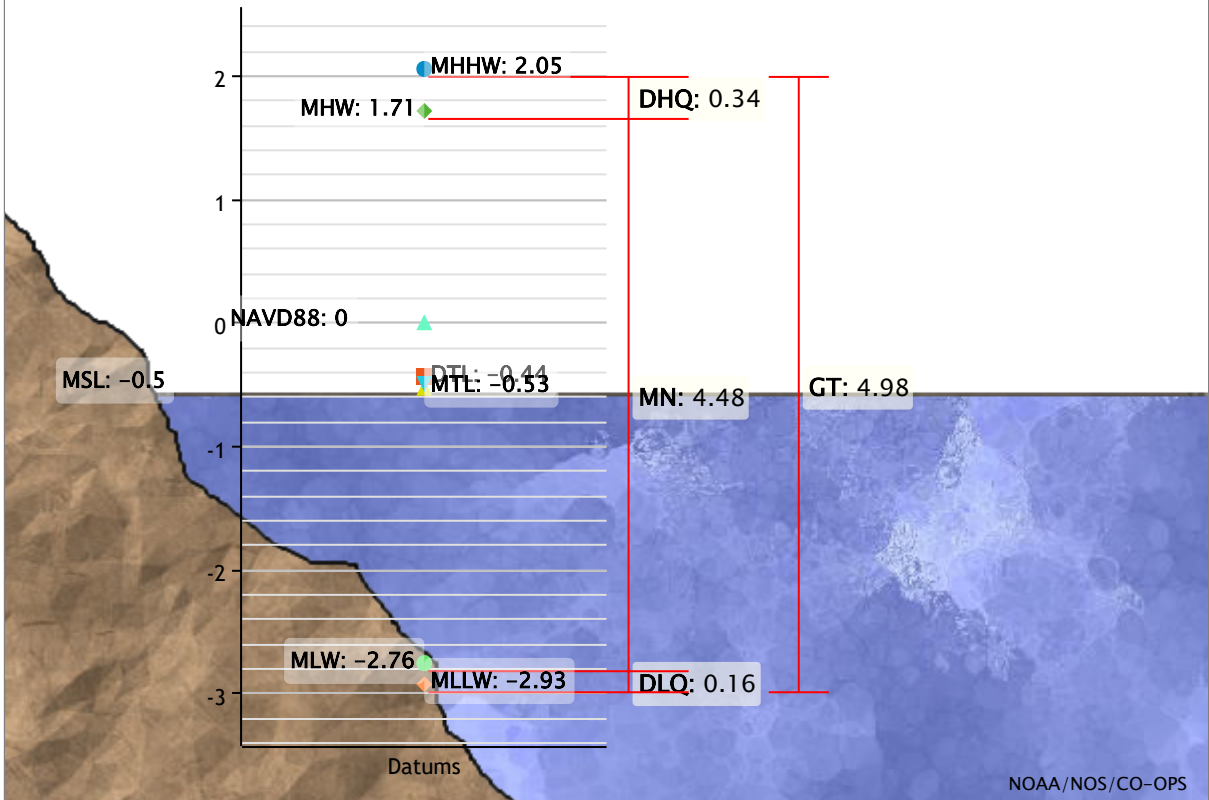
Datum	Value	Description
MLLW (/datum_options.html#MLLW)	-2.93	Mean Lower-Low Water
NAVD88 (/datum_options.html)	0.00	North American Vertical Datum of 1988
STND (/datum_options.html#STND)	-4.70	Station Datum
GT (/datum_options.html#GT)	4.98	Great Diurnal Range
MN (/datum_options.html#MN)	4.48	Mean Range of Tide
DHQ (/datum_options.html#DHQ)	0.34	Mean Diurnal High Water Inequality
DLQ (/datum_options.html#DLQ)	0.16	Mean Diurnal Low Water Inequality
HWI (/datum_options.html#HWI)	1.03	Greenwich High Water Interval (in hours)
LWI (/datum_options.html#LWI)	7.28	Greenwich Low Water Interval (in hours)
Max Tide (/datum_options.html#MAXTIDE)	4.13	Highest Observed Tide
Max Tide Date & Time (/datum_options.html#MAXTIDEDT)	11/03/1978 15:18	Highest Observed Tide Date & Time
Min Tide (/datum_options.html#MINTIDE)	-5.58	Lowest Observed Tide
Min Tide Date & Time (/datum_options.html#MINTIDEDT)	04/05/1977 19:06	Lowest Observed Tide Date & Time
HAT (/datum_options.html#HAT)		Highest Astronomical Tide
HAT Date & Time		HAT Date and Time
LAT (/datum_options.html#LAT)		Lowest Astronomical Tide
LAT Date & Time		LAT Date and Time

Tidal Datum Analysis Periods

01/01/1977 - 12/31/1978

Datums for 8720576, ST. AUGUSTINE, FL

All figures in feet relative to NAVD88



NOAA/NOS/CO-OPS

Showing datums for

8720576 ST. AUGUSTINE, FL

Datum

NAVD88

Data Units Feet

Meters

Epoch Present (1983-2001)

Superseded (1960-1978)

Submit

Show nearby stations

Products available at 8720576 ST. AUGUSTINE, FL

TIDES/WATER LEVELS

Water Levels

[NOAA Tide Predictions \(/noaatidepredictions.html?id=8720576\)](/noaatidepredictions.html?id=8720576)

Harmonic Constituents

Sea Level Trends

[Datums \(/datums.html?id=8720576\)](/datums.html?id=8720576)

[Bench Mark Sheets \(/benchmarks.html?id=8720576\)](/benchmarks.html?id=8720576)

[Extreme Water Levels \(/est/est_station.shtml?stnid=8720576\)](/est/est_station.shtml?stnid=8720576)

[Reports \(/reports.html?id=8720576\)](/reports.html?id=8720576)

METEOROLOGICAL/OTHER

Meteorological Observations

Water Temp/Conductivity

PORTS®

This station is not a member of PORTS®

OPERATIONAL FORECAST SYSTEMS

This station is not a member of OFS

INFORMATION

[Station Home Page \(/stationhome.html?id=8720576\)](/stationhome.html?id=8720576)

[Data Inventory \(/inventory.html?id=8720576\)](/inventory.html?id=8720576)

[Measurement Specifications \(/measure.html\)](/measure.html)

Website Owner: Center for Operational Oceanographic Products and Services

National Oceanic and Atmospheric Administration (<http://www.noaa.gov>)

National Ocean Service (<http://oceanservice.noaa.gov>)

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Take Our Survey (</survey.html>)

Freedom of Information Act (<https://www.noaa.gov/foia-freedom-of-information-act>)

Contact Us (</contact.html>)

**22 North St. Augustine Blvd
Overlay Zone Development Application Supplement
April 2025**

This narrative is intended to supplement the Conservation Overlay Zone Development Application for a single-family dock that includes an access pier, observation deck and boat lift. Total dock and lift area over open water will be approximately 1,012 sq. ft. Please see attached plans for detailed dimensions.

The construction proposed in this application would occur on lands located within Conservation Overlay Zones 1 and 2, as defined in Section 11-27 of the City Code. Section 11-29(a) of the Code sets forth certain criteria for structures located within Conservation Overlay Zones. The applicant has complied with each of those criteria, as detailed below:

1. *The proposed work will have a benefit to the public as a whole.*

This is a private dock. Public benefits may be economically related through construction activities and marine/boating related purchases.

2. *The proposed work will have no significant negative impact on natural systems (including adjacent salt marshes and the vegetative communities contained therein), by either individual or cumulative effect.*

The floating dock will not shade any in water natural systems.

3. *The proposed structures will not block or disrupt any vista or scenic opportunities.*

No boat houses are proposed. Dock height will be similar to neighboring docks and comply with Federal and State regulations.

4. *The proposed work will enhance vistas and scenic opportunities for the benefit of the public as a whole.*

A floating dock will not impede anyone's vision. The boat lift is consistent in size with other lifts in the area.

Applications for development in Conservation Overlay Zones are to be evaluated according to certain criteria set forth in Section 11-29(c) of the City Code. The owner has complied with each of those criteria, as detailed below:

1. *Site specific conditions.*

This property has approximately 77 feet of Matanzas Bay frontage. Adjacent properties utilize bulkheads and are elevated from the coastline.

2. *The site's relationship to adjacent properties, bodies of water and surrounding conservation zones.*

The property sits on the Matanzas Bay next to single-family homes to the North and South.

3. *Natural and proposed drainage patterns.*

Drainage will not be altered by the proposed works.

4. *Effect of point and non-point discharge in the marine environment.*

Point and non-point discharge will not be altered.

5. *Proposed soil stabilization and erosion control methods.*

Soil and erosion control may be necessary during construction, such as silt fences and turbidity barriers, but impacts will be temporary and no long-term erosional impacts will take place.

6. *Impact on floodplain.*

There is no impact on floodplains associated with this application.

7. *Impact of development on vegetative and animal communities.*

Vegetative impacts: Not applicable.

Lighting of the open water areas at night: The proposed works will be lit with low-level, directional lighting that greatly minimizes the amount of light intrusion into the open water.

Increased noise from day users: Minimal noise associated with private residential boating activities.

8. *Potential for contaminated drainage, storage of pollutants and the use of poisonous chemicals and materials.*

There will be no storage of pollutants or the use of poisonous chemicals and materials

9. *Effect of shade on vegetation and shellfish.*

Effects of shading on vegetation are not anticipated. Negative effects to shellfish, if any, should be minimal, with potentially positive impacts in the form of additional substrate for shellfish to colonize.

10. *Effect of boat wake and boat traffic on manatees, vegetation, shellfish and wildlife, as well as shoreline erosion.*

Use of the dock by the new owners will not affect any *manatees, vegetation, shellfish and wildlife or shoreline erosion*. No vegetation or shellfish are present under the proposed dock modification.

11. *Impact of development on shoreline by linear feet and percent of site.*

Not applicable.

12. *Impact of development on vistas and scenic opportunities by linear feet, height, mass and percent of site.*

Not applicable.

13. *Existing amounts of native plants and proposed retention and use of native plants for landscape and open space purposes.*

Not applicable.

14. *Impact of development on plant and animal habitat and potential loss in acres and percent of site.*

Not applicable.

15. *Impact of development on water quality.*

Not applicable.

16. *Impact of development on shellfish and on commercial and sport fish and waterfowl.*

a) The effects of the proposed project on commercial and sport fish are as follows:

Positive: The proposed new dock supports will provide shelter for larval, juvenile, and adult fish.

Negative: Extremely small loss of juvenile habitat from the placement of approximately new pilings for the dock construction.

b) The effects of the project on shellfish are as follows:

Positive: The pilings used to construct the dock/lift additions could be colonized by barnacles, oysters, and mussels. This will be an addition of habitat.

Negative: None

c) The effects of the project on water fowl are as follows

Positive: The additional dock area could be used as a resting place or perch for many water fowl.

Negative: Extremely small loss of foraging habitat.

17. Dock specifications:

- a) *No boathouse, roofed structure or wall shall be constructed on any dock.*

There are currently no proposed plans for any boathouse, roofed structure or wall within the dock.

- b) *The deck of any private boat dock shall not exceed eight (8) feet in height above the mean high water line.*

The deck will not exceed 8' above MHW.

Boatlifts shall have a maximum capacity of 12,000 pounds and shall be low-profile or no-profile.

The boat lifts is low profile and does not exceed 12,000 pounds.

Attachment 5:
DEP Permit



FLORIDA DEPARTMENT OF Environmental Protection

Ron DeSantis
Governor

Alexis A. Lambert
Secretary

Northeast District
8800 Baymeadows Way West, Suite 100
Jacksonville, Florida 32256

May 9, 2025

David Ott
22 North Saint Augustine Boulevard
Saint Augustine, Florida 32080
jacketslaxcoach@gmail.com

File No. 55-0460306-001-EG

Dear David Ott:

On April 29, 2025, we received your notice of intent to use a General Permit (GP), pursuant to Rule 62-330.427, Florida Administrative Code (F.A.C.) to construct a private residential single-family dock under 2,000 sq ft along Matanzas River, a Class III Florida Waterbody. The project is located at 22 North Saint Augustine Boulevard (Parcel ID 2134700000) St. Augustine, FL 32080, Section 17, Township 7 South, Range 30 East, at latitude 29°53'40.5756" North and 81°18'18.1091" West in St. Johns County.

Your intent to use a general permit has been reviewed by Department staff for three types of authorizations: (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully.

Your project qualifies for all three authorizations. However, this letter does not relieve you from the responsibility of obtaining other federal, state, or local authorizations that may be required for the activity.

If you change the project from what you submitted, the authorization(s) granted may no longer be valid at the time of commencement of the project. Please contact us prior to beginning your project if you wish to make any changes.

1. Regulatory Review – Approved

Based on the forms, drawings, and documents submitted with your notice, it appears that the project meets the requirements for the General Permit under Rule 62-330.427, F.A.C. Any activities performed under a general permit are subject to general conditions required in Rule 62-330.405, F.A.C. (attached), and the specific conditions of Rule 62-330.427, F.A.C. (attached). Any deviations from these conditions may subject the permittee to enforcement action and possible penalties.

Please be advised that the construction phase of the GP must be completed within five years from the date the notice to use the GP was received by the Department. If you wish to continue this GP beyond the expiration date, you must notify the Department at least 30 days before its expiration.

Authority for review- Part IV of Chapter 373, F.S., Title 62, F.A.C. and in accordance with the operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C.

2. Proprietary Review – Not Required

The activity does not appear to be located on sovereign submerged lands and does not require further authorization under Chapter 253 of the Florida Statutes, or Chapters 18-20 or 18-21 of the Florida Administrative Code.

3. Federal Review -- SPGP Approved

Your proposed activity as outlined in your application and attached drawings qualifies for Federal authorization pursuant to the State Programmatic General Permit VI-R1, and a **SEPARATE permit** or authorization **may not be required** from the U.S. Army Corps of Engineers. Please note that the Federal authorization expires on July 27, 2026. However, your authorization may remain in effect for up to 1 additional year, if provisions of Special Condition 15 of the SPGP VI-R1 permit instrument are met. You, as permittee, are required to adhere to all General Conditions and Special Conditions that may apply to your project. Special conditions required for your project are attached. A copy of the SPGP VI-R1 with all terms and conditions and the General Conditions may be found online in the Jacksonville District Regulatory Division Sourcebook (<https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book/>).

Authority for review - an agreement with the USACOE entitled “Coordination Agreement Between the U. S. Army Corps of Engineers (Jacksonville District) and the Florida Department of Environmental Protection (or Duly Authorized Designee), State Programmatic General Permit”, Section 10 of the Rivers and Harbor Act of 1899, and Section 404 of the Clean Water Act.

Coastal Zone Management Consistent

Issuance of this authorization also constitutes a finding of consistency with Florida's Coastal Zone Management Program, as required by Section 307 of the Coastal Zone Management Act.

Water Quality Certification Granted With Conditions

This permit also constitutes a *granted with conditions* water quality certification under Section 401 of the Clean Water Act, 33 U.S.C. Section 1341. Pursuant to Rule 62-330.062, F.A.C. State Water Quality Certification is granted when an activity meets all the terms and conditions of a general permit under Rule 62-330.052, F.A.C., and the applicable Rules 62-330.401 through 62-330.635, F.A.C.

Additional Information

Please retain this general permit. The activities may be inspected by authorized state personnel in the future to ensure compliance with appropriate statutes and administrative codes. If the activities are not in compliance, you may be subject to penalties under Chapter 373, F.S., and Chapter 18-14, F.A.C.

NOTICE OF RIGHTS

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S., before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. Because the administrative hearing process is designed to formulate final agency action, the hearing process may result in a modification of the agency action or even denial of the application.

Petition for Administrative Hearing

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rules 28-106.201 and 28-106.301, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, any e-mail address, any facsimile number, and telephone number of the petitioner, if the petitioner is not represented by an attorney or a qualified representative; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

The petition must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@dep.state.fl.us. Also, a copy of the petition shall be mailed to the applicant at the address indicated above at the time of filing.

Time Period for Filing a Petition

In accordance with Rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant and persons entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of publication of the notice or within 21 days of receipt of the written notice, whichever occurs first. You cannot justifiably rely on the finality of this decision unless notice of this decision and the right of substantially affected persons to challenge this decision has been duly published or otherwise provided to all persons substantially affected by the decision. While you are not required to publish notice of this action, you may elect to do so pursuant Rule 62-110.106(10)(a).

The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S., or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C. If you do not publish notice of this action, this waiver will not apply to persons who have not received written notice of this action.

Extension of Time

Under Rule 62-110.106(4), F.A.C., a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@dep.state.fl.us, before the deadline for filing a petition for an administrative hearing. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

Mediation

Mediation is not available in this proceeding.

FLAWAC Review

The applicant, or any party within the meaning of Section 373.114(1)(a) or 373.4275, F.S., may also seek appellate review of this order before the Land and Water Adjudicatory Commission under Section 373.114(1) or 373.4275, F.S. Requests for review before the Land and Water Adjudicatory Commission must be filed with the Secretary of the Commission and served on the Department within 20 days from the date when this order is filed with the Clerk of the Department.

Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S., by filing a Notice of Appeal pursuant to Florida Rules of Appellate Procedure 9.110 and 9.190 with the Clerk of the Department in the Office of General Counsel (Station #35, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399-3000) and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice must be filed within 30 days of the date this action is filed with the Clerk of the Department.

EXECUTION AND CLERKING

Executed in Jacksonville, Florida.

STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION



Khristian Mangahas
Environmental Manager

Enclosures:

62-330.427, F.A.C. General Permit for Docks, Piers, and Associated Structures.
General Conditions for All General Permits, Ch. 62-330.405, F.A.C.
Special Conditions for Federal Authorization for SPGP V-R1
General Conditions for Federal Authorization for SPGP V-R1
Standard Manatee Conditions, 2011
SPGP VI-R1 Commencement Notification
SPGP VI-R1 Self-Certification Statement of Compliance
SPGP VI-R1 Department of the Army Permit Transfer
Project drawings, 8 pages

CERTIFICATE OF SERVICE

The undersigned duly designated deputy clerk hereby certifies that this document and all attachments were sent on the filing date below to the following listed persons:

U.S. Army Corps of Engineers, corpsjaxreg-nj@usace.army.mil
Michael Carpenter, mcarpenter@carterenv.com
Katie Sula Miller, FDEP NED
Khristian Mangahas, FDEP NED
Neelia Heath, FDEP NED

File Name: Ott Dock
File No: 55-0460306-001-EG
Page 6 of 23

FILING AND ACKNOWLEDGMENT

FILED, on this date May 9, 2025, pursuant to Section 120.52, F. S., with the designated Department Clerk, receipt of which is hereby acknowledged.

Soni Frayla
Clerk

May 9, 2025
Date

62-330.427 General Permit for Docks, Piers and Associated Structures.

(1) A general permit is granted to any person to construct, extend, or remove a dock or pier and associated structures as described below:

- (a) A private, single-family pier or dock with up to two boat lifts that, together with all existing structures on the shoreline of the property, does not exceed a total area of 2,000 square feet over surface waters. Such a structure:
 - 1. Shall not accommodate the mooring of more than two vessels, either in the water or on a boat lift. Solely for purposes of this general permit, up to two personal watercrafts as defined in section 327.02(33), F.S., may be moored in lieu of either or both allowable vessels of another type. These limits shall not apply to the mooring, storage or other use of the dock or pier by:
 - a. Non-motor-powered vessels less than 16 feet in length that are stored on or under the dock or pier, or within an authorized mooring area; or
 - b. Personal watercraft, dinghies or similar small vessels that are stowed out of the water, upon a larger parent vessel that is moored at the dock in compliance with this general permit.
 - 2. Shall be located such that all areas used for vessel mooring and navigational access already provide a minimum depth of two feet below the mean low water level for tidal waters, or two feet below the expected average low water depth for non-tidal waters as determined based on best available information for the water body at the project location; and
 - 3. May include a roof over the vessel mooring areas, boat lifts, and terminal platform, or any portions thereof, subject to the applicable provisions of chapters 253 and 258, F.S., and the rules adopted thereunder. Portions of such roofs that overhang beyond the edge of decked portions of the pier or dock shall be included in the calculation of the total square footage of over-water structure allowed under paragraph (1)(a), above.

(2) This general permit shall be subject to the following specific conditions:

- (a) Construction or extension of the boat lift, boat mooring locations, or terminal platform, shall not occur over submerged grassbeds, coral communities or wetlands. However, the access walkway portion of the pier may traverse these resources provided it is elevated a minimum of five feet above mean high water or ordinary high water, contains handrails that are maintained in such a manner as to prevent use of the access walkways for boat mooring or access, and does not exceed a width of six feet, or a width of four feet in Aquatic Preserves;
- (b) There shall be no structures enclosed by walls, screens, or doors on any side;
- (c) The dock or pier will not facilitate vessel rentals, charters, or serve any other commercial purpose;
- (d) There shall be no fish cleaning facilities, boat repair facilities or equipment, or fueling facilities on the structures authorized by this general permit. In addition, no overboard discharges of trash, human or animal waste, or fuel shall occur from any structures authorized by this general permit;
- (e) This general permit shall not authorize the construction or extension of more than one dock or pier per parcel of land or individual lot. For the purposes of this general permit, multi-family living complexes shall be treated as one parcel of property regardless of the legal division of ownership or control of the associated property; and
- (f) Notwithstanding any other provisions of this general permit, the design, construction and operation of the dock or pier and associated vessels shall not conflict with any manatee protection plan approved and adopted under Section 379.2431(2)(t), F.S.

Rulemaking Authority 373.026(7), 373.043, 373.118(1), 373.406(5), 373.4131, 373.414(9), 373.418, 403.805(1) FS. Law Implemented 373.118(1), 373.406(5), 373.413, 373.4131, 373.414(9), 373.416, 373.418, 373.426, 403.814(1) FS. History—New 10-3-95, Formerly 62-341.427, Amended 10-1-13, 6-1-18.

62-330.405 General Conditions for All General Permits

The following general permit conditions are binding upon the permittee and are enforceable under chapter 373, F.S. These conditions do not apply to the general permit for stormwater management systems under section 403.814(12), F.S.

(1) The general permit is valid only for the specific activity indicated. Any deviation from the specified activity and the conditions for undertaking that activity shall constitute a violation of the permit and may subject the permittee to enforcement action and revocation of the permit under chapter 373, F.S.

(2) The general permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any construction, alteration, operation, maintenance, removal or abandonment authorized by this permit; and it does not authorize any violation of any other applicable federal, state, local, or special district laws (including, but not limited to, those governing the “take” of listed species).

(3) The general permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the general permit.

(4) The general permit does not relieve the permittee from liability and penalties when the permitted activity causes harm or injury to: human health or welfare; animal, plant or aquatic life; or property. It does not allow the permittee to cause pollution that violates state water quality standards.

(5) Section 253.77, F.S., provides that a person may not commence any excavation, construction, or other activity involving the use of state-owned or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required consent, lease, easement, or other form of authorization authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on state-owned lands.

(6) The authorization to conduct activities under a general permit may be modified, suspended or revoked in accordance with chapter 120, F.S., and section 373.429, F.S.

(7) The general permit is not transferable to a new third party. To be used by a different permittee, a new notice to use a general permit must be submitted in accordance with rule 62-330.402, F.A.C. Activities constructed in accordance with the terms and conditions of a general permit are automatically authorized to be operated and maintained by the permittee and subsequent owners in accordance with subsection 62-330.340(1), F.A.C. Any person holding the general permit, persons working under the general permit, and owners of land while work is conducted under the general permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to sale, conveyance, or other transfer of ownership or control of the permitted project, activity, or the real property at which the permitted project or activity is located.

(8) Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the permitted system to ensure conformity with the plans and specifications approved by the general permit.

(9) The permittee shall maintain any permitted project or activity in accordance with the plans submitted to the Agency and authorized in the general permit.

(10) A permittee’s right to conduct a specific activity under the general permit is authorized

for a duration of five years.

(11) Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be implemented and maintained immediately prior to, during, and after construction as needed to stabilize all disturbed areas, including other measures specified in the permit to prevent adverse impacts to the water resources and adjacent lands. Erosion and sediment control measures shall be installed and maintained in accordance with the *State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation, June 2007)*, available at <https://www.flrules.org/Gateway/reference.asp?No=Ref-04227>, and the *Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008)*, available at http://publicfiles.dep.state.fl.us/DEAR/Stormwater_Training_Docs/erosion-inspectors-manual.pdf.

(12) Unless otherwise specified in the general permit, temporary vehicular access within wetlands during construction shall be performed using vehicles generating minimum ground pressure to minimize rutting and other environmental impacts. Within forested wetlands, the permittee shall choose alignments that minimize the destruction of mature wetland trees to the greatest extent practicable. When needed to prevent rutting or soil compaction, access vehicles shall be operated on wooden, composite, metal, or other non-earthen construction mats. In all cases, access in wetlands shall comply with the following:

(a) Access within forested wetlands shall not include the cutting or clearing of any native wetland tree having a diameter four inches or greater at breast height;

(b) The maximum width of the construction access area shall be limited to 15 feet;

(c) All mats shall be removed as soon as practicable after equipment has completed passage through, or work has been completed, at any location along the alignment of the project, but in no case longer than seven days after equipment has completed work or passage through that location; and

(d) Areas disturbed for access shall be restored to natural grades immediately after the maintenance or repair is completed.

(13) Barges or other work vessels used to conduct in-water activities shall be operated in a manner that prevents unauthorized dredging, water quality violations, and damage to submerged aquatic communities.

(14) The construction, alteration, or use of the authorized project shall not adversely impede navigation or create a navigational hazard in the water body.

(15) Except where specifically authorized in the general permit, activities must not:

(a) Impound or obstruct existing water flow, cause adverse impacts to existing surface water storage and conveyance capabilities, or otherwise cause adverse water quantity or flooding impacts to receiving water and adjacent lands; or

(b) Cause an adverse impact to the maintenance of surface or ground water levels or surface water flows established pursuant to section 373.042, F.S., or a Works of the District established pursuant to section 373.086, F.S.

(16) If prehistoric or historic artifacts, such as pottery or ceramics, projectile points, stone tools, dugout canoes, metal implements, historic building materials, or any other physical remains that could be associated with Native American, early European, or American settlement are encountered at any time within the project site area, the permitted project shall cease all activities

involving subsurface disturbance in the vicinity of the discovery. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance Review Section (DHR), at (850)245-6333, as well as the appropriate permitting agency office. Project activities shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and the proper authorities notified in accordance with section 872.05, F.S.

(17) The activity must be capable, based on generally accepted engineering and scientific principles, of being performed and of functioning as proposed, and must comply with any applicable District special basin and geographic area criteria.

(18) The permittee shall comply with the following when performing work within waters accessible to federally- or state-listed aquatic species, such as manatees, marine turtles, smalltooth sawfish, and Gulf sturgeon:

(a) All vessels associated with the project shall operate at “Idle Speed/No Wake” at all times while in the work area and where the draft of the vessels provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.

(b) All deployed siltation or turbidity barriers shall be properly secured, monitored, and maintained to prevent entanglement or entrapment of listed species.

(c) All in-water activities, including vessel operation, must be shut down if a listed species comes within 50 feet of the work area. Activities shall not resume until the animal(s) has moved beyond a 50-foot radius of the in-water work, or until 30 minutes elapses since the last sighting within 50 feet. Animals must not be herded away or harassed into leaving. All onsite project personnel are responsible for observing water-related activities for the presence of listed species.

(d) Any listed species that is killed or injured by work associated with activities performed shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1(888)404-3922 and ImperiledSpecies@myFWC.com.

(e) Whenever there is a spill or frac-out of drilling fluid into waters accessible to the above species during a directional drilling operation, the FWC shall be notified at ImperiledSpecies@myfwc.com with details of the event within 24 hours following detection of the spill or frac-out.

(19) The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any activity authorized by the general permit.

(20) The permittee shall immediately notify the Agency in writing of any submitted information that is discovered to be inaccurate.

Rulemaking Authority 373.026(7), 373.043, 373.118(1), 373.406(5), 373.4131, 373.414(9), 373.4145, 373.418, 403.805(1) FS. Law Implemented 373.044, 373.118(1), 373.129, 373.136, 373.406(5), 373.413, 373.4131, 373.414(9), 373.4145, 373.416, 373.422, 373.423, 373.429, 403.814(1) FS. History—New 10-3-95, Amended 10-1-07, Formerly 62-341.215, Amended 10-1-13, 6-1-18.

Special Conditions for Federal Authorizations for SPGP VI-R1

1. Authorization, design and construction must adhere to the terms of the SPGP VI instrument including the General Conditions for All Projects, Special Conditions for All Projects, Applicable activity-specific special conditions, Procedure and Work Authorized sections.
2. Design and construction must adhere to the PDCs for In-Water Activities (Attachment 28, from PDCs AP.7 through AP11, inclusive, of JAXBO) (Reference: JAXBO PDC AP.1.).
3. All activities must be performed during daylight hours (Reference: JAXBO PDC AP.6.).
4. For all projects involving the installation of piles, sheet piles, concrete slab walls or boatlift I-beams (Reference Categories A, B and C of JAXBO *PDCs for In-Water Noise from Pile and Sheet Pile Installation*, page 86):
 - a. Construction methods limited to trench and fill, pilot hole (auger or drop punch), jetting, vibratory, and impact hammer (however, impact hammer limited to installing no more than 5 per day).
 - b. Material limited to wood piles with a 14-inch diameter or less, concrete piles with a 24-inch diameter/width or less, metal pipe piles with a 36-inch diameter or less, metal boatlift I-beams, concrete slab walls, vinyl sheet piles, and metal sheet piles.
 - c. Any installation of metal pipe or metal sheet pile by impact hammer is not authorized (Reference: Categories D and E of JAXBO *PDCs for In-Water Noise from Pile and Sheet Pile Installation*, page 86.).
 - d. Projects within the boundary of the NOAA Florida Keys National Marine Sanctuary require prior approval from the Sanctuary (Reference: JAXBO PDCs AP.14 and A1.6).
5. The Permittee shall comply with the “Standard Manatee Conditions for In-Water Work – 2011” (Attachment 29).
6. No structure or work shall adversely affect or disturb properties listed in the National Register of Historic Places or those eligible for inclusion in the National Register. Prior to the start of work, the Applicant/Permittee or other party on the Applicant’s/Permittee’s behalf, shall conduct a search of known historical properties by contracting a professional

archaeologist, and contacting the Florida Master Site File at 850-245-6440 or SiteFile@dos.state.fl.us. The Applicant/Permittee can also research sites in the National Register Information System (NRIS). Information can be found at <http://www.cr.nps.gov/nr/research>.

- a. If, during the initial ground disturbing activities and construction work, there are archaeological/cultural materials unearthed (which shall include, but not be limited to: pottery, modified shell, flora, fauna, human remains, ceramics, stone tools or metal implements, dugout canoes or any other physical remains that could be associated with Native American cultures or early colonial or American settlement), the Permittee shall immediately stop all work in the vicinity and notify the Compliance and Review staff of the State Historic Preservation Office at 850-245- 6333 and the Corps Regulatory Archeologist at 904-232-3270 to assess the significance of the discovery and devise appropriate actions, including salvage operations. Based on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend, or revoke the permit in accordance with 33 C.F.R. § 325.7.
 - b. In the unlikely event that human remains are identified, the remains will be treated in accordance with Section 872.05, Florida Statutes; all work in the vicinity shall immediately cease and the local law authority, and the State Archaeologist (850-245-6444) and the Corps Regulatory Archeologist at 904-232-3270 shall immediately be notified. Such activity shall not resume unless specifically authorized by the State Archaeologist and the Corps.
7. The Permittee is responsible for obtaining any “take” permits required under the U.S. Fish and Wildlife Service’s regulations governing compliance with these laws. The Permittee should contact the appropriate local office of the U.S. Fish and Wildlife Service to determine if such “take” permits are required for a particular activity.
 8. Mangroves. The design and construction of a Project must comply with the following (Reference: JAXBO PDCs AP.3 and AP.12.):
 - a. All projects must be sited and designed to avoid or minimize impacts to mangroves.
 - b. Mangrove removal must be conducted in a manner that avoids any unnecessary removal and is limited to the following instances:
 - (1) Removal to install up to a 4-ft-wide walkway for a dock.
 - (2) Removal of mangroves above the mean high water line (MHWL) provided that the tree does not have any prop roots that extend into the water below the MHWL.

(3) Mangrove trimming. Mangrove trimming refers to the removal (using hand equipment such as chain saws and/or machetes) of lateral branches (i.e., no alteration of the trunk of the tree) in a manner that ensures survival of the tree.

(a) Projects with associated mangrove trimming waterward of the MHWL are authorized if the trimming: (a) occurs within the area where the authorized structures are placed or will be placed (i.e., removal of branches that overhang a dock or lift), (b) is necessary to provide temporary construction access, and (c) is conducted in a manner that avoids any unnecessary trimming.

(b) Projects proposing to remove red mangrove prop roots waterward of the MHWL are not authorized, except for removal to install the dock walkways as described above.

9. For Projects authorized under this SPGP VI in navigable waters of the U.S., the Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.

10. Notifications to the Corps. For all authorizations under this SPGP VI, including Self-Certifications, the Permittee shall provide the following notifications to the Corps:

a. Commencement Notification. Within 10 days from the date of initiating the work authorized by this permit the Permittee shall submit a completed "Commencement Notification" form (Attachment 8).

b. Corps *Self-Certification Statement of Compliance* form. Within 60 days of completion of the work authorized by this permit, the Permittee shall complete the "Self-Certification Statement of Compliance" form (Attachment 9) and submit it to the Corps. In the event that the completed work deviates in any manner from the authorized work, the Permittee shall describe the deviations between the work authorized by this permit and the work as constructed on the "Self-Certification Statement of Compliance" form. The description of any deviations on the "Self-Certification Statement of Compliance" form does not constitute approval of any deviations by the Corps.

- c. Permit Transfer. When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date the enclosed form (Attachment 10).
- d. Reporting Address. The Permittee shall submit all reports, notifications, documentation, and correspondence required by the general and special conditions of this permit to the following address.

(1) For standard mail: U.S. Army Corps of Engineers, Regulatory Division, Enforcement Section, P.O. Box 4970, Jacksonville, FL, 32232-0019.

(2) For electronic mail: SAJ-RD-Enforcement@usace.army.mil (not to exceed 10 MB). The Permittee shall reference this permit number, SAJ-2015-2575 on all submittals.

- 11. The District Engineer reserves the right to require that any request for authorization under this SPGP VI be evaluated as an Individual Permit. Conformance with the terms and conditions of the SPGP VI does not automatically guarantee Federal authorization.
- 12. On a case-by-case basis, the Corps may impose additional Special Conditions which are deemed necessary to minimize adverse environmental impacts.
- 13. Failure to comply with all conditions of the SPGP VI constitutes a violation of the Federal authorization.
- 14. The SPGP VI will be valid through the expiration date unless suspended or revoked by issuance of a public notice by the District Engineer. The Corps, in conjunction with the Federal resource agencies, will conduct periodic reviews to ensure that continuation of the permit during the period ending expiration date, is not contrary to the public interest. The SPGP VI will not be extended beyond the expiration date but may be replaced by a new SPGP. If revocation occurs, all future applications for activities covered by the SPGP VI will be evaluated by the Corps.
- 15. If the SPGP VI expires, is revoked, or is terminated prior to completion of the authorized work, authorization of activities which have commenced or are under contract to commence in reliance upon the SPGP VI will remain in effect provided the activity is completed within 12 months of the date the SPGP VI expired or was revoked.

Special Conditions for Docks, Piers, Associated Facilities, and other Minor Piling-Supported Structures.

16. Chickees must be less than 500 ft² and support no more than 2 slips (Reference: JAXBO PDC A2.1.6.).
17. The design and construction of a Project over marsh (emergent vegetation) must comply with the following:
 - a. The piling-supported structure shall be aligned so as to have the smallest over- marsh footprint as practicable.
 - b. The over-marsh portion of the piling-supported structure (decking) shall be elevated to at least 4 feet above the marsh floor.
 - c. The width of the piling-supported is limited to a maximum of 4 feet. Any exceptions to the width must be accompanied by an equal increase in height requirement.
18. Mangroves. For pile-supported structures, the following additional requirements for mangroves found in the joint U.S. Army Corps of Engineers'/National Marine Fisheries Service's "Construction Guidelines in Florida for Minor Piling-Supported Structures Constructed in or over Submerged Aquatic Vegetation (SAV), Marsh or Mangrove Habitat" U.S. Army Corps of Engineers/National Marine Fisheries Service updated November 2017 (Attachment 11) shall apply:
 - a. The width of the piling-supported structure is limited to a maximum of 4 feet.
 - b. Mangrove clearing is restricted to the width of the piling-supported structure.
 - c. The location and alignment of the piling-supported structure should be through the narrowest area of the mangrove fringe.
19. Regarding SAV, the design and construction of a Project must comply with the following:
 - a. A pile supported structure
 - (1) that is located on a natural waterbody (i.e. outside an artificial waterway that was excavated for boating access and is bordered by residential properties); and

(2) that is within the range of seagrass (estuarine waters within all coastal counties except for Nassau, Duval, St Johns, Flagler and Volusia north of Ponce Inlet), but outside of the range of Johnson's seagrass (the range of Johnson's seagrass is defined as Turkey Creek/Palm Bay south to central Biscayne Bay in the lagoon systems on the east coast of Florida) will be constructed to the following standards:

(a) If no survey is performed in accordance with the methods described in the Procedure section of this document, section I.3, then SAV is presumed present and the pile-supported structure must comply with, or provide a higher level of protection than, the protective criteria in the joint U.S. Army Corps of Engineers'/National Marine Fisheries Service's "*Construction Guidelines in Florida for Minor Piling- Supported Structures Constructed in or over Submerged Aquatic Vegetation (SAV), Marsh or Mangrove Habitat*" U.S. Army Corps of Engineers/National Marine Fisheries Service updated November 2017 (Attachment 11). For the purposes of SPGP, two uncovered boatlifts are allowed.

(i) If the pile supported structure is currently serviceable, repair and replacement may occur in the same footprint without completion of a benthic survey.

(ii) Boatlifts and minor structures in Monroe County may be installed within existing boat slips without completion of a SAV survey. Boatlift accessory structures, like catwalks, shall adhere to "*Construction Guidelines in Florida for Minor Piling- Supported Structures Constructed in or over Submerged Aquatic Vegetation (SAV), Marsh or Mangrove Habitat*" U.S. Army Corps of Engineers/National Marine Fisheries Service updated November 2017 (Attachment 11) if a SAV survey has not been completed.

(iii) A marginal dock may be constructed a maximum of 5 feet overwater, as measured from the waterward face (wet face) of the seawall).

(b) If a survey is performed in accordance with the methods described in the Procedure section of this document, section I.3, and SAV is present (including seagrass, tidal freshwater SAV and emergent vegetation), then the pile-supported structure must comply with, or provide a higher level of protection than, the protective criteria in the joint U.S. Army Corps of Engineers'/National Marine Fisheries Service's "*Construction Guidelines in Florida for Minor Piling-Supported Structures Constructed in or over Submerged Aquatic Vegetation (SAV), Marsh or Mangrove Habitat*" U.S. Army Corps of Engineers/National Marine Fisheries Service updated November 2017 (Attachment 11). For the purposes of this permit, two uncovered boatlifts are allowed.

(i) If the pile supported structure is currently serviceable, repair and replacement may occur in the same footprint without completion of a benthic survey.

(ii) Boatlifts may be installed within existing boat slips without completion of a SAV survey.

(iii) A marginal dock may be constructed a maximum of 5 feet overwater, as measured from the waterward face (wet face) of the seawall).

(c) If a survey is performed in accordance with the methods described in the Procedure section of this document, section I.3, and SAV is absent (including seagrass, tidal freshwater SAV and emergent vegetation), then no design restrictions are required and boatlifts may include a cover.

(d) A pile supported structure

(i) that is located on a natural waterbody (i.e. outside an artificial waterway that was excavated for boating access and is bordered by residential properties); and

(ii) that is within the range of Johnson's seagrass (the range of Johnson's seagrass is defined as Turkey Creek/Palm Bay south to central Biscayne Bay in the lagoon systems on the east coast of Florida) but not within Johnson's seagrass critical habitat will be constructed to the following standards:

(iii) If no survey is performed in accordance with the methods described in the Procedure section of this document, section I.3, then seagrass is presumed present and the pile-supported structure must comply with or provide a higher level of protection than, the protective criteria in the joint U.S. Army Corps of Engineers'/National Marine Fisheries Service's "Construction Guidelines in Florida for Minor Piling-Supported Structures Constructed in or over Submerged Aquatic Vegetation (SAV), Marsh or Mangrove Habitat" U.S. Army Corps of Engineers/National Marine Fisheries Service updated November 2017 (Attachment 11) with the sole exception of the number of allowable boat lifts. For the purposes of this permit, two uncovered boatlifts are allowed.

(e) If a survey is performed in accordance with the methods described in the Procedure section of this document, section I.3, and SAV is present (including seagrass, tidal freshwater SAV and emergent vegetation), THEN pile-supported structure must comply with or provide a higher level of protection than, the protective criteria in the joint U.S. Army Corps of Engineers'/National Marine Fisheries Service's "Construction Guidelines in Florida for Minor Piling-Supported Structures Constructed in or over Submerged Aquatic Vegetation (SAV), Marsh or Mangrove Habitat" U.S. Army Corps of Engineers/National Marine Fisheries Service updated November 2017 (Attachment 11). For the purposes of this permit, two uncovered boatlifts are allowed.

(f) If a survey is performed in accordance with the methods described in

the procedure section of this document, section I.3, and SAV is absent (including seagrass, tidal freshwater SAV and emergent vegetation), THEN no design restrictions are required and boatlifts may include a cover.

(g) A pile supported structure located within Johnson's seagrass critical habitat will be constructed to the following standards:

(i) If no survey is performed in accordance with the methods described in the Procedure section of this document, section I.3, then seagrass is presumed present and the pile-supported structure must comply with or provide a higher level of protection than, the protective criteria in the joint U.S. Army Corps of Engineers'/National Marine Fisheries Service's "Construction Guidelines in Florida for Minor Piling-Supported Structures Constructed in or over Submerged Aquatic Vegetation (SAV), Marsh or Mangrove Habitat" U.S. Army Corps of Engineers/National Marine Fisheries Service updated November 2017 (Attachment 11) with the sole exception of the number of allowable boat lifts. For the purposes of this permit, two uncovered boatlifts are allowed.

(ii) If a survey is performed in accordance with the methods described in the Procedure section of this document, section I.3, and SAV is absent and the project is

1. A dock replacement in the same footprint, no design restrictions are required.
2. A new dock or dock expansion THEN pile-supported structure must comply with or provide a higher level of protection than, the protective criteria in the joint U.S. Army Corps of Engineers'/National Marine Fisheries Service's "Construction Guidelines in Florida for Minor Piling-Supported Structures Constructed in or over Submerged Aquatic Vegetation (SAV), Marsh or Mangrove Habitat" U.S. Army Corps of Engineers/National Marine Fisheries Service updated November 2017 (Attachment 11). For the purposes of this permit, two uncovered boatlifts are allowed.

(iii) If a survey is performed in accordance with the methods described in the Procedure section of this document, section I.3, and SAV is present (including seagrass, tidal freshwater SAV and emergent vegetation), then pile-supported structure must comply with or provide a higher level of protection than, the protective criteria in the joint U.S. Army Corps of Engineers'/National Marine Fisheries Service's "Construction Guidelines in Florida for Minor Piling-Supported Structures Constructed in or over Submerged Aquatic Vegetation (SAV), Marsh or Mangrove Habitat" U.S. Army Corps of Engineers/National Marine Fisheries Service updated November 2017 (Attachment 11). For the purposes of this permit, two uncovered boatlifts are allowed.

20. North Atlantic Right Whale. The attached North Atlantic Right Whale Information Form (Attachment 30) describes the presence of North Atlantic right whales in the area and the Federal regulations governing the approach to North Atlantic right whales. The FDEP or Designee will attach the North Atlantic Right Whale Information Form to their authorizations for any dock project (new construction, repair, or replacement) at a private residence located within 11 nautical miles of an inlet that leads to areas within the known range of North Atlantic right whale. These zones, with an 11 nm radius, are described by the North Atlantic Right Whale Educational Sign Zones, Attachment 7 (from Section 2.1.1.4 of JAXBO, pages 31 and 32, inclusive). (Reference JAXBO PDC A2.4).
21. Educational Signs. For commercial, multi-family, or public facilities, and marine events, signs must be posted as described below (Reference: These replicate JAXBO PDCs A.2.2 and A.2.2.1 to A.2.2.3., inclusive, within the table PDCs Specific to Activity 2 - Pile Supported Structures and Anchored Buoys, starting on page 112.):
- a. For commercial, multi-family, or public facilities, and marine events, signs must be posted in a visible location(s), alerting users of listed species in the area susceptible to vessel strikes and hook-and-line captures. The most current version of the signs that must be downloaded and sign installation guidance are available at: (<https://www.fisheries.noaa.gov/southeast/consultations/protected-species-educational-signs>). The signs required to be posted by area are stated below: <https://www.fisheries.noaa.gov/southeast/consultations/protected-species-educational-signs>
- (1) All projects in Florida shall use the Save Sea Turtle, Sawfish, and Dolphin sign. These signs shall include contact information to the sea turtle and marine mammal stranding networks and smalltooth sawfish encounter database.
- (2) Projects within the North Atlantic right whale educational sign zone shall post the Help Protect North Atlantic Right Whales sign.
- (3) On the east coast of Florida, projects located within the St. Johns River and those occurring north of the St. Johns River to the Florida-Georgia line shall post the Report Sturgeon sign. On the west coast of Florida, projects occurring from the Cedar Key, Florida north to the Florida-Alabama line.
22. Monofilament Recycling Bins. For commercial, multi-family, or public facilities, monofilament recycling bins must be provided as described below (Reference: The below replicates PDC A.2.3 within the table PDCs Specific to Activity 2 –Pile Supported Structures and Anchored Buoys, the PDC itself on page 113 of the JAXBO.):
- a. For commercial, multi-family, or public facilities, monofilament recycling bins must

be provided at the docking facility to reduce the risk of turtle or sawfish entanglement in, or ingestion of, marine debris. Monofilament recycling bins must:

(1) Be constructed and labeled according to the instructions provided at <http://mrrp.myfwc.com>.

(2) Be maintained in working order and emptied frequently (according to <http://mrrp.myfwc.com> standards) so that they do not overflow.

23. Lighting for docks installed within visible distance of ocean beaches. If lighting is necessary, then turtle-friendly lighting shall be installed. Turtle-friendly lighting is explained and examples are provided on the Florida Fish and Wildlife Conservation Commission website: <http://myfwc.com/wildlifehabitats/managed/sea-turtles/lighting/> (Reference: JAXBO PDC A2.8.).
24. Construction Location. Project construction shall take place from uplands or from floating equipment (e.g., barge); prop or wheel-washing is prohibited (Reference: JAXBO PDC A2.9.).
25. Aids to Navigation (ATONs). ATONs must be approved by and installed in accordance with the requirements of the U.S. Coast Guard (i.e., 33 C.F.R., chapter I, subchapter C, part 66, Section 10 of the Rivers and Harbors Act, and any other pertinent requirements) (Reference: JAXBO PDC A2.5.).
26. Aids to Navigation (ATONs) in Acropora critical habitat. The distance from ATONs to ESA-listed corals and Acropora critical habitat (Attachment 20) shall ensure there are no impacts to the corals or the essential feature of Acropora critical habitat from the movement of buoys and tackle. The appropriate distance shall be based on the size of the anchor chain or other tackle to be installed to secure the buoy to its anchor, particularly when the design of the ATON does not prohibit the contact of tackle with the marine bottom. In all cases, buoy tackle will include flotation to ensure there is no contact between the anchor chain or line and the marine bottom (Reference: JAXBO PDC A2.10.).
27. Within Loggerhead sea turtle critical habitat (Reference: JAXBO PDC A2.15.):
- (1) ATONs (pile-supported and anchored buoys) are allowed in nearshore reproductive habitat of the Northwest Atlantic Distinct Population Segment (NWA DPS) of loggerhead sea turtle critical habitat.
- (2) No other pile-supported structures are allowed in nearshore reproductive habitat.

General Conditions for All Projects:

1. The time limit for completing the authorized work ends on July 27, 2026.
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and State coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit, you must obtain the signature of the new owner on the enclosed form (Attachment 10) and forward a copy of the permit to this office to validate the transfer of this authorization.
5. If a conditioned water quality certification has been issued for your project, you must comply with the conditions specified in the certification as special conditions to this permit.
6. You must allow representatives from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

Further Information:

1. Limits of this authorization.
 - a. This permit does not obviate the need to obtain other Federal, State, or local authorizations required by law.
 - b. This permit does not grant any property rights or exclusive privileges.
 - c. This permit does not authorize any injury to the property or rights of others.

- d. This permit does not authorize interference with any existing or proposed Federal projects.
2. Limits of Federal Liability. In issuing this permit, the Federal Government does not assume any liability for the following:
 - a. Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
 - b. Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the United States in the public interest.
 - c. Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit.
 - d. Design or Construction deficiencies associated with the permitted work.
 - e. Damage claims associated with any future modification, suspension, or revocation of this permit.
3. Reliance on Applicant's Data: The determination of this office that issuance of this permit is not contrary to the public interest was made in reliance on the information you provided.
4. Reevaluation of Permit Decision: This office may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:
 - a. You fail to comply with the terms and conditions of this permit.
 - b. The information provided by you in support of your permit application proves to have been false, incomplete, or inaccurate (see 3 above).
 - c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.
5. Such a reevaluation may result in a determination that it is appropriate to use the suspension, modification, and revocation procedures contained in 33 CFR 325.7 or enforcement procedures such as those contained in 33 CFR 326.4 and 326.5. The referenced enforcement procedures provide for the issuance of an administrative order requiring you comply with the terms and conditions of your permit and for the initiation of legal action where appropriate. You will be required to pay for any corrective measures ordered by this office, and if you fail to comply with such directive, this office

may in certain situations (such as those specified in 33 CER 209.170) accomplish the corrective measures by contract or otherwise and bill you for the cost.

6. When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date the enclosed form.

7. The Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the U.S. Army Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal, relocation or alteration.

STANDARD MANATEE CONDITIONS FOR IN-WATER WORK

2011

The permittee shall comply with the following conditions intended to protect manatees from direct project effects:

- a. All personnel associated with the project shall be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
- b. All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
- c. Siltation or turbidity barriers shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
- d. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
- e. Any collision with or injury to a manatee shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1-888-404-3922. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida, and to FWC at ImperiledSpecies@myFWC.com
- f. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Temporary signs that have already been approved for this use by the FWC must be used. One sign which reads *Caution: Boaters* must be posted. A second sign measuring at least 8 ½" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. These signs can be viewed at MyFWC.com/manatee. Questions concerning these signs can be sent to the email address listed above.

CAUTION: MANATEE HABITAT

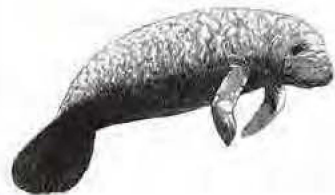
All project vessels

IDLE SPEED / NO WAKE

When a manatee is within 50 feet of work
all in-water activities must

SHUT DOWN

Report any collision with or injury to a manatee:



Wildlife Alert:

1-888-404-FWCC(3922)

cell *FWC or #FWC

COMMENCEMENT NOTIFICATION

*Within 10 days of initiating the authorized work, submit this form via electronic mail to saj-rd-enforcement@usace.army.mil (preferred, not to exceed 15 MB) **or** by standard mail to U.S. Army Corps of Engineers, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019.*

1. **Department of the Army Permit Number:** SAJ-2015-2575, SPGP VI-R1

FDEP or Designee Permit Number: _____

2. **Permittee Information:**

Name: _____

Email: _____

Address: _____

Phone: _____

3. **Construction Start Date:** _____

4. **Contact to Schedule Inspection:**

Name: _____

Email: _____

Phone: _____

Signature of Permittee

Printed Name of Permittee

Date

SELF-CERTIFICATION STATEMENT OF COMPLIANCE
SPGP VI-R1

Permit Number: _____

Permittee's Name & Address (please print or type): _____

Telephone Number: _____

Location of the Work: _____

Date Work Started: _____ Date Work Completed: _____

PROPERTY IS INACCESSIBLE WITHOUT PRIOR NOTIFICATION: YES _____ NO _____

TO SCHEDULE AN INSPECTION PLEASE CONTACT _____
AT _____

Description of the Work (e.g. bank stabilization, residential or commercial filling, docks, dredging, etc.): _____

Acreage or Square Feet of Impacts to Waters of the United States: _____

Describe Mitigation completed (if applicable): _____

Describe any Deviations from Permit (attach drawing(s) depicting the deviations):

I certify that all work, and mitigation (if applicable) was done in accordance with the limitations and conditions as described in the permit. Any deviations as described above are depicted on the attached drawing(s).

Signature of Permittee

Date

Department of the Army Permit Transfer for SPGP VI-R1

PERMITEE: _____

PERMIT NUMBER: _____ DATE: _____

ADDRESS/LOCATION OF PROJECT:

(Subdivision)

(Lot)

(Block)

When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. Although the construction period for works authorized by Department of the Army permits is finite, the permit itself, with its limitations, does not expire.

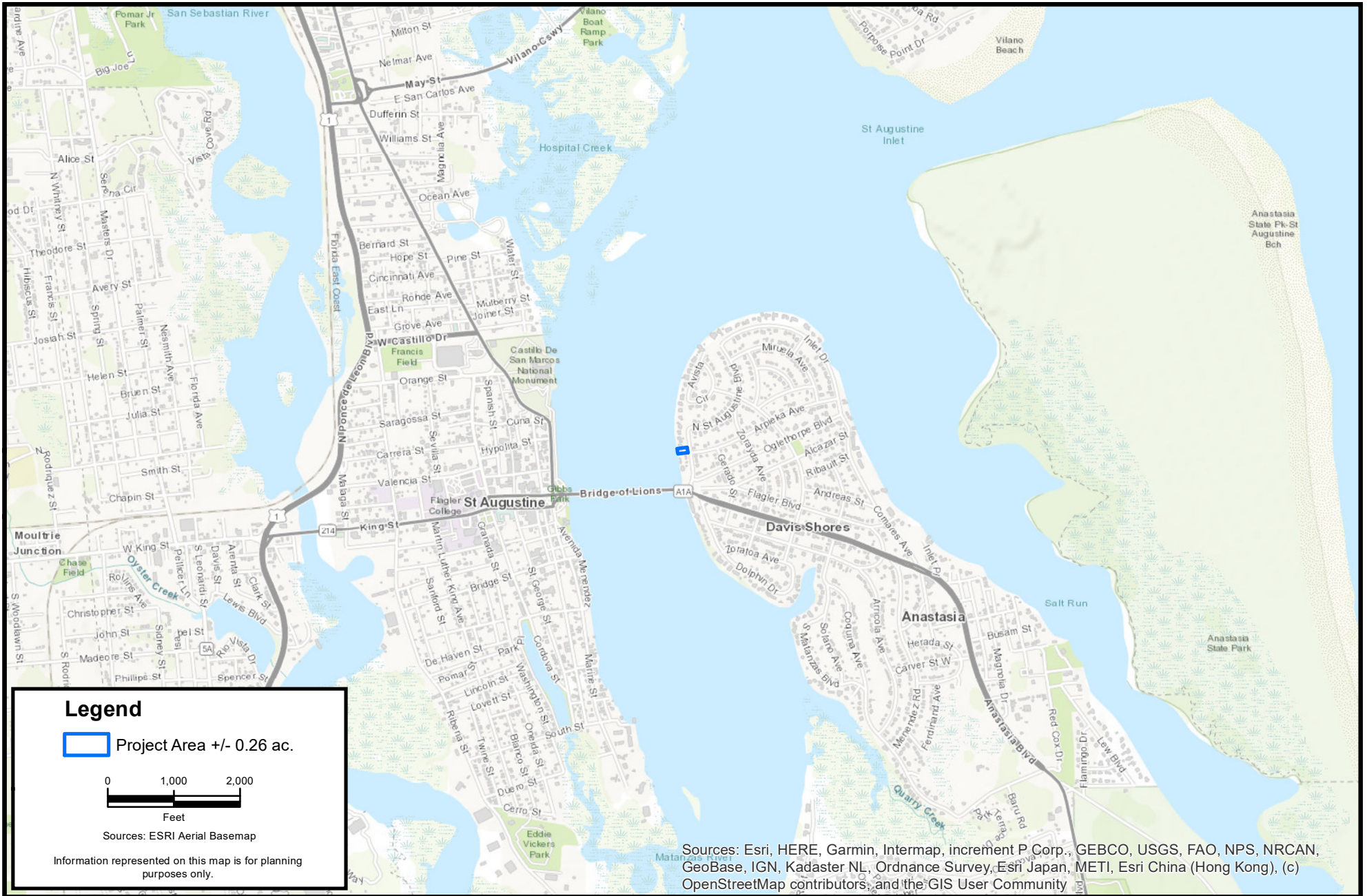
To validate the transfer of this permit and the associated responsibilities associated with compliance with its terms and conditions, have the transferee sign and date below and mail to the U.S. Army Corps of Engineers, Enforcement Branch, Post Office Box 4970, Jacksonville, FL 32232-0019.

(Transferee Signature) (Date)

(Name Printed)

(Street address)

(Mailing address)




CARTER ENVIRONMENTAL SERVICES, INC.

CES 42 Masters Drive
St. Augustine, FL 32084
904-540-1786


www.carterenv.com

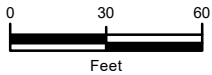
Project Location	
Ott - 22 N St. Augustine Blvd	
Project:	5.25165
	St. Augustine, FL
Date:	Apr 08 2025


 Figure: 1



Legend

 Project Area +/- 0.26 ac.



Sources: ESRI Aerial Basemap

Information represented on this map is for planning purposes only.

Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

CARTER ENVIRONMENTAL SERVICES, INC.



42 Masters Drive
St. Augustine, FL 32084
904-540-1786

www.carterenv.com

Current Aerial

Ott - 22 N St. Augustine Blvd



Project: 5.25165

St. Augustine, FL

Date: Apr 08 2025

Figure: 2



CARTER ENVIRONMENTAL SERVICES, INC.



42 Masters Drive
St. Augustine, FL 32084
904-540-1786

www.carterenv.com

Surrounding Structures

Ott - 22 N St. Augustine Blvd

Project: 5.25165

St. Augustine, FL

Date: Apr 08 2025

Figure: **3**





Legend

- Project Area +/- 0.26 ac.
- ICWW Channel
- Riparian Boundary
- Total Proposed Dock Area: 1,012 sq. ft.**
- Decking: 724 sq. ft.
- Sling Lift & Boat Footprint: 288 sq. ft.



Sources: ESRI Aerial Basemap
Information represented on this map is for planning purposes only.

CARTER ENVIRONMENTAL SERVICES, INC.
CES
 42 Masters Drive
 St. Augustine, FL 32084
 904-540-1786
 www.carterenv.com

Proposed Alignment
Ott - 22 N St. Augustine Blvd

Project: 5.25165 St. Augustine, FL

Date: Apr 25 2025

Figure: **4**

Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

F:\CES Projects\Project Files\Active\Project Files\2025\5.25.165 Ott 22 N. St Aug Blvd\GIS\MXD\05_dims.mxd



CARTER ENVIRONMENTAL SERVICES, INC.



42 Masters Drive
St. Augustine, FL 32084
904-540-1786

www.carterenv.com

Proposed Dimensions

Ott - 22 N St. Augustine Blvd

Project: 5.25165

St. Augustine, FL

Date: Apr 25 2025

Figure:

5



F:\CES Projects\Project Files\Active\Project Files\2025\5.25.165 Ott - 22 N. St. Aug Blvd\GIS\MXD\06_bathy.mxd

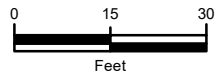


Legend

- Project Area +/- 0.26 ac.
- Riparian Boundary
- MLW & MHW

Total Proposed Dock Area: 1,012 sq. ft.

- Decking: 724 sq. ft.
- Sling Lift & Boat Footprint: 288 sq. ft.



Sources: ESRI Aerial Basemap

Information represented on this map is for planning purposes only.

Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

CARTER ENVIRONMENTAL SERVICES, INC.



42 Masters Drive
St. Augustine, FL 32084
904-540-1786

www.carterenv.com

Bathymetric Assessment
Ott - 22 N St. Augustine Blvd

Project: 5.25165

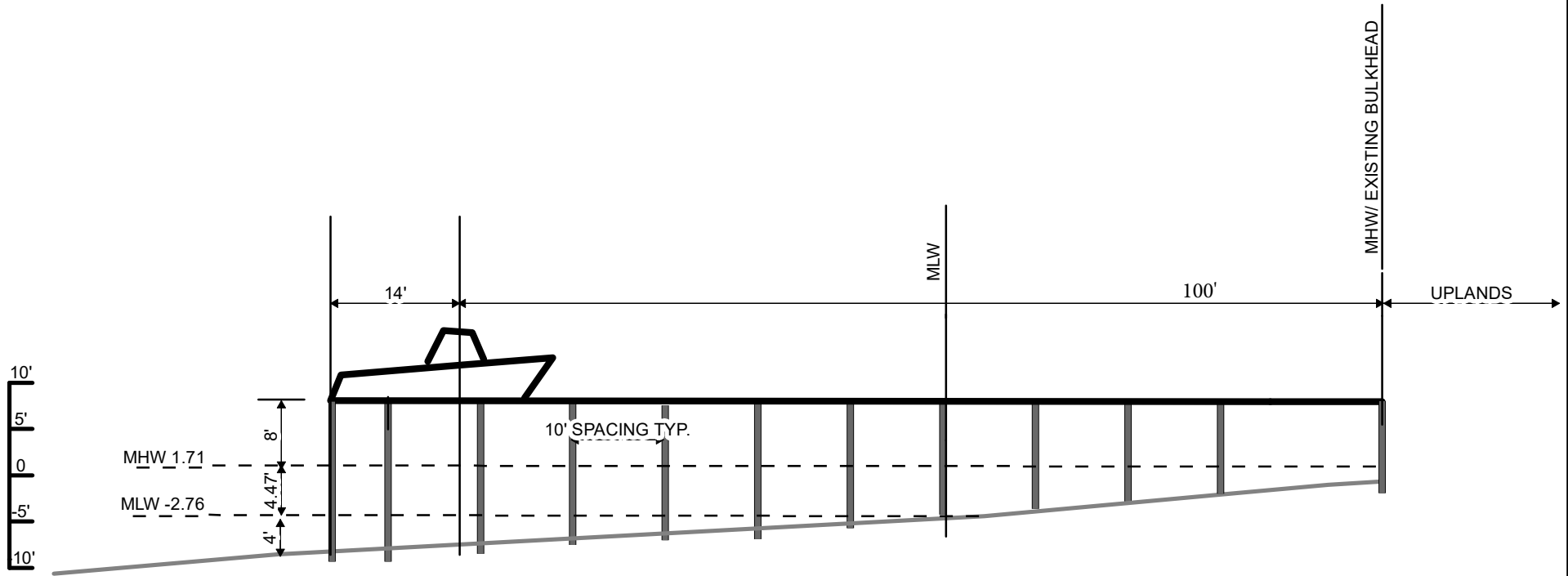
St. Augustine, FL

Date: Apr 25 2025

Figure: **6**



F:\CES Projects\Project Files\Active\Projects\5.25.165 Ott - 22 N. St. Aug Blvd\GIS\MXD\07_profile.mxd



CARTER ENVIRONMENTAL SERVICES, INC.



42 Masters Drive
St. Augustine, FL 32084
904-540-1786

www.carterenv.com

Profile View

Ott - 22 N St. Augustine Blvd

Project: 5.22165

St. Augustine, FL

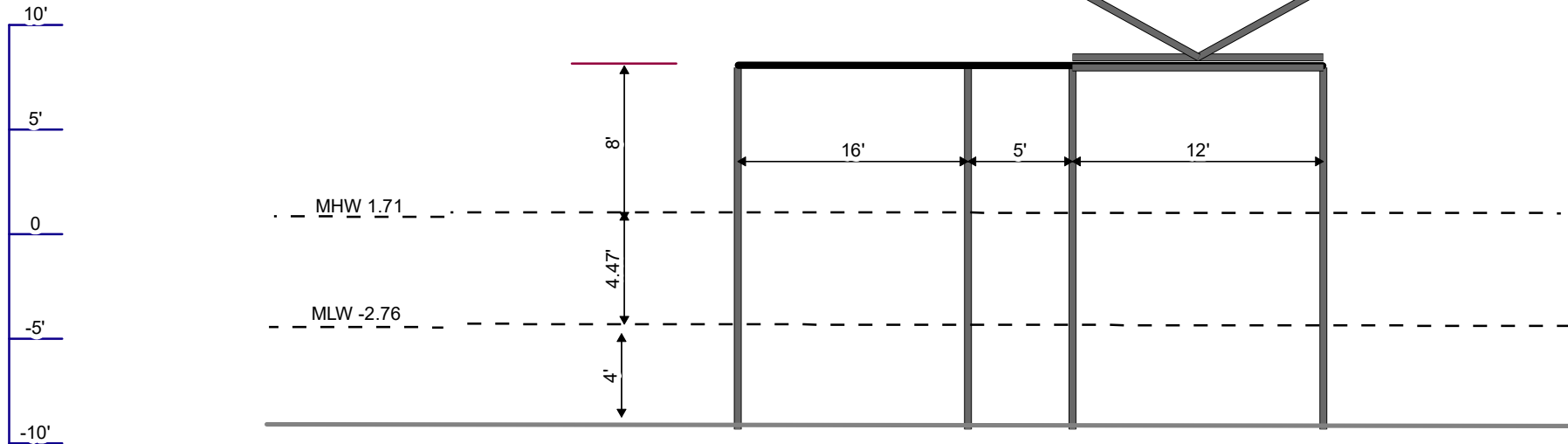
Date: Apr 25 2025

Figure:

7



F:\CES Projects\Project Files\Active\Projects\Project Files\2025\5.25.165 Ott 22 N. St Aug Blvd\GIS\MXD\08_crosssection.mxd



CARTER ENVIRONMENTAL SERVICES, INC.



42 Masters Drive
St. Augustine, FL 32084
904-540-1786

www.carterenv.com

Cross Section View

Ott - 22 N St. Augustine Blvd



Project: 5.25165

St. Augustine, FL

Date: May 06 2025

Figure:

8



Planning and Zoning Board

Planning Division Staff Report
 Planning and Building Department

Public Hearing Date	Agenda Item	Application Number
July 1, 2025	5.b.	PZB2025-0042
Request	Address	Parcel ID
Conservation Overlay Zone Development	111 Oyster Catcher Circle	158571-3030

Site & Background Information

Applicant: Intervest Construction of Jax. Inc.

Owner: Carri Grass and Robert Grass

Property Class:
 (St. Johns County
 Property Appraiser) 0000 – Vacant Residential

**Future Land Use
 Designation:** Residential Low Density

Zoning Designation: Residential Single-Family-Two: RS-2

Acreage: 0.81

Neighborhood: South Davis Shores

Archaeological Zone: N/A

Request Summary

This is a request for [Conservation Overlay Zone \(COZ\) development](#) to remove twelve (12) significant trees for the construction of a single-family home within [COZ 2 & 3](#) at 111 Oyster Catcher Circle.

Staff Analysis

Consistency with the City of St. Augustine's Comprehensive Plan 2040

Comprehensive Plan Element	Goal, Policy, or Objective	Staff Analysis
Future Land Use		
Historic Preservation		
Conservation and Coastal Management	CCM Objective 2.6 The City shall commit to preservation of community trees and the urban forest to improve air quality, community health, quality of life, aesthetics, and energy conservation.	The removal of twelve significant trees is inconsistent with Objective 2.6.
Recreation and Open Space		
Transportation and Mobility		
Housing		
Infrastructure		

Review of Applicable City of St. Augustine Code of Ordinances

The request for Conservation Overlay Zone 2 and 3 development includes the construction of a single-family home and associated fill.

The planning and zoning board is [authorized to impose limitations](#) in the nature and manner of construction and/or use so as to avoid damage to adjacent salt marshes and the vegetative communities contained therein, to eliminate any harm to the animal, fish or shellfish contained therein, to avoid blocking or disrupting vistas and scenic opportunities, and to enhance those vistas and scenic opportunities which are determined to benefit the public as a whole.

Staff Analysis of Applicable Criteria (Sec. 11-29(d)(1))

Removal of significant trees shall be [reviewed by the Planning and Zoning Board](#), all significant trees removed shall be replaced in accordance with the requirements of [Chapter 25](#). The planning and zoning board is authorized to impose limitations on the nature and manner of construction and/or so as to avoid alteration of surface water hydrology which would increase the flood hazard potential and to [minimize the impact on existing trees and native vegetation](#). In determining whether or not a permit required by this section should be issued, the PZB shall [consider and base all decisions on the following](#):

- a. The condition of the tree with respect to disease, insect attack, danger of falling, proximity to existing or proposed structures and interferences with utility services.

The applicant provided an arborist report. There are fourteen (14) significant trees to be removed, however two of them #13 and # 16 are listed as dead in the arborist report. Trees # 3, 4, 9, 17, and 18 are listed in poor health. Trees #5, 6, 7, 8, and 10 are listed in fair health. Trees # 14 and 15 are in good health.

- b. The necessity of removing a tree to construct proposed improvements in order to allow reasonable economic use of the property.

All of the trees listed for removal are within the footprint of the house, driveway, or fill.

- c. The relief of the land where the tree is located and the effect removal of the tree would have on erosion, soil moisture retention, diversion, increased or decreased flow of surface waters and the city master drainage plan or similar plan adopted by the city commission.

[St. Johns County iMaps](#) shows that the lot slopes to the rear of the property with the front portion being at an elevation around 5 feet NAVD88 and the rear dropping to an elevation around 3 feet NAVD88. The applicant should address erosion with adequate erosion control measures such as silt fencing.

- d. The number and density of trees existing in the neighborhood on improved or unimproved property. The planning and building division shall also be guided by the effect removal of a tree would have on property values in the neighborhood where the property is located and on other vegetation in the neighborhood.

The Pelican Reef subdivision natural vegetation is comprised predominately of cedars, live oaks and cabbage palms. Each lot in the neighborhood is required to retain or plant 10 cedar trees. The applicant is retaining seven (7) cedar trees and planting three (3) cedar trees. However, one of the retained trees (#2), is listed as dead in the arborist report. The applicant will be required to plant one more southern red cedar tree to be consistent with the requirements for Pelican Reef subdivision.

- e. Whether the tree has been designated a significant tree.

The applicant is removing fourteen (14) significant trees, however two are listed as dead in the arborist report. The applicant is retaining six (6) significant trees when tree #2 is removed, as the arborist report lists its status as dead.

- f. Impact upon the urban and natural environment, including:
 1. Ground and surface water stabilization.
 2. Water quality and aquifer recharge.
 3. Ecological impacts.
 4. Noise pollution.
 5. Air movement.
 6. Air quality.
 7. Wildlife habitat.

The applicant is keeping six (6) trees and will be required to plant four (4) which should help mitigate impacts to the urban and natural environment.

- g. The ease with which the property owner or agent can alter or revise the proposed development or improvements to accommodate existing trees, including the trees proposed to be removed.

Two of the trees (#14 and #15) are listed in good health trees. However, both of these trees appear to be in the footprint of the driveway.

Pelican Reef Requirements for 10 Cedar Trees

All lots within Pelican Reef are required to plant or retain ten (10) cedar trees. The applicant's tree mitigation plan proposes to retain seven (7) cedar trees and plant three (3) giving them a total of (10) cedar trees which is in compliance with the requirements for this community. **However, the arborist report lists the status of one of them as dead (tree #2) and the applicant needs to plant one additional cedar tree to meet the requirement for 10 cedar trees.**

Compliance with Chapter 25

COSA Code of Ordinances Section 25-53(d) states that the preservation and removal of trees on a site may require tree mitigation if a positive number of tree credits is not achieved. The applicant's tree mitigation plan gives a positive number of tree credits with a surplus of four and a half (4.5) credits and is consistent with the requirements of Chapter 25. The tree survey included two palm trees one with an "x" indicating it would be removed. However, neither palm tree is included in the color coding provided on the tree site plan. As it is unclear of the status of the palm trees for removal, the following tree mitigation table includes both palm trees to show that the applicant will meet the requirements of chapter 25 in the event both are removed.

Trees Removed			Trees Retained			Trees Planted			
Type (dbh)	Size Range	Deficit	Type (dbh)	Size Range	Credit	QTY	Type (dbh)	Size Range	Credit
3. Cedar Tree (11)	7+ dbh	1	1. Cedar (13)	12+ dbh	3	4	Cedar (2)	2+ dbh	4
4. Cedar Tree (13)	12+ dbh	1.5	2. Cedar (12)	12+ dbh					
5. Cedar Tree (8)	7+ dbh	1	11. Cedar (12)	12+ dbh	3				
6. Cedar Tree (13)	12+ dbh	1.5	12. Cedar (22)	20+ dbh	4				
7. Cedar Tree (15)	12+ dbh	1.5	19. Cedar (15)	12+ dbh	3				
8. Cedar Tree (26)	20+ dbh	2	20. Cedar (12)	12+ dbh	3				
9. Cedar Tree (codom.) (11)	7+ dbh	1	21. Cedar (9)	7+ dbh	2				
10. Cedar (15)	12+ dbh	1.5							
13. Cedar (6)									
14. Cedar (11)	7+ dbh	1							
15. Cedar (9)	7+ dbh	1							
16. Cedar (11)									
17. Cedar (19)	12+ dbh	1.5							
18. Cedar (19)	12+ dbh	1.5							
Palm (14) *	12+ dbh	1.5							
Palm (15) *		1.5							
Deficits		19	Retaining Credits		18	Planting Credits		4	
						Total Credits		3	

Significant trees are in BOLD		Dead trees are in red.	
Condition:	Poor	Fair	Good

*These trees are on the tree survey but not on the arborist report. They are not significant trees. It is not clear if the applicant is removing them. However, staff calculated the applicant has a positive number of tree credits whether they are retained or removed.

Staff Summary

The applicant meets the requirements of Chapter 25 and has a positive number of tree credits. The current application does not retain or plant 10 cedar trees as one of the trees proposed to be retained is listed as dead in the arborist report. If the Board finds that application is consistent with applicable criteria in Sec. 11-29(d)(1), Staff finds the application can be approved with the condition the applicant will plant four cedar trees to meet the requirements of maintaining 10 eastern red cedar trees on each lot in Pelican Reef.

Staff Recommendation

Review of Section 11-29 is the responsibility of the Planning and Zoning Board for the proposed development within Conservation Overlay Zone 2 and 3. This application is for the removal of significant trees at 111 Oyster Catcher Circle / PID 158571-3030.

Attachments

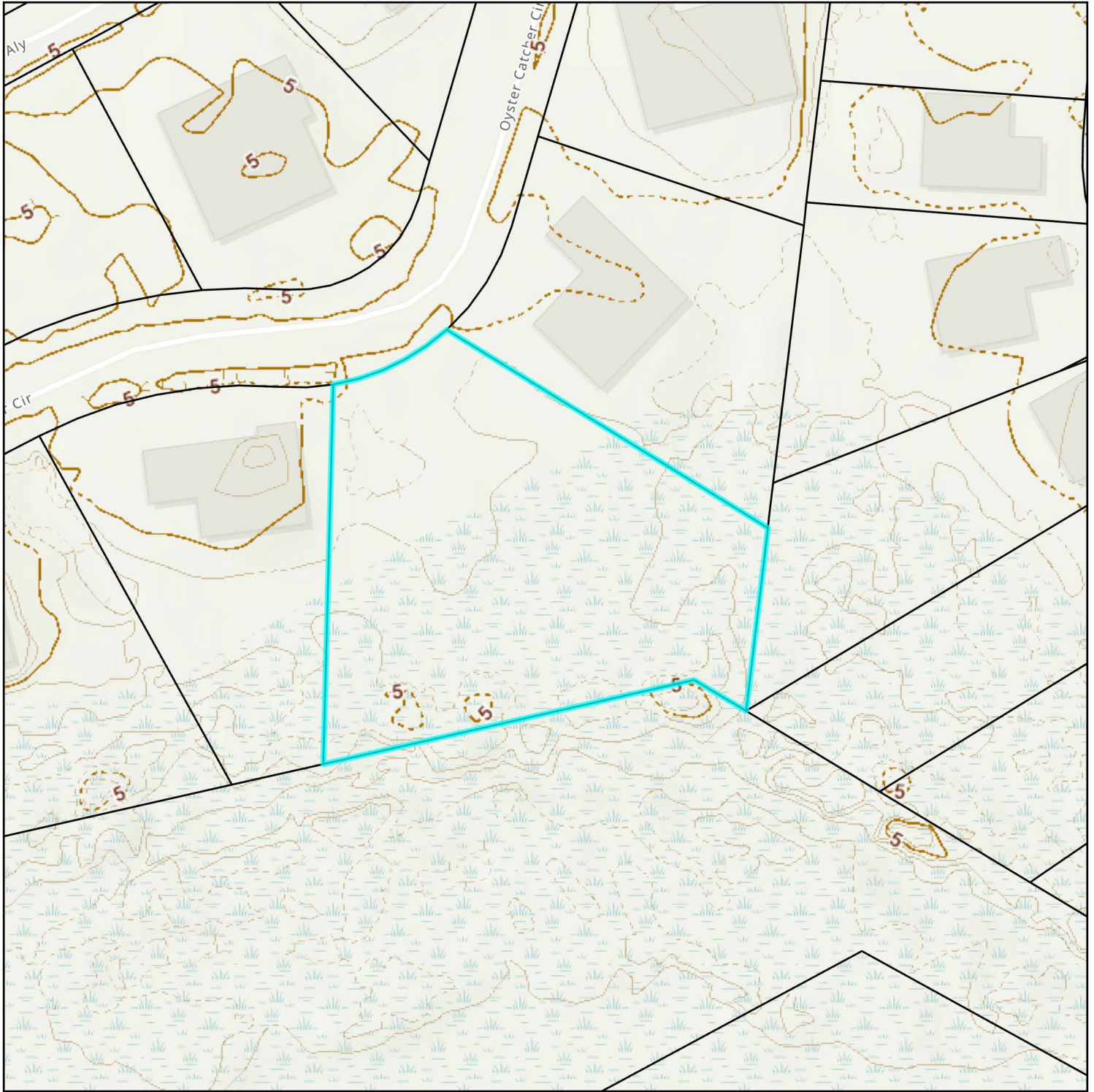
1. Site Map & Photos
2. Application
3. Tree Plan
4. Arborist Report
5. St. Johns County Property Appraiser Report
6. Pelican Reef Cedar Tree Requirements

Staff Report prepared by:

A handwritten signature in blue ink, appearing to read 'S. Daugherty', with a large, stylized flourish extending to the right.

Sarah Daugherty
Senior Planner
Planning and Building Department

**Attachment 1:
Site Maps
and Photos**



Elevation Map

City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
 This map is for reference only. Data provided are derived from multiple sources with varying levels of accuracy. The City of St. Augustine disclaims all responsibility for the accuracy or completeness of the data shown hereon.

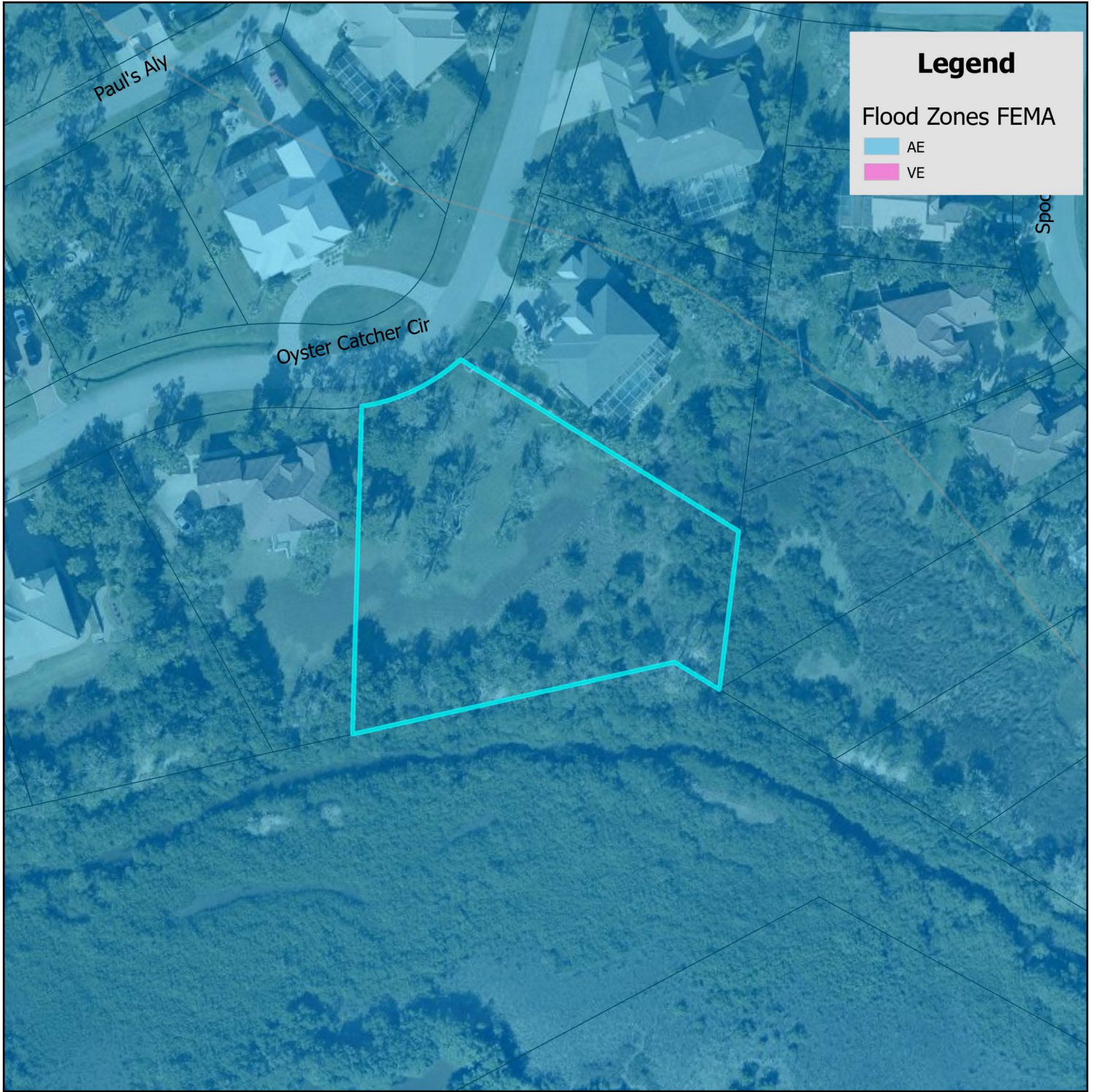
2025



0 0.01 0.01 Miles

0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Legend

Flood Zones FEMA

- AE
- VE



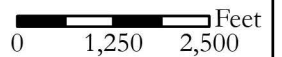
FEMA Flood Zone Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
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2025



Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



St. Johns County Property Appraiser Use Classification Map

City of St. Augustine
Planning, Zoning, & Building Department
P.O. Box 210, St. Augustine, FL 32085
Phone: (904) 825-1065

DISCLAIMER
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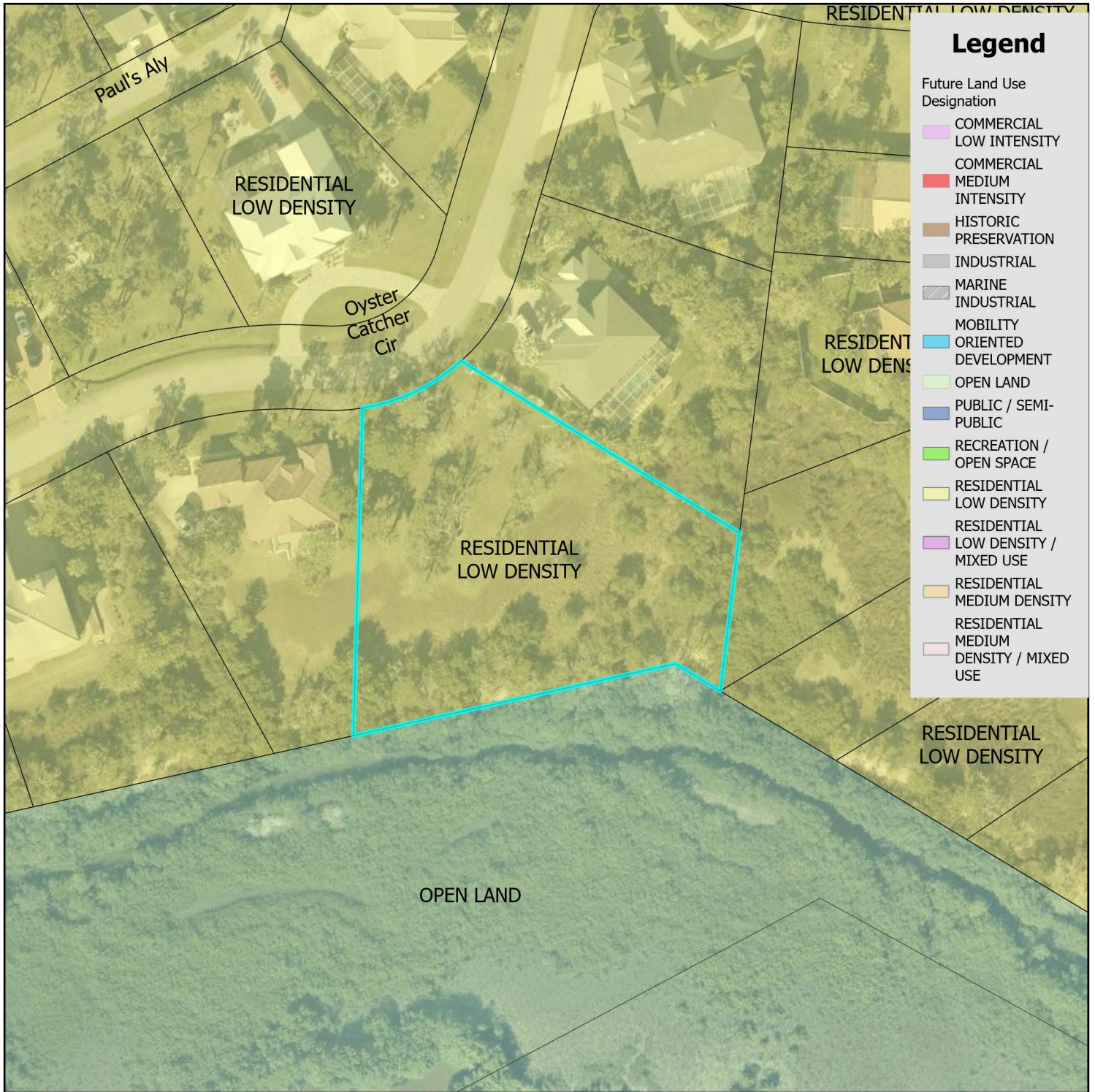
2025



0 0.01 0.01 Miles

0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



- ### Legend
- Future Land Use Designation
- COMMERCIAL LOW INTENSITY
 - COMMERCIAL MEDIUM INTENSITY
 - HISTORIC PRESERVATION
 - INDUSTRIAL
 - MARINE INDUSTRIAL
 - MOBILITY ORIENTED DEVELOPMENT
 - OPEN LAND
 - PUBLIC / SEMI-PUBLIC
 - RECREATION / OPEN SPACE
 - RESIDENTIAL LOW DENSITY
 - RESIDENTIAL LOW DENSITY / MIXED USE
 - RESIDENTIAL MEDIUM DENSITY
 - RESIDENTIAL MEDIUM DENSITY / MIXED USE



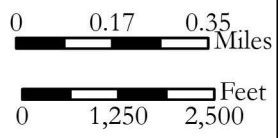
Future Land Use Map



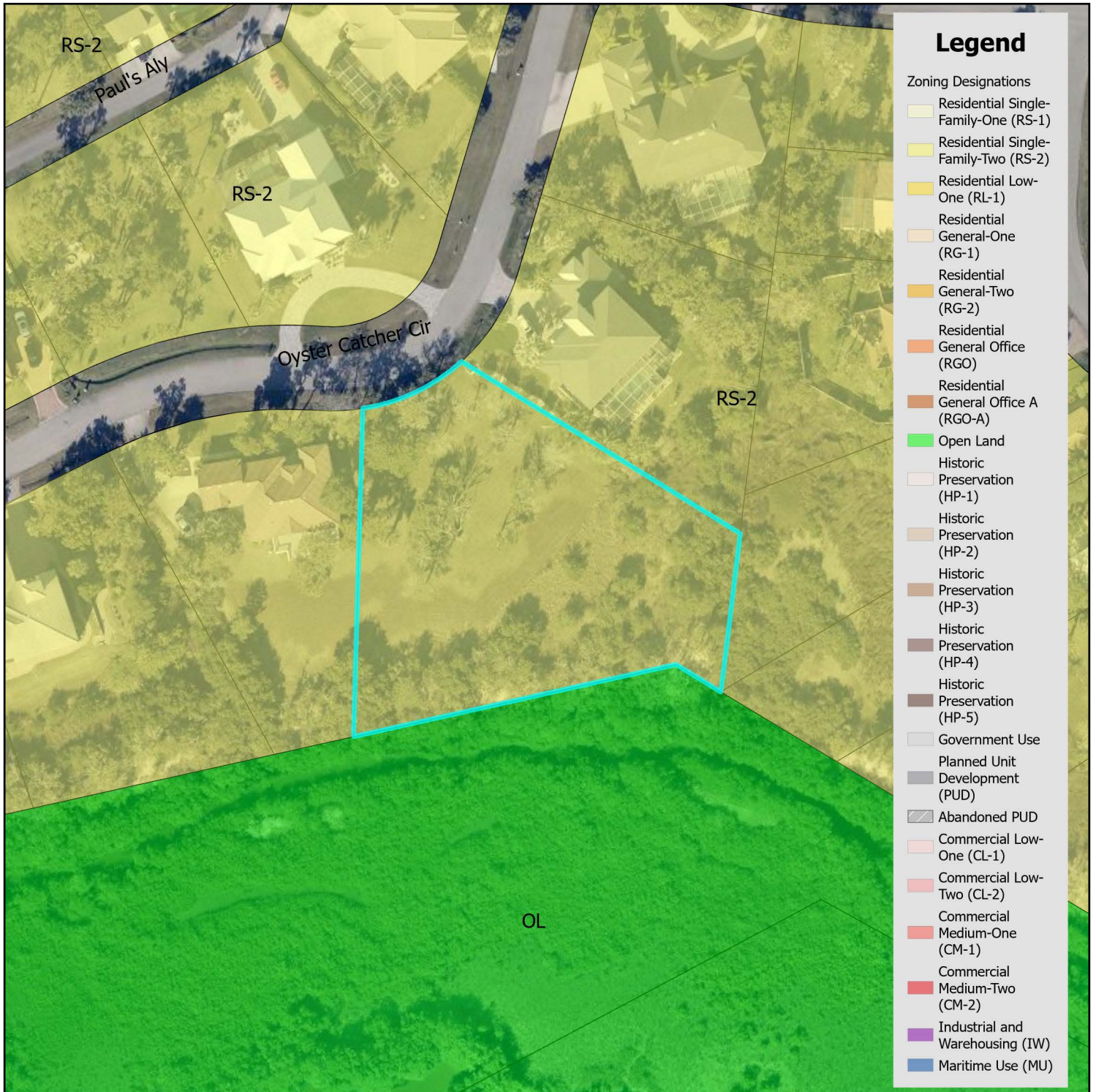
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2025



Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Zoning Map



0 0.17 0.35 Miles

0 1,250 2,500 Feet

2025

DISCLAIMER

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City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

111 Oyster Catcher Circle



12/08/2024

Attachment 2: Application

Attention

The Planning and Building Department prides itself on customer service, and helping applicants achieve their goals within the parameters of the zoning code.

There are circumstances where applicants must go to a public hearing before the Planning and Zoning Board (PZB). There are legal requirements that need to be met to have a hearing before the PZB.

Due to the volume of applications and the increasingly complicated nature of applications the following policies and zoning code stipulations will be enforced:

- All applications must be received by the required deadline established for a specified meeting;
- All applications must be signed by the applicant and property owner, especially if different;
- All applications must be filled out as necessary based on the nature of the application and/or appropriate explanations or narratives describing the requested action must be attached; and,
- All applications must be accompanied by a site plan at an appropriate scale with measurements and level of detail that allows staff to review the application to determine and confirm any and all issues requiring review by the PZB, including an 11 x 17 inch copy of the proposed plan, and any necessary reports, surveys, plans and documents to accompany an application as appropriate.

Application submittals will be evaluated for completeness. Applications will not be scheduled for a PZB Public Hearing until they are “substantially complete” per Section 28-31 of the Zoning Code.

Complying with these submittal requirements will ultimately expedite applications and make the public hearing process more beneficial to all involved. Thank you for your cooperation.

Conservation Overlay Zone Developments:

- Dock applications for **Conservation Overlay Zone 1** require complete submittal packages that include:
 - a. Survey locations of the proposed docks or modifications to existing docks;
 - b. Plans of the proposed dock or dock modifications;
 - c. Bathometric surveys showing water depths at mean high tide and mean low tide, relationship of the proposed dock to water features, marsh, bank lines, creeks, navigable channels, other site specific issues;
 - d. Aerials of existing conditions, and showing proposed docks and/or water features;
 - e. Details of any railings, features, lighting, dock boxes, fish stations, boat lifts or other items that potentially impact scenic vistas; and,
 - f. Explanation of the impacts according to the 17 criteria outlined in Chapter 11 Conservation Zone Development.

- Preserved tree removal and tree canopy issues related to development in **Conservation Overlay Zone 3** require complete submittal packages that include:
 - a. Tree surveys locating all trees on the site 3” diameter and greater;
 - b. Tree survey including the proposed site plan at an appropriate scale to evaluate the proposed development’s impact on the trees, including specific trees and the tree canopy overall;
 - c. An arborist’s report outlining the type, size, condition, and professional opinion of the impact of the development on the trees and the specific condition of any “preserved” trees;
 - d. Explanation of the impacts according to the 17 criteria outlined in Chapter 11 Conservation Zone Development; and,
 - e. A detailed analysis of the proposed tree removal per Chapter 25, known as the Landscape Code, to determine tree credits and debits, and landscaping requirements per the Landscape Code.

Planned Unit Development (PUD) Applications:

Planned Unit Development (PUD) applications must comply with Division 8 of the Zoning Code.

A pre-application meeting is highly recommended prior to PZB submittal.

Subdivision Requirements:

Preliminary subdivision requirements must comply with Chapter 23 of the Land Development Code.

A pre-application meeting is highly recommended prior to PZB submittal.



**CITY OF ST AUGUSTINE
APPLICATION TO PLANNING AND ZONING BOARD**

Application Fee: _____ (plus advertising costs) Project Number: _____

Receipt Number: _____ Meeting Date: _____

Advertising Costs: \$ _____ Paid On: _____ Receipt Number: _____

1. NAME OF APPLICANT: Intervest Construction of Jax. Inc. Contact Number: Kathy Gustafson
 Business (if applicable): ICI Homes (Intervest Construction of Jax. Inc.)
 Address: 2379 Beville Road City: _____ State: _____ Zip: 32119
 E-Mail Address: KGustafson@icihomes.com Miwilford@icihomes.com

2. NAME OF PROPERTY OWNER: Carri & Robert Grass Contact Number: 904-703-5316
 Business (if applicable): N/A
 Address: 509 Wetherby Lane City: St. Augustine State: FL Zip: 32092
 E-Mail Address: Carrigrass@bellsouth.net

3. LEGAL DESCRIPTION OF PROJECT PROPERTY:
 Lot: 03 Block: 3
 Subdivision: Pelican Reef Parcel Number: 1585713030

4. PROJECT STREET ADDRESS: 111 Oyster Catcher Circle Saint Augustine, FL 32080

5. SPECIFIC PROPOSED USE: New Construction Single Family Residential

6. ACTION REQUESTED:
 Conservation Zone Development Appeal of Staff Determination
 Exception Land Use Plan Amendment
 Variance Rezoning
 Other: Removal of Trees (New Construction Single Family Residential)

7. DESCRIPTION OF ACTION REQUESTED: Removal of existing trees

8. JUSTIFICATION FOR ACTION REQUESTED: Placement of new home requires removal of existing trees.

9. **IF APPLYING FOR A VARIANCE, PLEASE COMPLETE THE FOLLOWING AND EXPLAIN THE SITUATION FULLY ALONG WITH PROVIDING DOCUMENTATION:**

(a) Does the property because of size, shape, topography or other physical conditions, suffer singular disadvantage, which disadvantage does not apply to other properties in the vicinity: N/A

N/A

(b) Can you establish that this disadvantage causes the owner to be unable to make reasonable use of the affected property: N/A

(c) Can you establish that this disadvantage does not exist because of conditions created by the owner or applicant: N/A

(d) Can you establish that granting of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this Section: N/A

10. PREVIOUS APPLICATIONS:

Has any application been submitted to the Planning & Zoning Board concerning any part of the subject property within the past year?

Yes No If yes, please give date and final disposition below.

N/A

11. AGREEMENT:

In filing this application, I understand that it becomes a part of Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

Application must be signed by both applicant and property owner if different. Letter of authorization must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of either property owner or applicant.

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

IMPORTANT NOTICE: When the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the Board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the Board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the Code.


Signature of Applicant

4/23/25

Date


Signature of Property Owner

4/29/25

Date



**CITY OF ST. AUGUSTINE
DEVELOPMENT PERMIT APPLICANT WAIVER**

The applicant acknowledges and agrees to waive the limitation of three requests for additional information by the City of St. Augustine, pursuant to Chapter 166.033, Florida Statutes.

The applicant acknowledges and agrees that the City offers weekly Friday Review development review meetings, as well as, department specific applicant meetings with its reviewing staff at any point in the application process to attempt to resolve outstanding issues. The applicant is responsible for scheduling any requested meetings with City staff directly.

The applicant acknowledges and agrees that if after three unresolved submittals the applicant elects to proceed with final approval or denial proceedings, the applicant must request so in writing to the City.

Joseph W. Blanco

Print name of applicant



Signature of applicant

4/23/25

Date



Owner's Authorization For Agent

Intervest Construction of Jax, Inc. is/are hereby authorized TO ACT ON BEHALF OF Robert Joseph Grass, the owner(s) of those lands described within the attached application, or described within the previously filed Application number: _____, and as described in the attached deed or other such proof of ownership as may be required, in applying to the City of St. Augustine's Planning & Zoning Board, located at:

BY: Robert J. Grass
Signature of Owner

Robert J. Grass
Print Name of Owner

904-703-5316
Telephone Number

State of FLORIDA

County of ST JOHN'S

Signed and sworn before me on this 23 day of APRIL, 2025

By Robert J. Grass

Identification verified:

Oath sworn: Yes No

Notary Signature: Beth Meehan

My Commission expires: 8/14/2026



BETH MEEHAN
Notary Public
State of Florida
Comm# HH306894
Expires 8/14/2026

PZB APPLICATION FEE SCHEDULE

Planning and Zoning Board fees are set by Resolution 2021-38 as follows:

Description of Work	Fee Amount
Rezoning: small scale	\$300.00 + ads & notices
Rezoning: large scale	\$1,000.00 + ads & notices
Land Use Plan Amendment: small scale	\$400.00 + ads & notices
Land Use Plan Amendment: large scale	\$1,400.00 + ads & notices
Planned Unit Development	\$400.00 or \$35.00/acre, whichever is greater, \$1,400 max + ads & notices
Zoning Variance	\$350.00 + ads & notices
Zoning Exception	\$250.00 + ads & notices
Conservation Overlay Zone Development	\$165.00 + ads & notices
Significant Tree Removal or Appeal of Tree Removal Permit Denial	\$165.00 + ads & notices
Appeal of Staff Determination	\$200.00 + ads & notices
Application to Amend Zoning Code	\$600.00 + ads & notices
Subdivision Plat Review	\$275.00 + ads, notices & additional associated costs

“Note: The cost of newspaper advertisement and all notices to surrounding property owners will be assessed by the city, paid by the city and reimbursed by the applicant. All advertising costs must be paid prior to issuance of a development permit.

The applicant shall reimburse the City the mailing cost for all notices and for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing.”

If a Credit Card Authorization Form is used for the payment of fees, the City will maintain the form and automatically charge additional advertising and noticing fees, once determined, to the credit-card account submitted.

By signing below, I acknowledge responsibility for both the initial application fee and any subsequent costs associated with legal advertising and/or noticing and understand that permits associated with my application may not be issued until such fees are paid.

I authorize the Planning and Building Department to maintain my payment information until a final cost for advertising and/or noticing is determined and charged. If a payment method other than Credit Card Authorization Form is used, I understand that I will be sent an invoice for the costs of advertising/noticing which must be paid prior to the issuance of any development permit related to my application. I am aware that I can request a copy of these fees and my receipt from Building Department Staff.

111 Oyster Catcher Circle

Project Address: _____

Joseph W. Blanco

Applicant's Name: _____ Applicant's Signature: 

Robert J. Grass

Owner's Name: _____ Owner's Signature: 

Attachment 3: Tree Plan

Attachment 4:
Arborist Report

111 Oyster Catcher Circle
PreConstruction Tree Condition Assessment

Tree ID	Species	DBH (inches)	Mallet test for internal decay	Health	Structure	Notes
1	southern red cedar	13	positive	Poor	Fair	
2	southern red cedar	12	positive	Dead	Poor	
3	southern red cedar	11	inconclusive	Poor	Fair	
4	southern red cedar	13	positive	Poor	Poor	Tree is almost dead
5	southern red cedar	8	negative	Fair	Fair	
6	southern red cedar	13	negative	Fair	Fair	
7	southern red cedar	15	positive	Fair	Poor	Extensive decay throughout lower central trunk.
8	southern red cedar	26	positive	Fair	Poor	Significant decay throughout lower central trunk. Lifted ROOT plate.
9	southern red cedar	11,11,7,4,7	positive	Poor	Poor	Multiple large, dead leaders and extensive decay throughout lower central trunks.
10	southern red cedar	15	positive	Fair	Fair	
11	southern red cedar	12	negative	Fair	Fair	Was not included in survey. May need to be included in survey.
12	southern red cedar	22	positive	Good	Poor	Expensive column of internal decay throughout lower central trunk
13	southern red cedar	6	positive	Dead	Poor	
14	southern red cedar	11	positive	Good	Fair	
15	southern red cedar	9	negative	Good	Good	
16	southern red cedar	11	positive	Dead	Poor	
17	southern red cedar	11	negative	Poor	Fair	
18	southern red cedar	19	positive	Poor	Poor	Expensive column of internal decay throughout lower central trunk
19	southern red cedar	15	inconclusive	Good	Poor	Unstable lean. Tree root plate has lifted.
20	southern red cedar	12	negative	Good	Good	Unclear if located on survey.
21	southern red cedar	9	negative	Good	Poor	Unclear if located on survey. Unstable lean. Tree root plate has lifted.

Attachment 5:
St. Johns Count Property
Appraiser

St. Johns County, FL

Apply for Exemptions

Apply for Exemptions

Homestead Compliance

This form is not a Homestead Exemption application. To apply online for homestead and related exemptions, please click [here](#).

Homestead Compliance

2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID	1585713030
Location Address	111 OYSTER CATCHER CIR SAINT AUGUSTINE 32080-0000
Neighborhood	Pelican Reef (628)
Tax Description*	25/87-91 PELICAN REEF LOT 3 BLK 3 OR5513/77 <i>*The Description above is not to be used on legal documents.</i>
Property Use Code	Vacant Residential (0000)
Subdivision	Pelican Reef
Sec/Twp/Rng	21-7-30
District	City of St Augustine (District 452)
Millage Rate	18.72
Acreage	0.810
Homestead	N

[Click Here to Open Cyclomedia Viewer in a New Tab](#)



Owner Information

Owner Name	Grass Carri L Revocable Trust D:05/10/19 Et AL 50% Grass Robert J Revocable Trust D:05/10/19 50% Grass Carri L CO-Trustee 0% Grass Robert J CO-Trustee 0%
Mailing Address	509 WETHERBY LN SAINT AUGUSTINE, FL 32092-0000

Map



Valuation Information

Assessed Year	2025
Valuation Method	Market
Building Value	\$0.00
Extra Features Value	\$0.00
Total Land Value	\$275,000.00
Agricultural (Assessed) Value	\$0.00
Agricultural (Market) Value	\$0.00
Just Market	\$275,000.00
Total Deferred	\$0.00
Assessed Value	\$275,000.00
Total Exemptions	\$0.00
Taxable Value	\$275,000.00

Values listed are from our working tax roll and are subject to change.

Historical Assessment Information

Year	Valuation Method	Building Value	Extra Feature Value	Total Land Value
2024	Market	\$0	\$0	\$250,000
2023	Market	\$0	\$0	\$240,000
2022	Market	\$0	\$0	\$162,400
2021	Market	\$0	\$0	\$145,000
2020	Market	\$0	\$0	\$140,000
2019	Market	\$0	\$0	\$140,000
2018	Market	\$0	\$0	\$115,000
2017	Market	\$0	\$0	\$115,000
2016	Market	\$0	\$0	\$115,000
2015	Market	\$0	\$0	\$100,000
2014	Market	\$0	\$0	\$100,000

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Vacant Residential	0	0	1	UT	\$275,000

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
3/10/2022	3/10/2022	\$300,000.00	WARRANTY DEED	5513	77	Q	V	KENNEDY DWIGHT HUGH IVAN,KAREN EVELYN GRACE	GRASS CARRI L REVOCABLE TRUST D:05/10/19 ET AL
5/24/2021	5/19/2021	\$175,000.00	WARRANTY DEED	5273	472	U	V	BRATIC ALAN, ERIN B	KENNEDY DWIGHT HUGH IVAN,KAREN EVELYN GRACE
8/11/2015	8/6/2015	\$141,000.00	WARRANTY DEED	4069	1807	Q	V	MINER BRENDAN,CATHLENE	BRATIC ALAN, ERIN B
10/22/2014	10/22/2014	\$130,000.00	WARRANTY DEED	3945	146	Q	V	ARENTH ROBERT J,BARBARA G	MINER BRENDAN,CATHLENE
4/30/2013	4/30/2013	\$110,000.00	WARRANTY DEED	3723	914	Q	V	UNICE ROBERT & GAIL	ARENTH ROBERT J,BARBARA G
	6/23/2003	\$125,000.00	WARRANTY DEED	1986	455	Q	V	RANGER ALFRED J JR & ALTENBURG JANICE E	UNICE ROBERT & GAIL
	3/31/1997	\$65,000.00	WARRANTY DEED	1231	2013	Q	V	THOMPSON PIERRE D & THOMPSON BROS REALTY INC	RANGER ALFRED J JR & ALTENBURG JANICE E
	10/7/1991	\$0.00	CONSERVATION EASEMENT	924	296	U	V	PIERRE D THOMPSON	ST JOHNS RIVER WATER MANAGEMENT DIST

No data available for the following modules: Sales Questionnaire Form, Exemption Information, Building Information, Sketch Information, Extra Feature Information.

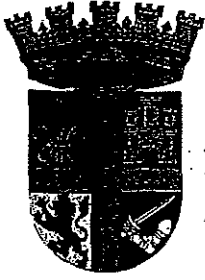
The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.

[User Privacy Policy](#) | [GDPR Privacy Notice](#)
Last Data Upload: 6/20/2025, 11:51:42 PM

Contact Us

Developed by
 SCHNEIDER
GEOSPATIAL

Attachment 6:
Pelican Reef Cedar Tree
Requirements



City of St. Augustine



St. Augustine, Florida

Planning/Building

April 5, 1995

Pierre Thompson
Pelican Reef Development Co.
93-D Orange Street
St. Augustine, Florida 32084

RE: Appeal of a Staff Determination/Variance 95-0187
Pelican Reef Subdivision (124 Spartina Avenue)

Dear Mr. Thompson:

On Tuesday, April 4, 1995, the Planning and Zoning Board (PZB) met and discussed your application to appeal a staff determination to enforce the provisions of the Trees and Landscaping Code and to reduce the minimum tree and landscape requirements for a subdivision at Pelican Reef Subdivision.

Specifically, the PZB approved your application to waive the requirement to plant approximately 1600 Southern Red Cedar trees to replace trees removed as a result of the development of infrastructure for the subdivision. In addition, the PZB approved your request to fill mosquito control ditches within the subdivision and to place fill on the subdivision lots up to a maximum height of 6' above mean sea level without obtaining a building permit. The PZB made its determinations with the stipulations that you will require lot owners to maintain a minimum of 10 Southern Red Cedar trees on their individual lots, and that no additional trees may be removed without an approved tree removal permit. The PZB did not provide a variance or waiver to the requirements of the Trees and Landscaping Code as they pertain to the individual lot owners.

Should you have questions regarding this matter, please contact the Planning and Building Division at 825-1060.

Sincerely,

Jean Carver
Citizen Boards Technician

jc

cc: Joseph Pomar, Jr., City Manager
Michael Griffin, CBO, Planning and Building Manager
BDAC File 95-0187



Planning and Zoning Board

Planning Division Staff Report
 Planning and Building Department

Public Hearing Date	Agenda Item	Application Number
July 1, 2025	5.c.	PZB2025-0044
Request	Address	Parcel ID
Conservation Overlay Zone Development	228 Pelican Reef Drive	158573-0070

Site & Background Information

Applicant: Kevin Marks
 c/o Shoreland Home Builders

Owner: Angelo Tradito
 c/o Old Stone Management

Property Class:
 (St. Johns County
 Property Appraiser) 0000 – Vacant Residential

**Future Land Use
 Designation:** Residential Low Density

Zoning Designation: Residential Single-Family-Two: RS-2

Acreage: 0.33

Neighborhood: South Davis Shores

Archaeological Zone: N/A

Request Summary

This is a request for [Conservation Overlay Zone \(COZ\) development](#) for the construction of a retaining wall in [COZ 2](#) at 228 Pelican Reef Drive. Approval of this application would allow for a retaining wall with a top of wall elevation of seven (7) feet NAVD88 and a single-family home.

The applicant last appeared before the Board on June 3, 2025. The PZB continued the application so that the applicant could provide:

- Proposed top of wall and bottom of wall elevations of the retaining wall,
- Drainage plan with flow arrows and finished grade elevations,
- If applicable the limits of structure(s) with Finish Floor Elevation (FFE) in NAVD88, and
- Information clarifying if any portion of the retaining wall would encroach on the Conservation Easement.

The applicant has provided the requested information.

Staff Analysis

Consistency with the City of St. Augustine’s Comprehensive Plan 2040

Comprehensive Plan Element	Goal, Policy, or Objective	Staff Analysis
Future Land Use		
Historic Preservation		
Conservation and Coastal Management	<p>Policy 1.3.4</p> <p>The City shall consider reserving the floodplain as undisturbed, intended for conservation, open space and/or passive recreational uses to preserve the natural flow of runoff, as feasible and unless such reservation denies all reasonable use of the property.</p>	<p>The construction of a retaining wall and adding fill will be contrary to preserving the natural flow of runoff. This is inconsistent with Policy 1.3.4.</p>
	<p>Policy 1.3.1</p> <p>The City shall protect the natural functions of the 1% annual chance flood zone (100-year flood zone) so that the flood-carrying and flood storage capacity are maintained by implementing and enforcing floodplain regulations and reviewing development proposals for the presence of impacts on floodplains.</p>	<p>228 Pelican Reef Drive is within Flood zone AE – 1% Annual. The construction of a retaining wall and the placement of fill will reduce the flood-carrying and flood storage capacity of the site. This is inconsistent with Policy 1.3.1</p>

Recreation and Open Space		
Transportation and Mobility		
Housing		
Infrastructure		

Review of Applicable City of St. Augustine Code of Ordinances

The request for Conservation Overlay Zone 2 development includes a retaining wall and fill. The retaining wall is proposed to be constructed at the boundary of a recorded conservation easement (Public Records, St. Johns County, FL O.R. 924 Pg 296). This conservation easement gives the grantee, St. Johns River Water Management District (SJRWMD), the right to, “preserve and protect in perpetuity the environmental value of the property in the easement for generations to come.” Staff advises that the applicant coordinate with SJRWMD prior to construction of the retaining wall to maintain compliance with the requirements of the conservation easement.

The planning and zoning board is [authorized to impose limitations](#) in the nature and manner of construction and/or use so as to avoid damage to adjacent salt marshes and the vegetative communities contained therein, to eliminate any harm to the animal, fish or shellfish contained therein, to avoid blocking or disrupting vistas and scenic opportunities, and to enhance those vistas and scenic opportunities which are determined to benefit the public as a whole.

Applications for development in Conservation Overlay Zones shall be [evaluated according to the criteria in Sec. 11-29\(c\)](#).

Staff Analysis of Applicable Criteria (Sec. 11-29(c))

(1) Site specific conditions.

228 Pelican Reef Drive is a vacant lot in the Pelican Reef subdivision. The site is within AE flood zones with a Base Flood Elevation (BFE) of 8.00 feet NAVD88. The applicant is proposing to build a retaining wall along the landward perimeter of the Conservation Easement for the construction of a single-family home. The top of wall elevation for the retaining wall is seven (7) feet NAVD88 and the bottom of wall elevation is three (3) feet NAVD88 giving a height of four feet. The proposed Finished Floor Elevation of the home is nine (9) feet with a stem wall foundation.

(2) The site's relationship to adjacent properties, bodies of water and surrounding conservation zones.

228 Pelican Reef Drive is a marsh front lot with a platted jurisdictional wetland line with an associated ten (10) foot retention swale that is encompassed in a recorded Conservation Easement. The property is within Conservation Overlay Zones 1, 2, and 3.

(3) Natural and proposed drainage patterns.

Elevation maps show the property currently draining to the marsh. The highest elevation is approximately five – six feet at the streetside portion of the lot. Most of the lot is between 3 and 4 feet NAVD88. The applicant provided a drainage plan that demonstrates the lot will now drain to the front of the property. The neighborhood of Pelican Reef has a stormwater plan with swales along the road and within the 10-foot easement along the rear of the property. A split drainage plan would keep some of the natural drainage pattern and is consistent with the approved stormwater plan for the neighborhood.

(4) Effect of point and nonpoint discharge in the marine environment.

Not applicable.

(5) Proposed soil stabilization and erosion control methods.

The applicant should place silt fencing along the perimeter of the construction site to minimize erosion into adjacent lots and adjacent wetlands.

(6) Impact on floodplain.

The Base Flood Elevation (BFE) for the site is eight feet. The proposed final grade elevations are below eight feet, allowing most of the property to retain the ability to store flood waters. The top of wall elevation for the retaining wall is seven (7) feet NAVD88 and the bottom of wall elevation is three (3) feet NAVD88 giving a height of four feet. The proposed Finished Floor Elevation of the home is nine (9) feet with a stem wall foundation. Constructing the home with a stem wall helps to minimize the displacement of flood waters onto adjacent properties.

(7) Impact of development on vegetative and animal communities.

Unknown.

8) Potential for contaminated drainage, storage of pollutants and the use of poisonous chemicals and materials.

Unknown

(9) Effect of shade on vegetation and shellfish.

Unknown.

(10) Effect of boat wake and boat traffic on manatees, vegetation, shellfish and wildlife, as well as shoreline erosion.

Unknown

(11) Impact of development on shoreline by linear feet and percent of site.

The site contains a shoreline along a tidal creek. However, the retaining wall is setback away from mean high and along the Conservation Easement in the rear of the property. The Conservation Easement contains a 10-foot-wide drainage swale landward of the jurisdictional wetland line.

(12) Impact of development on vistas and scenic opportunities by linear feet, height, mass and percent of site.

N/A

(13) Existing amounts of native plants and proposed retention and use of native plants for landscape and open space purposes.

Unknown. The applicant is not requesting to remove trees as part of this application.

(14) Impact of development on plant and animal habitat and potential loss in acres and percent of site.

Unknown.

(15) Impact of development on water quality. Water quality objectives will be presumed to have been met if runoff water is routed to a surface water management system permitted by the St. Johns River Water Management District or to a treatment facility that is equivalent to the water quality treatment criteria (water retention/detention) of the water management district. (An engineer or landscape architect licensed in the State of Florida is required to certify that the treatment facility is equivalent to the district's criteria.)

The Pelican Reef neighborhood does have a surface water management system permitted by the St. Johns River Water Management District.

(16) Impact of development on shellfish and on commercial and sport fish and waterfowl.

Unknown.

(17) Specific conditions applicable to docks. In addition to the considerations listed in subsections (1) through (16) herein, no boathouse, roofed structure or wall shall be constructed on any dock. This section shall not prohibit the use of bumpers or similar structures built at or near the water line and below deck elevation to protect the dock from damage caused by moored vessels. The deck of any private boat dock shall not exceed six (6) feet in height above mean high water. Boatlifts mounted on docks, or constructed on or adjacent to a dock, shall be limited to a capacity of twelve thousand (12,000) pounds or less. All boatlifts shall be low profile boatlifts or no profile boatlifts, and no boats in excess of thirty-two (32) feet in length shall be allowed on a boatlift. In addition, the maximum height, excluding masts, antennas and other non-occupiable features, of a boat suspended in a boatlift shall not exceed six (6) feet above the gunwale (gunnel); whereby, the gunwale (gunnel) is defined as the upper edge of the side of the ship or boat. A low profile boatlift is a boatlift for a single watercraft in which no part of the boatlift shall exceed three (3) feet above the deck. A no profile boatlift is a boatlift for a single watercraft in which no part of the boatlift shall protrude above the deck.

N/A

Staff Recommendation

Review of Section 11-29 is the responsibility of the Planning and Zoning Board for the proposed development within Conservation Overlay Zone 2 and 3. This application is for the construction of a retaining wall at 228 Pelican Reef Drive / PID 158573-0070.

Attachments

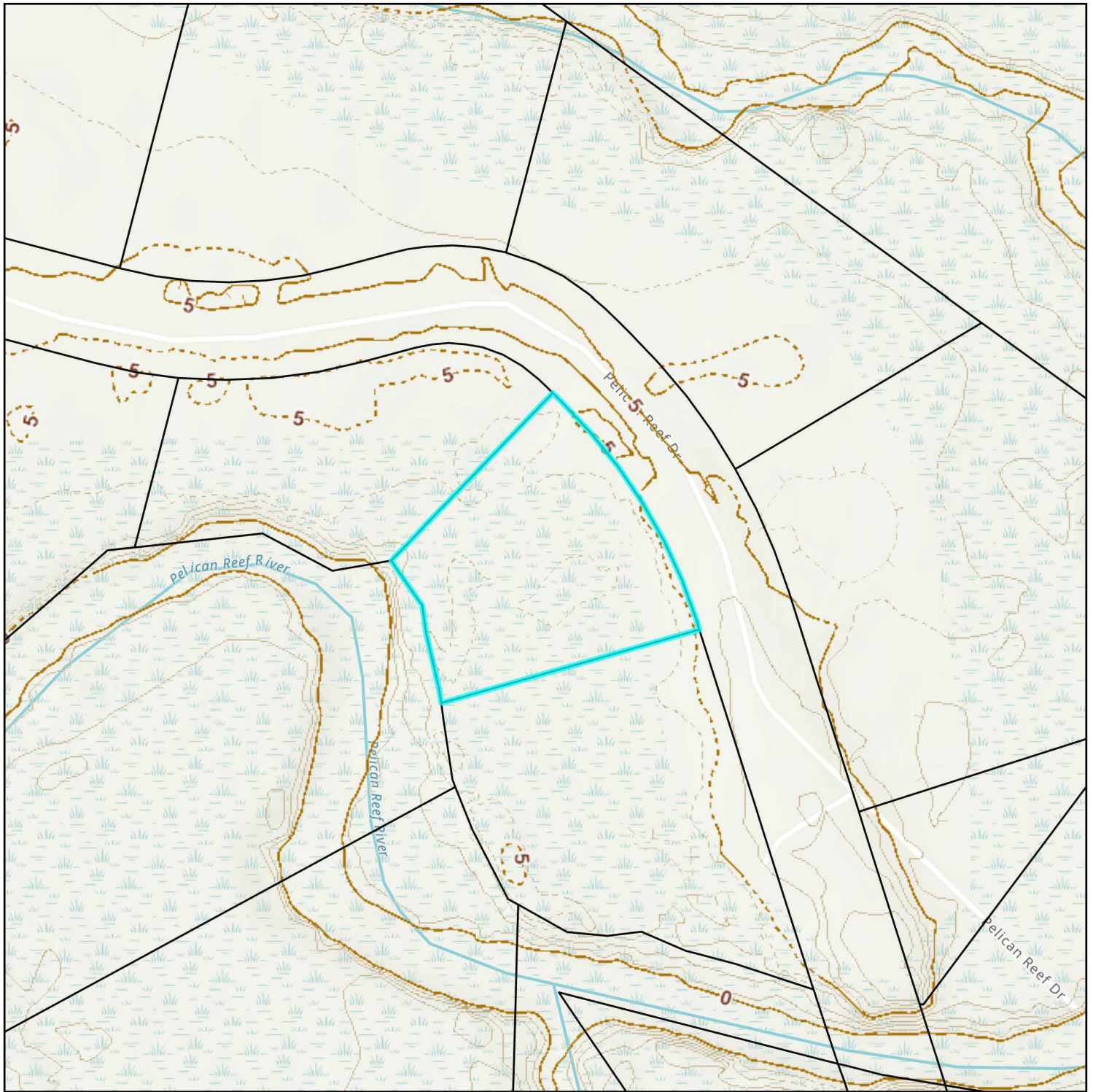
1. Site Maps and Photos
2. Application
3. St. Johns County Property Appraiser Report
4. Supplemental Information
5. House Plans

Staff Report prepared by:



Sarah Daugherty
Senior Planner
Planning and Building Department

**Attachment 1:
Site Maps
and Photos**



Elevation Map

City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
 This map is for reference only. Data provided are derived from multiple sources with varying levels of accuracy. The City of St. Augustine disclaims all responsibility for the accuracy or completeness of the data shown herein.

2025



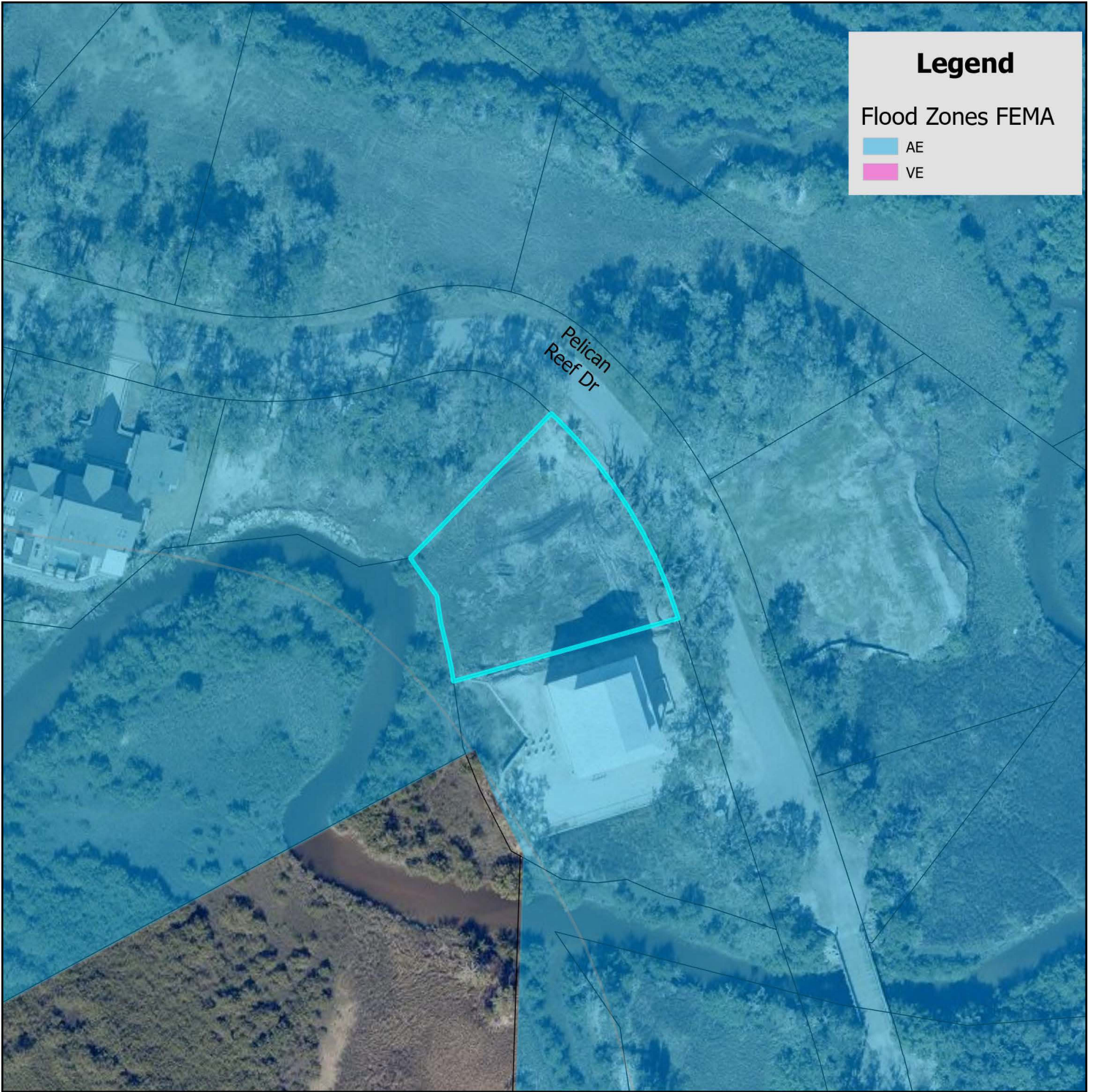
0 0.01 0.01 Miles

A horizontal scale bar with three segments, labeled '0', '0.01', and '0.01' miles.

0 40 80 Feet

A horizontal scale bar with three segments, labeled '0', '40', and '80' feet.

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Legend

Flood Zones FEMA

- AE
- VE



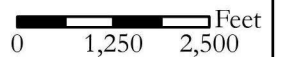
FEMA Flood Zone Map



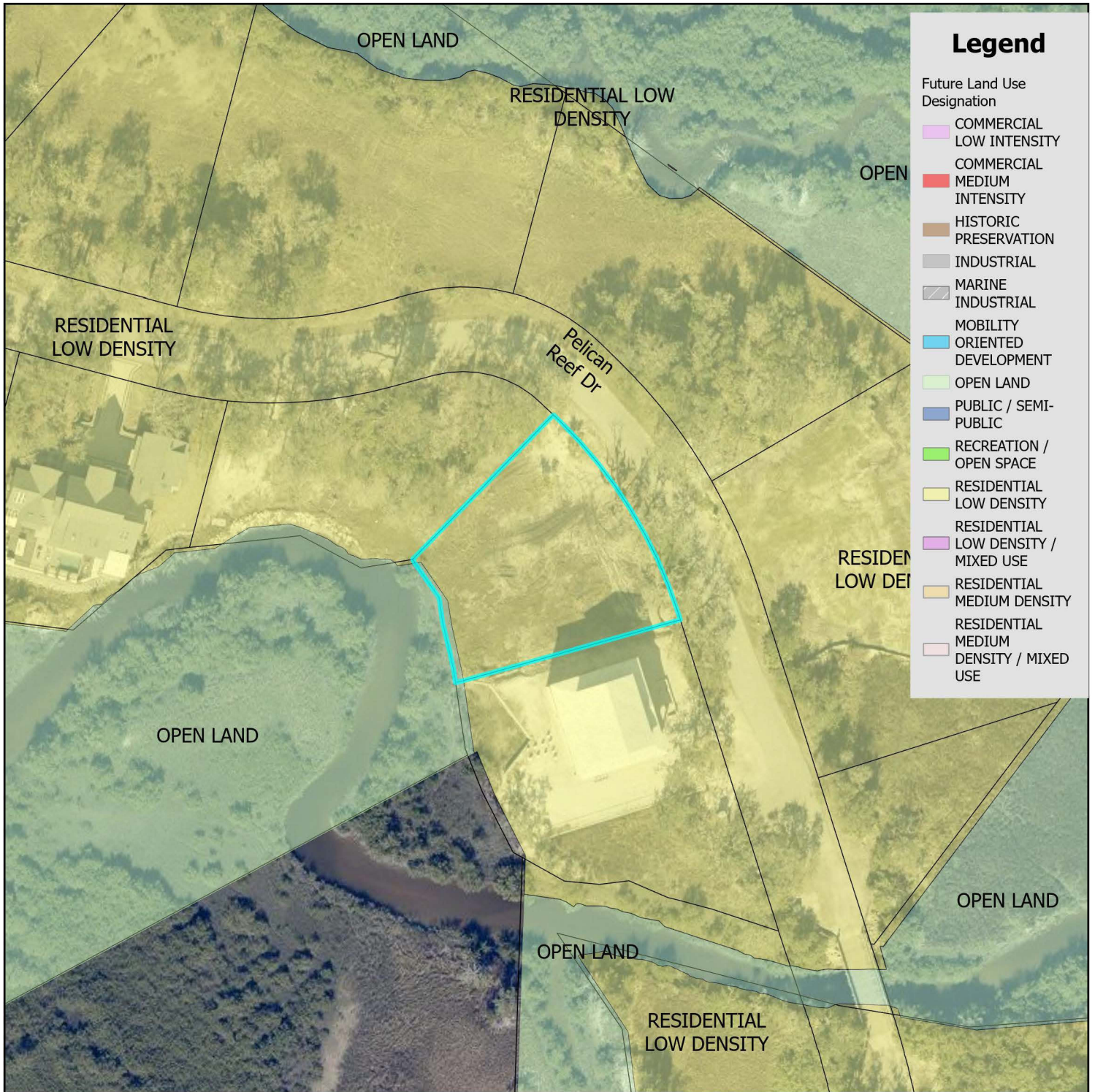
City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

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2025



Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Legend

Future Land Use Designation

- COMMERCIAL LOW INTENSITY
- COMMERCIAL MEDIUM INTENSITY
- HISTORIC PRESERVATION
- INDUSTRIAL
- MARINE INDUSTRIAL
- MOBILITY ORIENTED DEVELOPMENT
- OPEN LAND
- PUBLIC / SEMI-PUBLIC
- RECREATION / OPEN SPACE
- RESIDENTIAL LOW DENSITY
- RESIDENTIAL LOW DENSITY / MIXED USE
- RESIDENTIAL MEDIUM DENSITY
- RESIDENTIAL MEDIUM DENSITY / MIXED USE



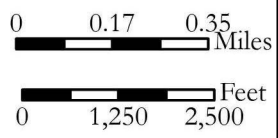
Future Land Use Map



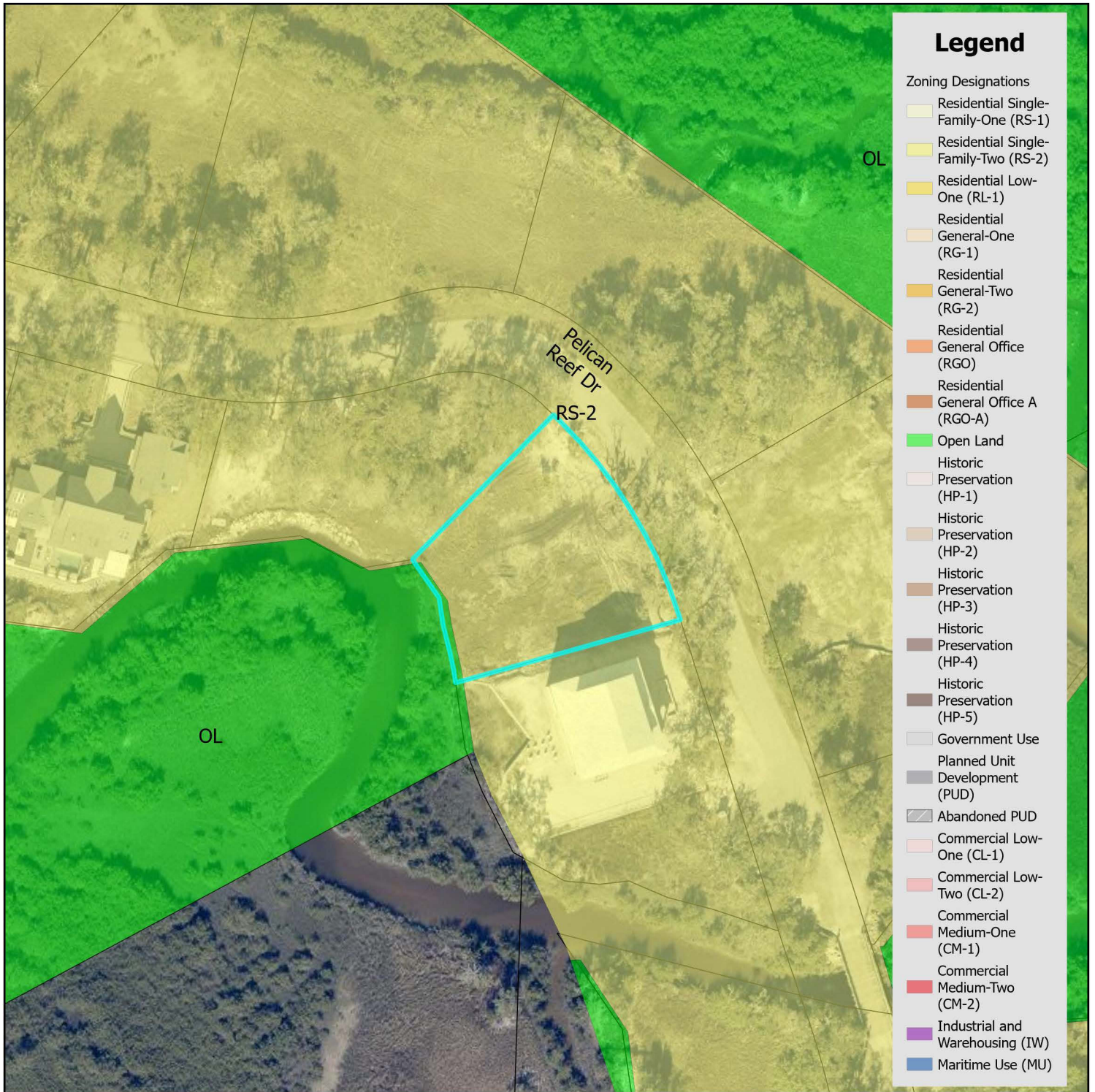
City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

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2025



Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



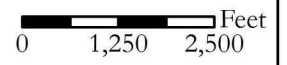
- ### Legend
- Zoning Designations
- Residential Single-Family-One (RS-1)
 - Residential Single-Family-Two (RS-2)
 - Residential Low-One (RL-1)
 - Residential General-One (RG-1)
 - Residential General-Two (RG-2)
 - Residential General Office (RGO)
 - Residential General Office A (RGO-A)
 - Open Land
 - Historic Preservation (HP-1)
 - Historic Preservation (HP-2)
 - Historic Preservation (HP-3)
 - Historic Preservation (HP-4)
 - Historic Preservation (HP-5)
 - Government Use
 - Planned Unit Development (PUD)
 - Abandoned PUD
 - Commercial Low-One (CL-1)
 - Commercial Low-Two (CL-2)
 - Commercial Medium-One (CM-1)
 - Commercial Medium-Two (CM-2)
 - Industrial and Warehousing (IW)
 - Maritime Use (MU)



Zoning Map



2025



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
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Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

Pelican Reef Drive / PID 158573-0070



12/08/2024

Attachment 2: Application



**CITY OF ST AUGUSTINE
APPLICATION TO PLANNING AND ZONING BOARD**

Application Fee: _____ (plus advertising costs) Project Number: _____
 Receipt Number: _____ Meeting Date: _____
 Advertising Costs: \$ _____ Paid On: _____ Receipt Number: _____

1. NAME OF APPLICANT: Kevin Marks Contact Number: 904.347.7652
 Business (if applicable): Shoreland Home Builders
 Address: 794 Cypress Rd City: St Augustine State: FL Zip: 32086
 E-Mail Address: kevin@shorelandhomebuilders.com

2. NAME OF PROPERTY OWNER: Old Stone Management Contact Number: 914.490.3986
 Business (if applicable): _____
 Address: 8 Stonegate Rd City: Valhalla State: NY Zip: 10595
 E-Mail Address: angtrad@icloud.com

3. LEGAL DESCRIPTION OF PROJECT PROPERTY:
 Lot: 7 Block: 12
 Subdivision: Pelican Reef Parcel Number: 1585730070

4. PROJECT STREET ADDRESS: 228 Pelican Reef Drive

5. SPECIFIC PROPOSED USE: Single-Family Residential

6. ACTION REQUESTED:

<input checked="" type="checkbox"/> Conservation Zone Development	<input type="checkbox"/> Appeal of Staff Determination
<input type="checkbox"/> Exception	<input type="checkbox"/> Land Use Plan Amendment
<input type="checkbox"/> Variance	<input type="checkbox"/> Rezoning
<input type="checkbox"/> Other: _____	

7. DESCRIPTION OF ACTION REQUESTED: _____
Installation of a landscape (Compac) block site wall along the conservation easement

8. JUSTIFICATION FOR ACTION REQUESTED: _____
To contain fill dirt that was recently installed as part of a surcharge plan

9. **IF APPLYING FOR A VARIANCE, PLEASE COMPLETE THE FOLLOWING AND EXPLAIN THE SITUATION FULLY ALONG WITH PROVIDING DOCUMENTATION:**

- (a) Does the property because of size, shape, topography or other physical conditions, suffer singular disadvantage, which disadvantage does not apply to other properties in the vicinity: _____

- (b) Can you establish that this disadvantage causes the owner to be unable to make reasonable use of the affected property: _____

- (c) Can you establish that this disadvantage does not exist because of conditions created by the owner or applicant: _____

- (d) Can you establish that granting of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this Section: _____

10. **PREVIOUS APPLICATIONS:**

Has any application been submitted to the Planning & Zoning Board concerning any part of the subject property within the past year?

Yes No If yes, please give date and final disposition below.

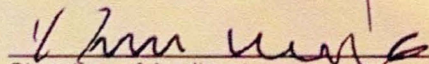
11. **AGREEMENT:**

In filing this application, I understand that it becomes a part of Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

Application must be signed by both applicant and property owner if different. Letter of authorization must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of either property owner or applicant.

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

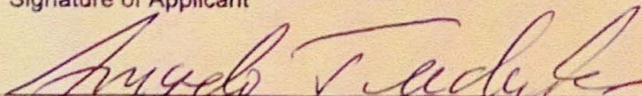
IMPORTANT NOTICE: When the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the Board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the Board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the Code.



Signature of Applicant

5.5.25

Date



Signature of Property Owner

5.5.25

Date

04/18/2019



**CITY OF ST. AUGUSTINE
DEVELOPMENT PERMIT APPLICANT WAIVER**

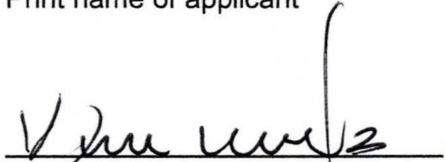
The applicant acknowledges and agrees to waive the limitation of three requests for additional information by the City of St. Augustine, pursuant to Chapter 166.033, Florida Statutes.

The applicant acknowledges and agrees that the City offers weekly Friday Review development review meetings, as well as, department specific applicant meetings with its reviewing staff at any point in the application process to attempt to resolve outstanding issues. The applicant is responsible for scheduling any requested meetings with City staff directly.

The applicant acknowledges and agrees that if after three unresolved submittals the applicant elects to proceed with final approval or denial proceedings, the applicant must request so in writing to the City.

Kevin Marks

Print name of applicant



Signature of applicant

5.5.25

Date

PZB APPLICATION FEE SCHEDULE

Planning and Zoning Board fees are set by Resolution 2021-38 as follows:

Description of Work	Fee Amount
Rezoning: small scale	\$300.00 + ads & notices
Rezoning: large scale	\$1,000.00 + ads & notices
Land Use Plan Amendment: small scale	\$400.00 + ads & notices
Land Use Plan Amendment: large scale	\$1,400.00 + ads & notices
Planned Unit Development	\$400.00 or \$35.00/acre, whichever is greater, \$1,400 max + ads & notices
Zoning Variance	\$350.00 + ads & notices
Zoning Exception	\$250.00 + ads & notices
Conservation Overlay Zone Development	\$165.00 + ads & notices
Significant Tree Removal or Appeal of Tree Removal Permit Denial	\$165.00 + ads & notices
Appeal of Staff Determination	\$200.00 + ads & notices
Application to Amend Zoning Code	\$600.00 + ads & notices
Subdivision Plat Review	\$275.00 + ads, notices & additional associated costs

"Note: The cost of newspaper advertisement and all notices to surrounding property owners will be assessed by the city, paid by the city and reimbursed by the applicant. All advertising costs must be paid prior to issuance of a development permit.

The applicant shall reimburse the City the mailing cost for all notices and for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing."

If a Credit Card Authorization Form is used for the payment of fees, the City will maintain the form and automatically charge additional advertising and noticing fees, once determined, to the credit-card account submitted.

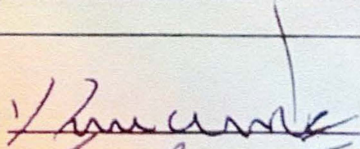
By signing below, I acknowledge responsibility for both the initial application fee and any subsequent costs associated with legal advertising and/or noticing and understand that permits associated with my application may not be issued until such fees are paid.

I authorize the Planning and Building Department to maintain my payment information until a final cost for advertising and/or noticing is determined and charged. If a payment method other than Credit Card Authorization Form is used, I understand that I will be sent an invoice for the costs of advertising/noticing which must be paid prior to the issuance of any development permit related to my application. I am aware that I can request a copy of these fees and my receipt from Building Department Staff.

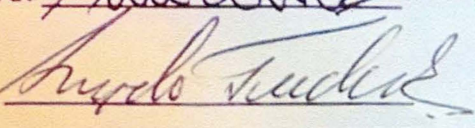
228 Pelican Reef Drive

Project Address: _____

Kevin Marks

Applicant's Name: _____ Applicant's Signature: 

Angelo Tradito

Owner's Name: _____ Owner's Signature: 



Owner's Authorization For Agent

Kevin Marks is/are hereby authorized TO ACT ON BEHALF OF Old Stone Management, the owner(s) of those lands described within the attached application, or described within the previously filed Application number: _____, and as described in the attached deed or other such proof of ownership as may be required, in applying to the City of St. Augustine's Planning & Zoning Board, located at:

BY: Angelo Tradito
Signature of Owner
Angelo Tradito
Print Name of Owner
914.490.3986
Telephone Number

State of New York
County of Westchester

Signed and sworn before me on this 6 day of May, 2025

By Angelo tradito

Identification verified:
Oath sworn: Yes No



Notary Signature: CAE

My Commission expires: March 20, 2029

**Attachment 3:
St. Johns County
Property Appraiser
Report**

St. Johns County, FL

Apply for Exemptions

Apply for Exemptions

Homestead Compliance

This form is not a Homestead Exemption application. To apply online for homestead and related exemptions, please click [here](#).

Homestead Compliance

2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID	1585730070
Location Address	PELICAN REEF DR SAINT AUGUSTINE 32080-0000
Neighborhood	Pelican Reef (628)
Tax Description*	111/57-61 PELICAN REEF BLOCK 12 PHASE 6 LOT 7 OR5497/1325 <i>*The Description above is not to be used on legal documents.</i>
Property Use Code	Vacant Residential (0000)
Subdivision	PELICAN REEF BLOCK 12 PHASE 6
Sec/Twp/Rng	29-7-30
District	City of St Augustine (District 452)
Millage Rate	18.72
Acreage	0.330
Homestead	N

[Click Here to Open Cyclomedia Viewer in a New Tab](#)



Owner Information

Owner Name	Old Stone Management Inc 100%
Mailing Address	8 STONEGATE RD VALHALLA, NY 10595-0000

Map



Valuation Information

	2025
Building Value	\$0
Extra Features Value	\$0
Total Land Value	\$385,000
Agricultural (Assessed) Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$385,000
Total Deferred	\$3,850
Assessed Value	\$381,150
Total Exemptions	\$0
Taxable Value	\$381,150

Values listed are from our working tax roll and are subject to change.

Historical Assessment Information

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value	Ag (Assessed) Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value
2024	\$0	\$0	\$350,000	\$0	\$0	\$350,000	\$346,500	\$3,500	\$346,500
2023	\$0	\$0	\$315,000	\$0	\$0	\$315,000	\$315,000	\$0	\$315,000
2022	\$0	\$0	\$313,600	\$0	\$0	\$313,600	\$313,600	\$0	\$313,600

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Vacant Residential	0	0	1	UT	\$385,000

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
2/21/2022	2/16/2022	\$360,000.00	WARRANTY DEED	5497	1325	Q	V	PELICAN REEF OF ST AUGUSTINE LLC	OLD STONE MANAGEMENT INC

No data available for the following modules: Sales Questionnaire Form, Exemption Information, Building Information, Sketch Information, Extra Feature Information.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.
[User Privacy Policy](#) | [GDPR Privacy Notice](#)
 Last Data Upload: 5/8/2025, 12:05:03 AM

Contact Us



**Attachment 4:
Supplemental
Information**

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1	68.75'	66.54'	59°11'47"	S75°17'48"E	65.73'
C2	134.60'	272.72'	28°16'43"	S31°33'26"E	133.24'

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	9.92'	S45°41'48"E
L2	5.83'	S45°41'48"E
L3	4.63'	S17°25'04"E
L4	7.82'	N08°10'07"W
L5	28.27'	N12°51'15"W
L6	15.35'	N08°36'02"W
L7	27.68'	N34°37'28"W
L8	18.60'	N34°54'06"W
L9	18.83'	N10°51'05"E
L10	25.51'	N02°01'34"E
L11	15.46'	N06°37'07"E
L12	4.81'	N08°10'07"W
L13	8.07'	N83°48'04"W

TREE LEGEND	
ABBREVIATION	TYPE
LO	LIVE OAK

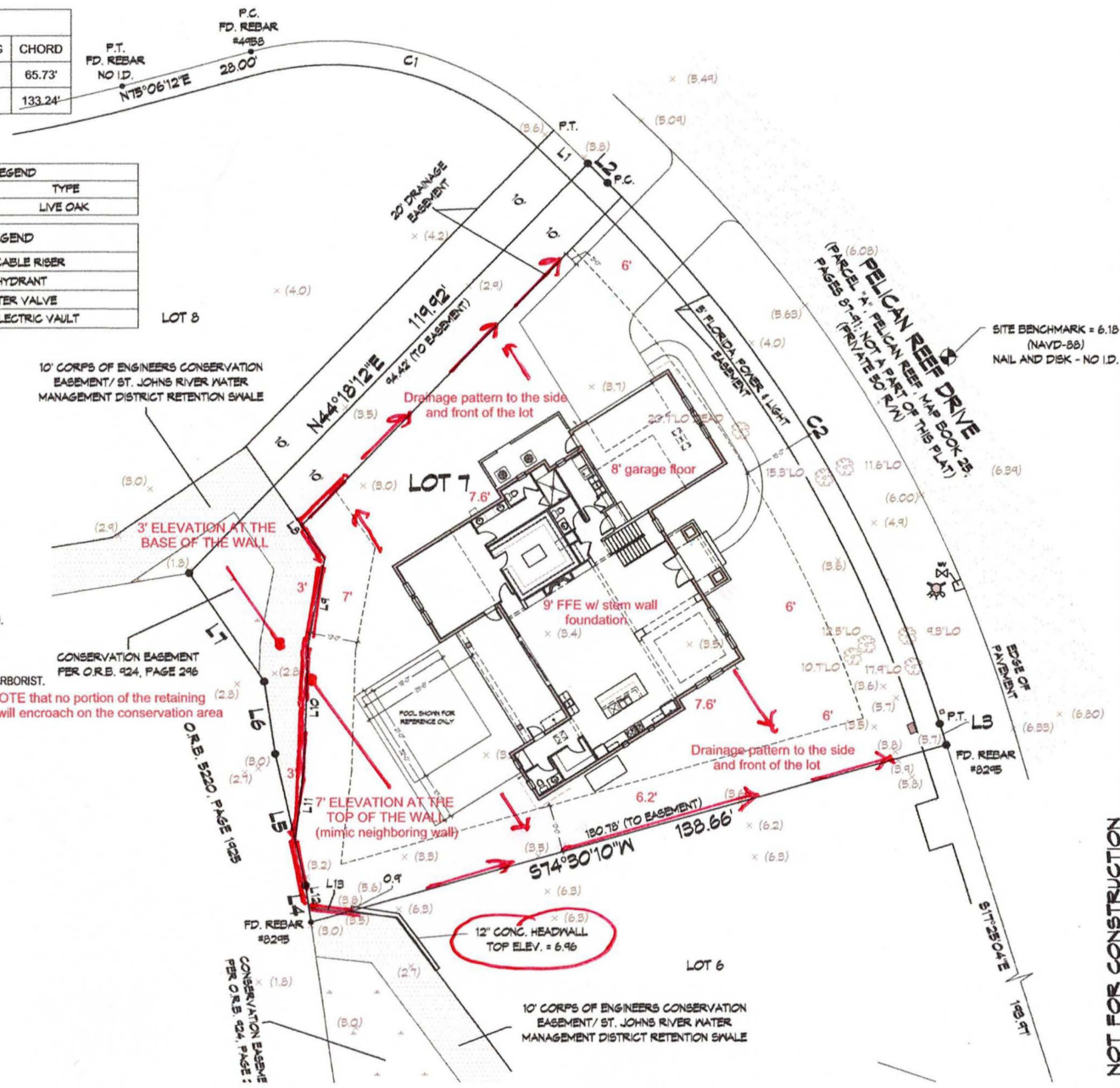
UTILITY LEGEND	
	CABLE RISER
	HYDRANT
	WATER VALVE
	ELECTRIC VAULT

NOTES:

- 1.) ALL ELEVATIONS SHOWN HEREON REFERENCE NAVD-88.
- 2.) ALL TREES NOT LABELED "LO" ARE NOT LIVE OAKS.
- 3.) ALL LIVE OAKS AND LONG LEAF PINES ARE LABELED AS SUCH.
- 4.) ALL OTHER OAK TREES ARE SCRUB, WATER OR LAUREL.
- 5.) ALL OTHER PINE TREES ARE SLASH OR POND.
- 6.) ALL TREES LABELED "MYRTLE" ARE CRAPE MYRTLE.
- 7.) THE TREES SHOWN HEREON WERE NOT IDENTIFIED BY A CERTIFIED ARBORIST.
- 8.) ● DENOTES SET 1/2" I.P. #615 UNLESS NOTED OTHERWISE. NOTE that no portion of the retaining wall will encroach on the conservation area

GENERAL NOTES :

- (1) BEARINGS SHOWN HEREON ARE BASED ON THE WESTERLY R/W LINE OF PELICAN REEF DRIVE AS S11°31'16"E, PER PLAT.
- (2) THIS PROPERTY HAS NOT BEEN ABSTRACTED FOR EASEMENTS, COVENANTS, RESTRICTIONS.
- (3) UNDERGROUND UTILITIES SERVING THIS PROPERTY HAVE NOT BEEN LOCATED OR SHOWN.
- (4) THIS PROPERTY APPEARS TO LIE WITHIN FLOOD ZONE "AE" (EL. 8) AS SCALED FROM F.E.M.A. FLOOD INSURANCE RATE MAP, PANEL 12B147-05B1J, DATED 12-07-2018.



SCALE DATE: 10/20/2018 774

NO. 25000

A
ADELE
DESIGNER HOMES

CBC1265918
(904) 238-9799

COMMUNITY:
PELICAN REEF

OWNERS:
TRADITO

PLAN INFO:
CUSTOM
2 CAR SIDE

NOT FOR CONSTRUCTION

SkyMac
Design

Contact@SkyMacDesign.com
1324 Village Pkwy, Suite A
Orange Park, Florida 32067
Phone: 904.777.8886

PROJECT: 10-20
DRAWN: 1/15/18
FIELD MARK: 1/15/18
CHECKED: 1/15/18
PROJECT FILE NUMBER: 2500000774

CUSTOM
A1.2

MAP SHOWING BOUNDARY, TREE & TOPOGRAPHIC SURVEY OF

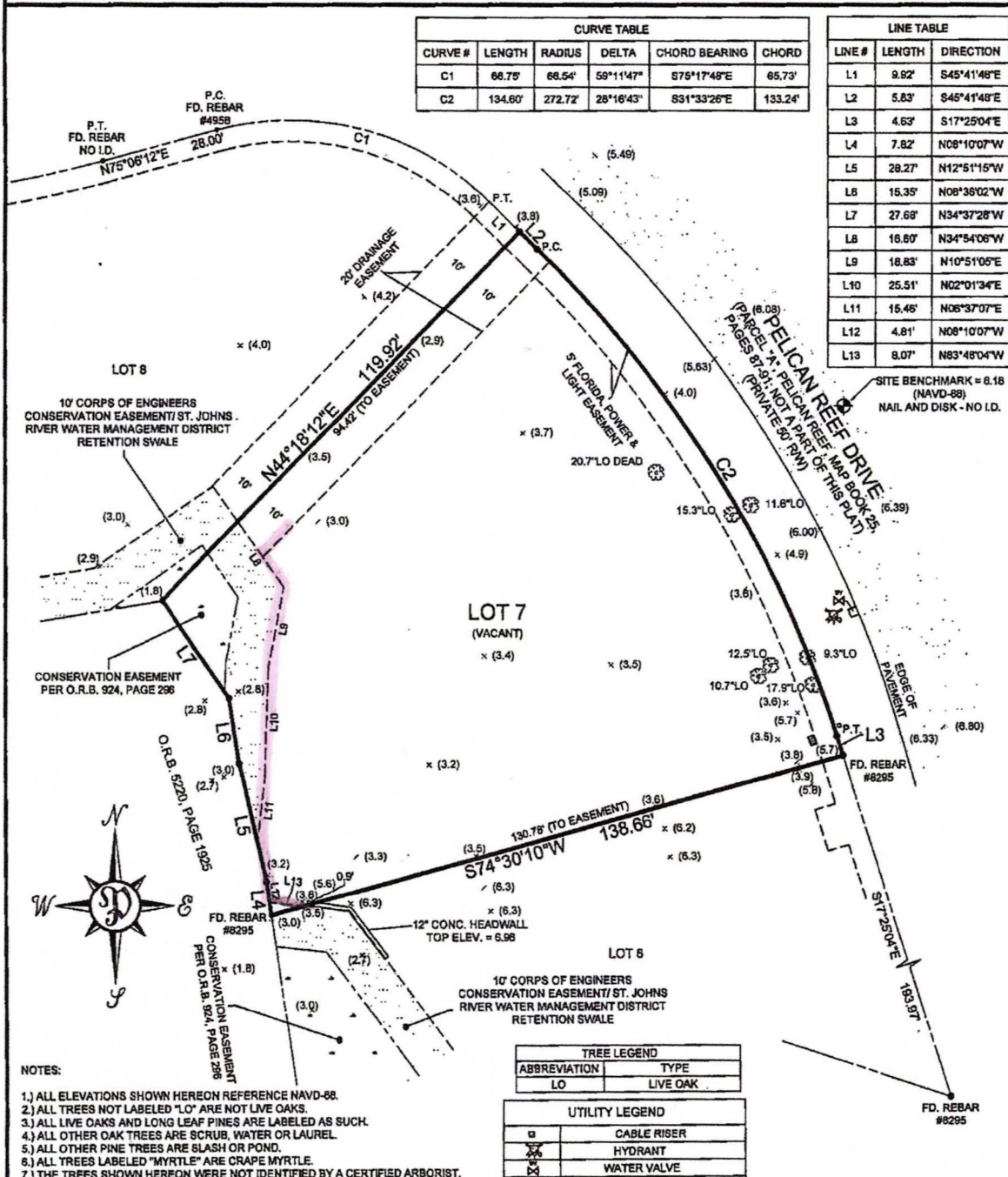
LOT 7 BLOCK - AS SHOWN ON MAP OF
PELICAN REEF - BLOCK 12 PHASE 6

AS RECORDED IN MAP BOOK 111 PAGES 57-61 OF THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA.

CERTIFIED TO: ADELE DESIGNER HOMES

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1	68.75'	68.54'	59°11'47"	S75°17'48"E	65.73'
C2	134.60'	272.72'	28°16'43"	S31°33'26"E	133.24'

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	9.92'	S45°41'48"E
L2	5.83'	S45°41'48"E
L3	4.63'	S17°25'04"E
L4	7.82'	N08°10'07"W
L5	28.27'	N12°51'15"W
L6	15.35'	N08°36'02"W
L7	27.68'	N34°37'28"W
L8	16.80'	N34°54'06"W
L9	18.83'	N10°51'09"E
L10	25.51'	N02°01'34"E
L11	15.48'	N08°37'07"E
L12	4.81'	N08°10'07"W
L13	8.07'	N83°48'04"W



NOTES:

- 1.) ALL ELEVATIONS SHOWN HEREON REFERENCE NAVD-88.
- 2.) ALL TREES NOT LABELED "LO" ARE NOT LIVE OAKS.
- 3.) ALL LIVE OAKS AND LONG LEAF PINES ARE LABELED AS SUCH.
- 4.) ALL OTHER OAK TREES ARE SCRUB, WATER OR LAUREL.
- 5.) ALL OTHER PINE TREES ARE SLASH OR POND.
- 6.) ALL TREES LABELED "MYRTLE" ARE CRAPE MYRTLE.
- 7.) THE TREES SHOWN HEREON WERE NOT IDENTIFIED BY A CERTIFIED ARBORIST.
- 8.) ● DENOTES SET 1/2" I.P. #6715 UNLESS NOTED OTHERWISE.

TREE LEGEND	
ABBREVIATION	TYPE
LO	LIVE OAK

UTILITY LEGEND	
	CABLE RISER
	HYDRANT
	WATER VALVE
	ELECTRIC VAULT

PERRET AND ASSOCIATES, INC.

1484 MONTICELLO ROAD, JACKSONVILLE, FLORIDA 32207 ~ (904) 805-0030

- GENERAL NOTES:**
- (1) BEARINGS SHOWN HEREON ARE BASED ON THE WESTERLY RW LINE OF PELICAN REEF DRIVE AS S17°31'16"E, PER PLAT.
 - (2) THIS PROPERTY HAS NOT BEEN ABSTRACTED FOR EASEMENTS, COVENANTS, RESTRICTIONS.
 - (3) UNDERGROUND UTILITIES SERVING THIS PROPERTY HAVE NOT BEEN LOCATED OR SHOWN.
 - (4) THIS PROPERTY APPEARS TO LIE WITHIN FLOOD ZONE "AE" (EL. 8) AS SCALED FROM F.E.M.A. FLOOD INSURANCE RATE MAP, PANEL 125147-0381J, DATED 12-07-2018.

LEGEND

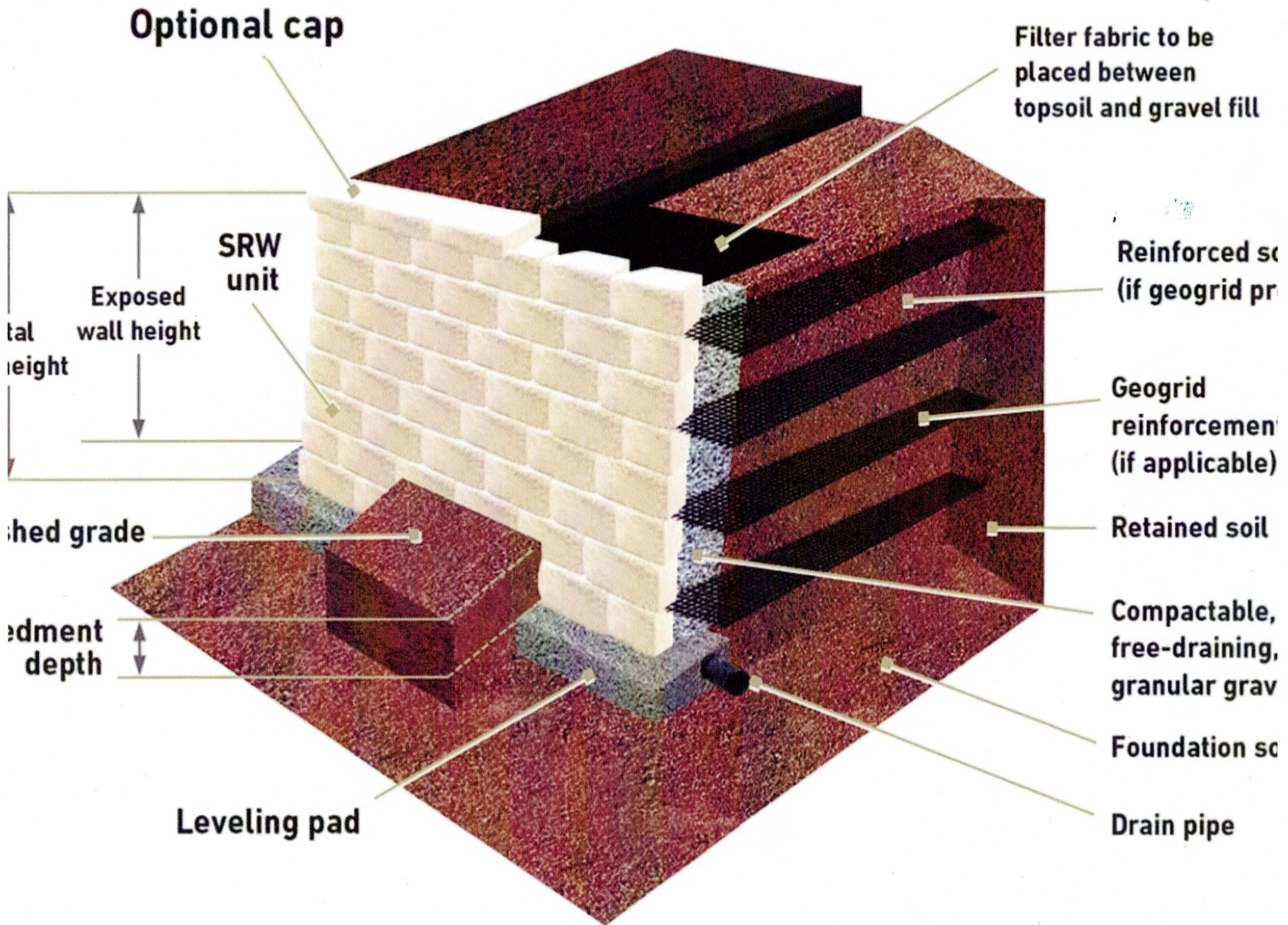
P.C.	POINT OF CURVATURE
P.T.	POINT OF TANGENCY
P.R.C.	POINT OF REVERSE CURVE
P.C.C.	POINT OF COMPOUND CURVE
P.R.M.	PERMANENT REFERENCE MONUMENT
P.C.P.	PERMANENT CONTROL POINT
B.R.L.	BUILDING RESTRICTION LINE
CL	CENTERLINE
CLF	CHAIN LINK FENCE
R.W.	RIGHT-OF-WAY
O.R.B.	OFFICIAL RECORDS BOOK
OL	ON LINE
BL	BREAK LINE
F.F.E.	FINISHED FLOOR ELEVATION

SCALE 1"=30'

06-11-2024
DATE OF FIELD SURVEY

NATHAN P. PERRET, FLA. CERT. NO. 6900





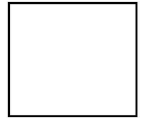
Attachment 5: House Plans

Tradito Residence

St. Johns County, Florida

Adele Designer Homes

Jacksonville, Florida



A
ADELE
DESIGNER HOMES
CBC1265918
(904) 238-9799

COMMUNITY:
PELICAN REEF

OWNERS:
TRADITO

PLAN INFO:
CUSTOM
2 CAR SIDE

SkyMac
Design
Contact@SkyMacDesign.com
1724 Village Way, Suite A
Orlando Park, Florida 32078
Phone: 404-775-4886

PROJECT # 24-096
OWNER: WELLS
PROJECT NAME: WELLS
DESIGNED: WELLS
COVER SHEET CHANGE RIGHT SIDE

CUSTOM
SHEET #
AO.0

NOT FOR CONSTRUCTION

Date: 7/29/2024 DD's ISSUE
Project # S24-096

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1	68.75'	66.54'	59°11'47"	S75°17'48"E	65.73'
C2	134.60'	272.72'	28°16'43"	S31°33'26"E	133.24'

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	9.92'	S45°41'48"E
L2	5.83'	S45°41'48"E
L3	4.63'	S17°25'04"E
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L7	27.68'	N34°37'28"W
L8	18.60'	N34°54'06"W
L9	18.83'	N10°51'05"E
L10	25.51'	N02°01'34"E
L11	15.46'	N06°37'07"E
L12	4.81'	N08°10'07"W
L13	8.07'	N83°48'04"W

TREE LEGEND	
ABBREVIATION	TYPE
LO	LIVE OAK

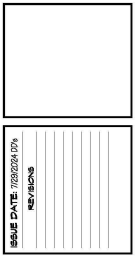
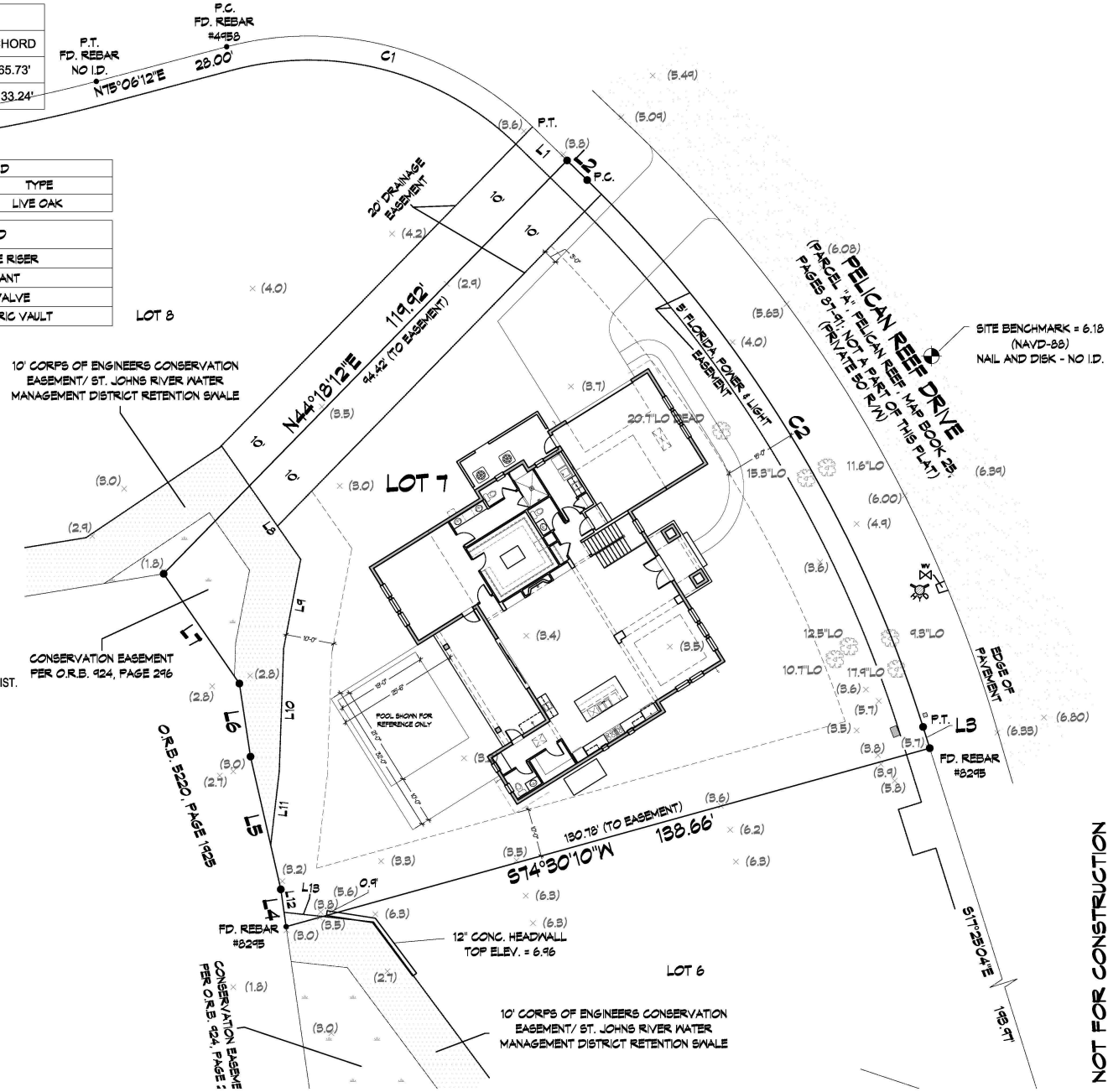
UTILITY LEGEND	
	CABLE RISER
	HYDRANT
	WATER VALVE
	ELECTRIC VAULT

NOTES:

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- 6.) ALL TREES LABELED "MYRTLE" ARE GRAPE MYRTLE.
- 7.) THE TREES SHOWN HEREON WERE NOT IDENTIFIED BY A CERTIFIED ARBORIST.
- 8.) ● DENOTES SET 1/2" I.P. #6719 UNLESS NOTED OTHERWISE.

GENERAL NOTES :

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- (4) THIS PROPERTY APPEARS TO LIE WITHIN FLOOD ZONE "AE" (EL. 8) AS SCALED FROM F.E.M.A. FLOOD INSURANCE RATE MAP, PANEL 12B141-08B1, DATED 12-01-2018.



ADELE
DESIGNER HOMES
CBC1265918
(904) 238-9799

COMMUNITY:
PELICAN REEF

OWNERS:
TRADITO

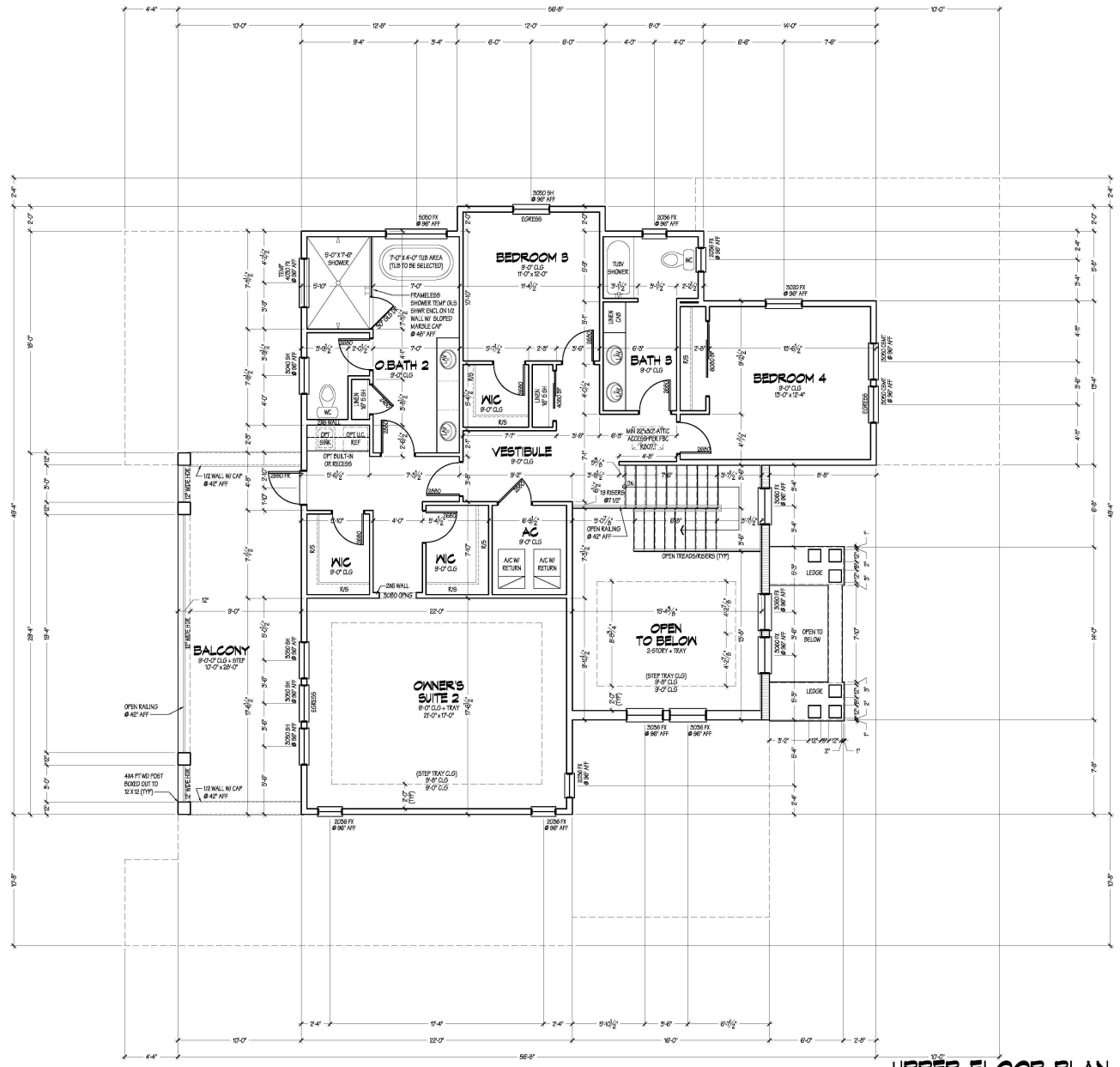
PLAN INFO:
CUSTOM
2 CAR SIDE

NOT FOR CONSTRUCTION

SkyMac Design
Contact: SkyMacDesign.com
1724 Village Way, Suite A
Orange Park, Florida 32067
Phone: 904-778-6886

PROJECT # 24006
DRAWN WELLS
PROJECT WELLS
DATE WELLS
SCALE 1/8"=1'-0" (SEE SHEET)
DATE 10/20/2019

CUSTOM
A1.2



10'-0"
UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"

ISSUE DATE: 10/20/2019
NEW YORK

A
ADELE
DESIGNER HOMES
CBC1265918
(904) 238-9799

COMMUNITY:
PELICAN REEF

OWNERS:
TRADITO

PLAN INFO:
CUSTOM
2 CAR SIDE

NOT FOR CONSTRUCTION

SkyMac
Design
Contact@SkyMacDesign.com
1724 Village Way, Suite A
Orange Park, Florida 32067
Phone: 904.777.4886

PROJECT # 181026
DRAWN: MWL/B
PROJECT MANAGER: MWL/B
CHECKED: MWL/B
UPPER FLOOR PLAN

CUSTOM
A2.2



RIGHT ELEVATION
SCALE: 1/8"=1'-0"



FRONT ELEVATION
SCALE: 1/8"=1'-0"



REVISE DATE: 10/20/2019
NEW YORK

ADELE
DESIGNER HOMES
CBC1265918
(904) 238-9799

COMMUNITY:
PELICAN REEF

OWNERS:
TRADITO

PLAN INFO:
CUSTOM
2 CAR SIDE

NOT FOR CONSTRUCTION

SkyMac Design
Contact@SkyMacDesign.com
1724 Village Way, Suite A
Orange Park, Florida 32067
Phone: 904-371-6886

PROJECT # 201906
OWNER: WELLS
PROJECT NAME: WELLS
DATE: 10/20/19
FRONT & ROOF ELEVATIONS GARAGE RIGHT SIDE

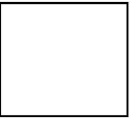
CUSTOM
A4.1



LEFT ELEVATION
SCALE 1/8"=1'-0"



REAR ELEVATION
SCALE 1/8"=1'-0"



A
ADELE
DESIGNER HOMES
CBC1265918
(904) 238-9799

COMMUNITY:
PELICAN REEF

OWNERS:
TRADITO

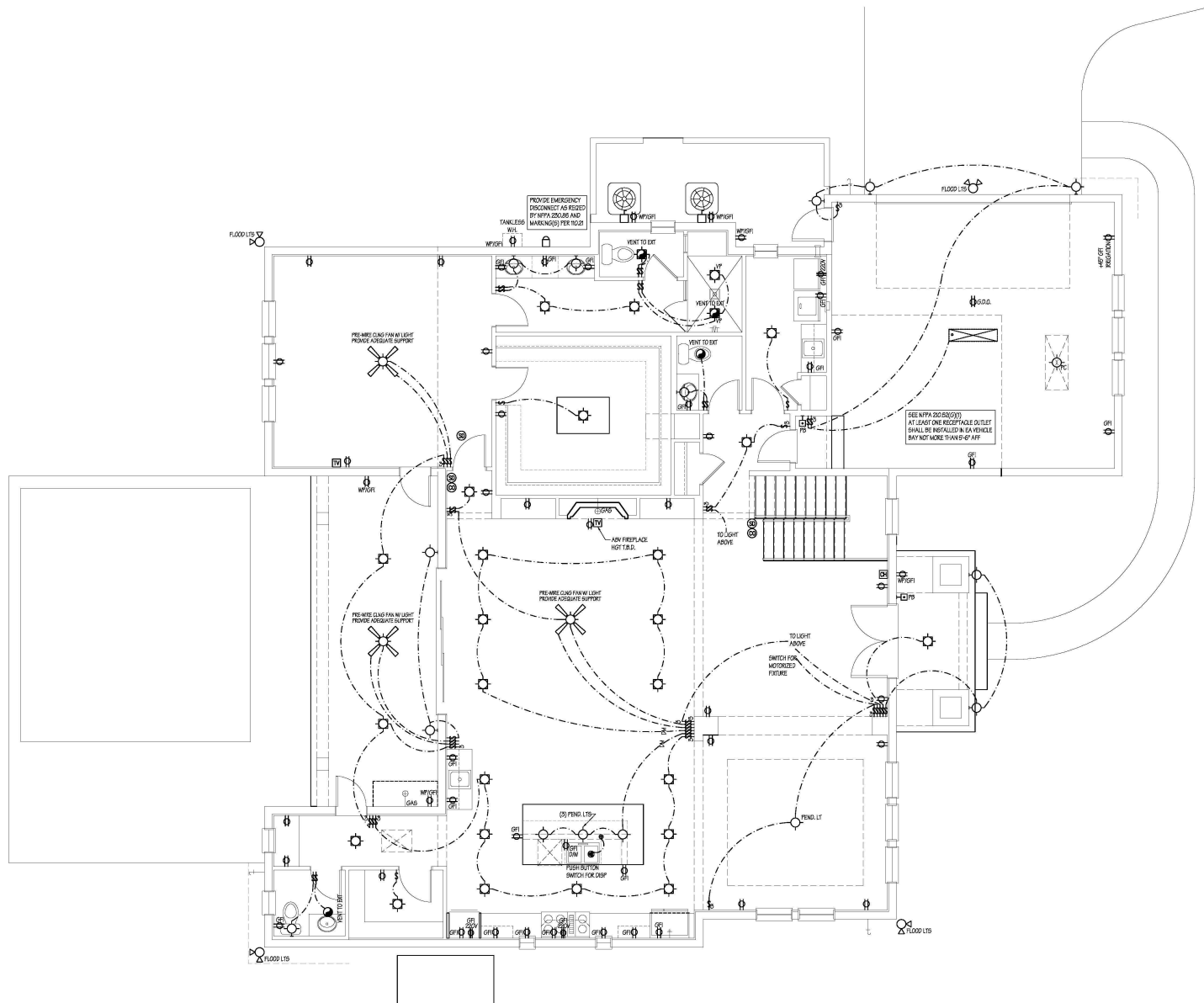
PLAN INFO:
CUSTOM
2 CAR SIDE

NOT FOR CONSTRUCTION

Contact@SkyMacDesign.com
1724 Village Way, Suite A
Orange Park, Florida 32067
Phone: 904-377-6886

PROJECT # 201606
OWNER: WELLS
PROJECT NAME: WELLS
DATE ISSUED: WELLS
TEAM & LEAD ARCHITECTS: ORANGE RIDGE SIDE

CUSTOM
A4.2



- ELECTRICAL KEY**
- DC DUPLEX CONDUIT OUTLET - SEE ITEM 7 BELOW
 - DO DUPLEX OUTLET ABOVE CEILING
 - DO-W WALL-DUPLEX OUTLET ABOVE CEILING
 - DO-GH GROUND-FULLY GROUND INTERRUPTER DUPLEX OUTLET
 - DO-MS MISCELLANEOUS OUTLET ABOVE CEILING
 - DO-SH SHUT-OFF DUPLEX OUTLET
 - DO-SPL SPECIAL PURPOSE OUTLET/JUNCTION BOX
 - DO-IF DUPLEX OUTLET IN FLOOR
 - DO-200V 200V DUPLEX OUTLET
 - DO-200V OVERHEAD DUPLEX
 - SW WALL SWITCH
 - 3-WAY 3-WAY SWITCH
 - 4-WAY 4-WAY SWITCH
 - REC RECESSIVE SWITCH
 - DMX DIMMER SWITCH
 - REINFORCED JUNCTION BOX
 - CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
 - WALL MOUNTED INCANDESCENT LIGHT FIXTURE
 - RECESSIVE INCANDESCENT LIGHT FIXTURE
 - RECESSIVE ADJUSTABLE EXTERNAL INCANDESCENT LIGHT FIXTURE WITH FULL COVER
 - INCANDESCENT LIGHT FIXTURE WITH FULL COVER
 - EMERGENCY LIGHT
 - FLUORESCENT LIGHT FIXTURE WITH FULL COVER
 - FLUORESCENT LIGHT FIXTURE WITH FULL COVER
 - TRAIL LIGHT
 - SHAWL FAN (VENT TO EXTERIOR)
 - SHAWL FAN (VENT TO EXTERIOR) (VENT TO EXTERIOR)
 - CHANG
 - FUSION SWITCH
 - TOX SMOKE DETECTOR IN BATTERY BACKUP
 - CARDEN HANDHELD CO2 EXTINGUISHER
 - TELEPHONE
 - TELEPHONE
 - TELEPHONE
 - TELEPHONE
 - TELEPHONE
 - ELECTRIC PANEL
 - CEILING FAN (PROVIDE ADEQUATE SUPPORT)
 - CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
 - OUTLET FOR GARAGE DOOR OPENER
 - RECONNECT SWITCH

- ELECTRICAL NOTES:**
1. PROVIDE AND INSTALL ALL ELECTRICAL AND MECHANICAL WORK AS SHOWN ON THESE PLANS UNLESS OTHERWISE SPECIFIED.
 2. PROVIDE AND INSTALL ALL ELECTRICAL AND MECHANICAL WORK AS SHOWN ON THESE PLANS UNLESS OTHERWISE SPECIFIED.
 3. PROVIDE AND INSTALL ALL ELECTRICAL AND MECHANICAL WORK AS SHOWN ON THESE PLANS UNLESS OTHERWISE SPECIFIED.
 4. PROVIDE AND INSTALL ALL ELECTRICAL AND MECHANICAL WORK AS SHOWN ON THESE PLANS UNLESS OTHERWISE SPECIFIED.
 5. ALL ELECTRICAL AND MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL MECHANICAL CODE (NMC) AS APPLICABLE.
 6. ALL ELECTRICAL AND MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL MECHANICAL CODE (NMC) AS APPLICABLE.
 7. PROVIDE AND INSTALL ALL ELECTRICAL AND MECHANICAL WORK AS SHOWN ON THESE PLANS UNLESS OTHERWISE SPECIFIED.

ELECTRICAL SYMBOL	MODEL NUMBER/TYPE
DO-DC	40" T.O.
DO-DO	40" T.O.
DO-GH	40" T.O.
DO-MS	40" T.O.
DO-SH	40" T.O.
DO-SPL	40" T.O.
DO-IF	40" T.O.
DO-200V	40" T.O.
SW	40" T.O.
3-WAY	40" T.O.
4-WAY	40" T.O.
REC	40" T.O.
DMX	40" T.O.
REINFORCED JUNCTION BOX	40" T.O.
CEILING MOUNTED INCANDESCENT LIGHT FIXTURE	40" T.O.
WALL MOUNTED INCANDESCENT LIGHT FIXTURE	40" T.O.
RECESSIVE INCANDESCENT LIGHT FIXTURE	40" T.O.
RECESSIVE ADJUSTABLE EXTERNAL INCANDESCENT LIGHT FIXTURE WITH FULL COVER	40" T.O.
INCANDESCENT LIGHT FIXTURE WITH FULL COVER	40" T.O.
EMERGENCY LIGHT	40" T.O.
FLUORESCENT LIGHT FIXTURE WITH FULL COVER	40" T.O.
FLUORESCENT LIGHT FIXTURE WITH FULL COVER	40" T.O.
TRAIL LIGHT	40" T.O.
SHAWL FAN (VENT TO EXTERIOR)	40" T.O.
SHAWL FAN (VENT TO EXTERIOR) (VENT TO EXTERIOR)	40" T.O.
CHANG	40" T.O.
FUSION SWITCH	40" T.O.
TOX SMOKE DETECTOR IN BATTERY BACKUP	40" T.O.
CARDEN HANDHELD CO2 EXTINGUISHER	40" T.O.
TELEPHONE	40" T.O.
TELEPHONE	40" T.O.
TELEPHONE	40" T.O.
TELEPHONE	40" T.O.
ELECTRIC PANEL	40" T.O.
CEILING FAN (PROVIDE ADEQUATE SUPPORT)	40" T.O.
CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)	40" T.O.
OUTLET FOR GARAGE DOOR OPENER	40" T.O.
RECONNECT SWITCH	40" T.O.

MAIN FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

DATE: 10/20/2017
REVISED:

ADELE
DESIGNER HOMES
CBC1265918
(904) 238-9799

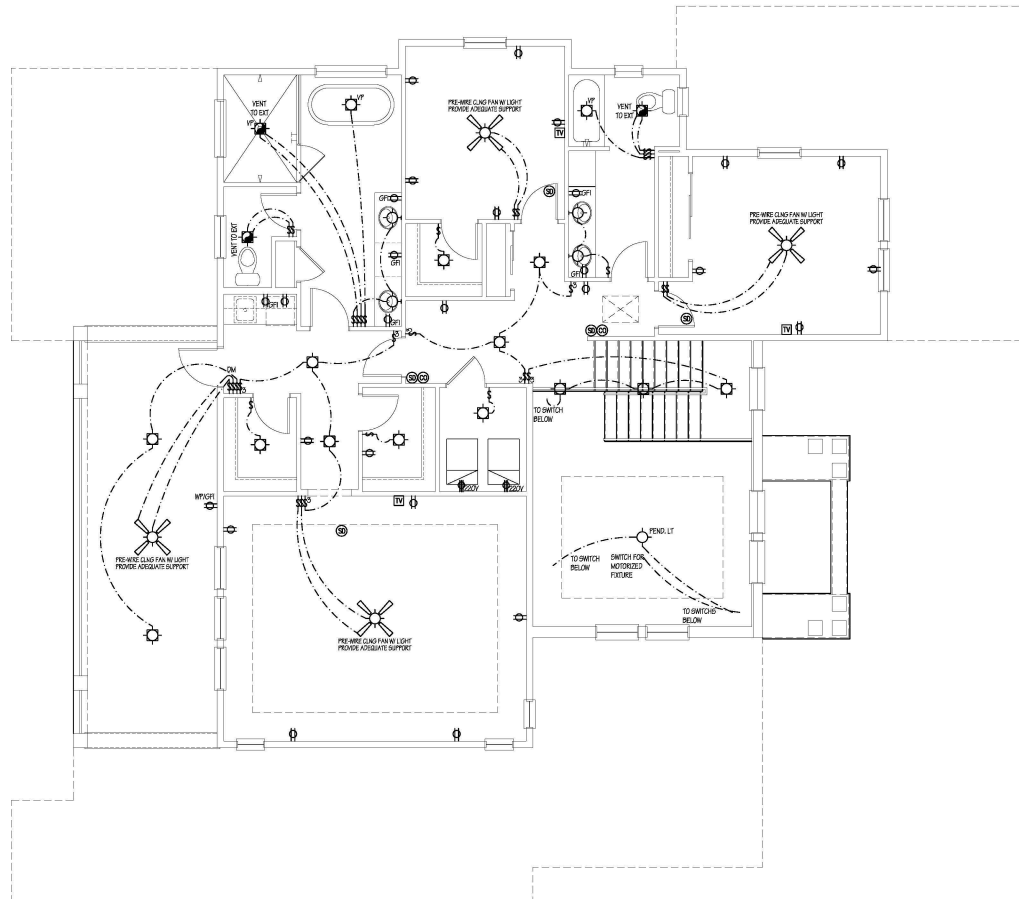
COMMUNITY:
PELICAN REEF

OWNERS:
TRADITO

PLAN INFO:
CUSTOM
2 CAR SIDE

NOT FOR CONSTRUCTION
SkyMac Design
Contact: SkyMacDesign.com
1724 Village Way, Suite A
Orange Park, Florida 32067
Phone: 904.377.4686

PROJECT # 104206
DRAWN: MWL/LS
PROJECT MANAGER: MWL/LS
CHECKED: MWL/LS
MAIN FLOOR: GARAGE RIGHT SIDE
ELECTRICAL PLAN
SHEET # **E1.1**



ELECTRICAL KEY

- ⊕ DUPLEX RECESSED OUTLET *SEE ITEM 7 BELOW
- ⊕ DUPLEX OUTLET ABOVE COUNTER
- ⊕ WAREHOUSE OUTLET OUTLET
- ⊕ GFI GROUND-FULLY CIRCUIT INTERRUPTER
- ⊕ GFI RECESSED OUTLET
- ⊕ GFI RECESSED OUTLET
- ⊕ SPECIAL PURPOSE OUTLET/FUNCTION BOX
- ⊕ DUPLEX OUTLET IN FLOOR
- ⊕ 200V DUPLEX OUTLET
- ⊕ OVERHEAD DUPLEX
- ⊕ WALL SWITCH
- ⊕ THREE-WAY SWITCH
- ⊕ FOUR-WAY SWITCH
- ⊕ RECESSIVE SWITCH
- ⊕ DIMMER SWITCH
- ⊕ REINFORCED JUNCTION BOX
- ⊕ CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊕ WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊕ RECESSED INCANDESCENT LIGHT FIXTURE
- ⊕ RECESSED ADJUSTABLE EYE WALL MOUNTED LIGHT FIXTURE
- ⊕ INCANDESCENT LIGHT FIXTURE WITH FULL COVER
- ⊕ RECESSED LIGHT FIXTURE WITH FULL COVER
- ⊕ RECESSED LIGHT FIXTURE WITH FULL COVER
- ⊕ TRACK LIGHT
- ⊕ SMALL FAN (VENT TO EXTERIOR)
- ⊕ EXTRA FAN LIGHT COMBINATION (VENT TO EXTERIOR)
- ⊕ CHASE
- ⊕ FUSIBLE SWITCH
- ⊕ FID SMOKE DETECTOR IN BATTERY BACKUP
- ⊕ CASHIER HANDS (COP) DETECTOR
- ⊕ DIMMER
- ⊕ SPEAKER
- ⊕ TELEPHONE
- ⊕ COMPUTER
- ⊕ TELEVISION
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC PANEL
- ⊕ CEILING FAN (PROMISE ADEQUATE SUPPORT)
- ⊕ CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROMISE ADEQUATE SUPPORT)
- ⊕ OUTLET FOR GARAGE DOOR OPENER
- ⊕ RECONNECT SWITCH

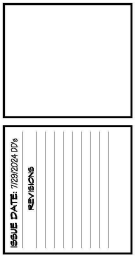
ELECTRICAL NOTES:

1. PROVIDE AND INSTALL ALL ELECTRICAL PANELS, METERS, AND RECESSED OUTLETS AS SHOWN ON THIS PLAN. PROVIDE AND INSTALL ALL ELECTRICAL PANELS, METERS, AND RECESSED OUTLETS AS SHOWN ON THIS PLAN.
2. PROVIDE AND INSTALL ALL ELECTRICAL PANELS, METERS, AND RECESSED OUTLETS AS SHOWN ON THIS PLAN.
3. PROVIDE AND INSTALL ALL ELECTRICAL PANELS, METERS, AND RECESSED OUTLETS AS SHOWN ON THIS PLAN.
4. PROVIDE AND INSTALL ALL ELECTRICAL PANELS, METERS, AND RECESSED OUTLETS AS SHOWN ON THIS PLAN.
5. ALL ELECTRICAL AND MECHANICAL SUPPORT SHALL BE PROVIDED BY THE CONTRACTOR. PROVIDE AND INSTALL ALL ELECTRICAL PANELS, METERS, AND RECESSED OUTLETS AS SHOWN ON THIS PLAN.
6. ALL REPAIRS TO EXISTING ELECTRICAL SYSTEMS SHALL BE MADE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. PROVIDE AND INSTALL ALL ELECTRICAL PANELS, METERS, AND RECESSED OUTLETS AS SHOWN ON THIS PLAN.

ELECTRICAL SYMBOL	QUANTITY	ROOM
⊕	4	KITCHEN
⊕	2	LIVING AREA
⊕	2	DINING AREA
⊕	2	BEDROOM 1
⊕	2	BEDROOM 2
⊕	2	BEDROOM 3
⊕	2	BEDROOM 4
⊕	2	BEDROOM 5
⊕	2	BEDROOM 6
⊕	2	BEDROOM 7
⊕	2	BEDROOM 8
⊕	2	BEDROOM 9
⊕	2	BEDROOM 10
⊕	2	BEDROOM 11
⊕	2	BEDROOM 12
⊕	2	BEDROOM 13
⊕	2	BEDROOM 14
⊕	2	BEDROOM 15
⊕	2	BEDROOM 16
⊕	2	BEDROOM 17
⊕	2	BEDROOM 18
⊕	2	BEDROOM 19
⊕	2	BEDROOM 20
⊕	2	BEDROOM 21
⊕	2	BEDROOM 22
⊕	2	BEDROOM 23
⊕	2	BEDROOM 24
⊕	2	BEDROOM 25
⊕	2	BEDROOM 26
⊕	2	BEDROOM 27
⊕	2	BEDROOM 28
⊕	2	BEDROOM 29
⊕	2	BEDROOM 30
⊕	2	BEDROOM 31
⊕	2	BEDROOM 32
⊕	2	BEDROOM 33
⊕	2	BEDROOM 34
⊕	2	BEDROOM 35
⊕	2	BEDROOM 36
⊕	2	BEDROOM 37
⊕	2	BEDROOM 38
⊕	2	BEDROOM 39
⊕	2	BEDROOM 40
⊕	2	BEDROOM 41
⊕	2	BEDROOM 42
⊕	2	BEDROOM 43
⊕	2	BEDROOM 44
⊕	2	BEDROOM 45
⊕	2	BEDROOM 46
⊕	2	BEDROOM 47
⊕	2	BEDROOM 48
⊕	2	BEDROOM 49
⊕	2	BEDROOM 50

UPPER FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"



ADELE DESIGNER HOMES
 CB1265918
 (904) 238-9799

COMMUNITY:
 PELICAN REEF

OWNERS:
 TRADITO

PLAN INFO:
 CUSTOM
 2 CAR SIDE

NOT FOR CONSTRUCTION

SkyMac Design
 Contact: SkyMacDesign.com
 1724 Village Way, Suite A
 Orange Park, Florida 32073
 Phone: 904.377.4686

PROJECT # 184206
OWNER TRADITO
PROJECT NAME ADELE
DATE 11/15/18
UPPER FLOOR ELECTRICAL PLAN
SHEET # CUSTOM
E1.2



Planning and Zoning Board

Planning Division Staff Report
Planning and Building Department

Public Hearing Date	Agenda Item	Application Number
July 1, 2025	5.d	PZB2025-0045
Request	Address	Parcel ID
Conservation Overlay Zone Development	130 Pelican Reef Drive	158571-4070

Site & Background Information

Applicant & Owner: David Meck

Property Class:
(St. Johns County
Property Appraiser) 0000 – Vacant Residential

**Future Land Use
Designation:** Residential Low Density

Zoning Designation: Residential Single-Family-Two: RS-2

Acreage: 0.49

Neighborhood: South Davis Shores

Archaeological Zone: N/A

Request Summary

This is a request for [Conservation Overlay Zone \(COZ\) development](#) to remove one (1) significant trees for the construction of a single-family home within [COZ 2 & 3](#) at 130 Pelican Reef Drive. Approval of this application would allow for the construction of a single-family home and the removal of eleven (11) trees in total.

Staff Analysis

Consistency with the City of St. Augustine’s Comprehensive Plan 2040

Comprehensive Plan Element	Goal, Policy, or Objective	Staff Analysis
Future Land Use		
Historic Preservation		
Conservation and Coastal Management	<p>CCM Objective 2.6</p> <p>The City shall commit to preservation of community trees and the urban forest to improve air quality, community health, quality of life, aesthetics, and energy conservation.</p>	The removal of a significant tree is inconsistent with Objective 2.6.
Recreation and Open Space		
Transportation and Mobility		
Housing		
Infrastructure		

Review of Applicable City of St. Augustine Code of Ordinances

The request for Conservation Overlay Zone 2 and 3 development includes the construction of a single-family home and associated fill.

The planning and zoning board is [authorized to impose limitations](#) in the nature and manner of construction and/or use so as to avoid damage to adjacent salt marshes and the vegetative communities contained therein, to eliminate any harm to the animal, fish or shellfish contained therein, to avoid blocking or disrupting vistas and scenic opportunities, and to enhance those vistas and scenic opportunities which are determined to benefit the public as a whole.

Staff Analysis of Applicable Criteria (Sec. 11-29(d)(1))

Removal of significant trees shall be [reviewed by the Planning and Zoning Board](#), all significant trees removed shall be replaced in accordance with the requirements of [Chapter 25](#). The planning and zoning board is authorized to impose limitations on the nature and manner of construction and/or so as to avoid alteration of surface water hydrology which would increase the flood hazard potential and to [minimize the impact on existing trees and native vegetation](#). In determining whether or not a permit required by this section should be issued, the PZB shall [consider and base all decisions on the following](#):

- a. The condition of the tree with respect to disease, insect attack, danger of falling, proximity to existing or proposed structures and interferences with utility services.

The applicant is proposing to remove eleven trees in total. The applicant provided an arborist report for the significant Cedar (20-inch dbh) tree. All other trees to be removed are not listed in the arborist report.

The arborist conclusion for the 20-inch Cedar is the following:

“Tree #1, has been assessed under the criteria outlined in Florida Statute 163.045 and Florida Senate Bill 578. Based on field observations and photographic documentation, the tree meets the threshold for hazard designation due to substantial structural compromise and severe decline. The remedial action advised is removal, and removal is recommended in accordance with state provisions and ISA Best Management Practices.”

- b. The necessity of removing a tree to construct proposed improvements in order to allow reasonable economic use of the property.

All of the trees listed for removal are within the footprint of the house, driveway, or pool.

- c. The relief of the land where the tree is located and the effect removal of the tree would have on erosion, soil moisture retention, diversion, increased or decreased flow of surface waters and the city master drainage plan or similar plan adopted by the city commission.

[St. Johns County iMaps](#) shows that the lot slopes to the rear of the property with the front portion being at an elevation around 4.5 feet NAVD88 and the rear dropping to an elevation

around 3 feet NAVD88. The applicant should address erosion with adequate erosion control measures such as silt fencing.

- d. The number and density of trees existing in the neighborhood on improved or unimproved property. The planning and building division shall also be guided by the effect removal of a tree would have on property values in the neighborhood where the property is located and on other vegetation in the neighborhood.

The Pelican Reef subdivision natural vegetation is comprised predominately of cedars, live oaks, and cabbage palms. Each lot in the neighborhood is required to retain or plant 10 cedar trees. The applicant is retaining one (1) cedar tree and planting ten (10) cedar trees for a total of eleven (11) cedar trees.

- e. Whether the tree has been designated a significant tree.
The applicant is proposing to remove eleven trees in total, one of which is a significant Cedar tree with a 20-inch dbh.
- f. Impact upon the urban and natural environment, including:
 - 1. Ground and surface water stabilization.
 - 2. Water quality and aquifer recharge.
 - 3. Ecological impacts.
 - 4. Noise pollution.
 - 5. Air movement.
 - 6. Air quality.
 - 7. Wildlife habitat.

The applicant is retaining eleven (11) trees including one significant cedar tree. The applicant is required to plant nine (9) more cedar trees which should help mitigate impacts to the urban and natural environment.

- g. The ease with which the property owner or agent can alter or revise the proposed development or improvements to accommodate existing trees, including the trees proposed to be removed.
The significant cedar tree is listed in the arborist report as hazardous and within the footprint of pool. This tree is not a good candidate for accommodation.

Pelican Reef Requirements for 10 Cedar Trees

All lots within Pelican Reef are required to plant or retain ten (10) cedar trees. The applicant's tree mitigation plan proposes to retain one (1) cedar trees and plant ten (10) giving them a total of (11) cedar trees which exceeds the requirements for this community.

Compliance with Chapter 25

COSA Code of Ordinances Section 25-53(d) states that the preservation and removal of trees on a site may require tree mitigation if a positive number of tree credits is not achieved. The applicant's tree mitigation plan gives a positive number of tree credits with a surplus of 24.5 credits and is **consistent** with the requirements of Chapter 25. The applicant is also proposing additional trees which are not included in the staff calculations.

Trees Removed			Trees Retained			Trees Planted			
Type (dbh)	Size Range	Deficit	Type (dbh)	Size Range	Credit	QTY	Type (dbh)	Size Range	Credit
Cedar (20)	20+ dbh	2	Cedar (20)	20+ dbh	4	10	Cedar	2+ dbh	10
Palm (16)	12+ dbh	1.5	Palm (8)	7+ dbh	2				
Palm (16)	12+ dbh	1.5	Palm (11)	7+ dbh	2				
Palm (14)	12+ dbh	1.5	Palm (8)	7+ dbh	2				
Palm (14)	12+ dbh	1.5	Palm (18)	12+ dbh	3				
Palm (14)	12+ dbh	1.5	Palm (20)	20+ dbh	4				
Palm (10)	7+ dbh	1	Palm (9)	7+ dbh	2				
Palm (12)	12+ dbh	1.5	Palm (8)	7+ dbh	2				
Palm (15)	12+ dbh	1.5	Palm (22)	20+ dbh	4				
Palm (16)	12+ dbh	1.5	Palm (13)	12+ dbh	3				
Palm Codom. (10, 10)	12+ dbh	1.5	Palm (14)	12+ dbh	3				
Deficits		16.5	Retaining Credits		31	Planting Credits		10	
							Total Credits	24.5	

Significant trees are in **BOLD**

Staff Recommendation

Review of Section 11-29 is the responsibility of the Planning and Zoning Board for the proposed development within Conservation Overlay Zone 2 and 3. This application is for the removal of a significant trees at 130 Pelican Reef Drive / PID 158571-4070.

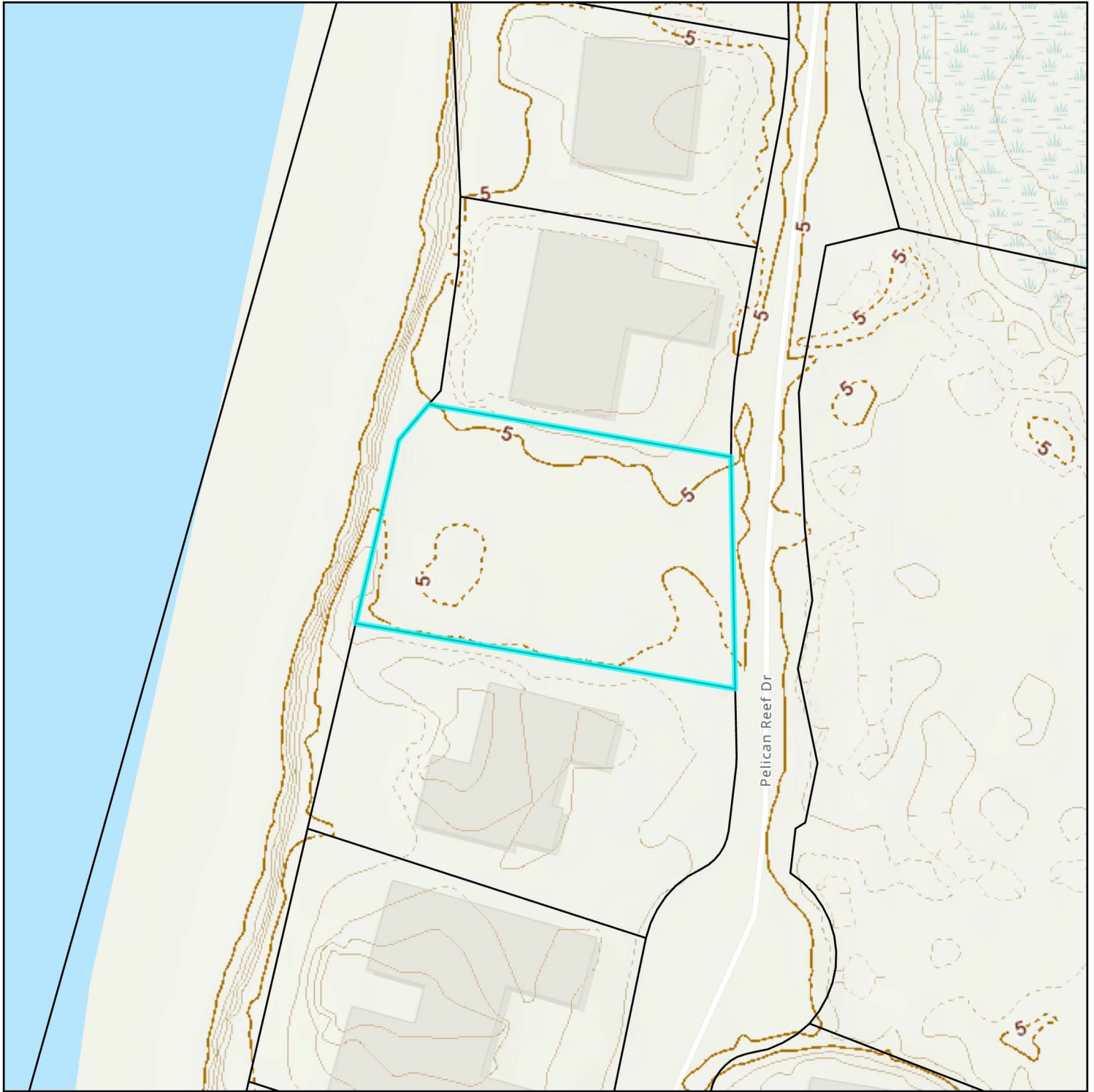
Attachments

1. Site Map & Photos
2. Application
3. Tree Plan
4. Arborist Report
5. St. Johns County Property Appraiser Report
6. Pelican Reef Cedar Tree Requirements

Staff Report prepared by:

Sarah Daugherty
Senior Planner
Planning and Building Department

**Attachment 1:
Site Maps
and Photos**



Elevation Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

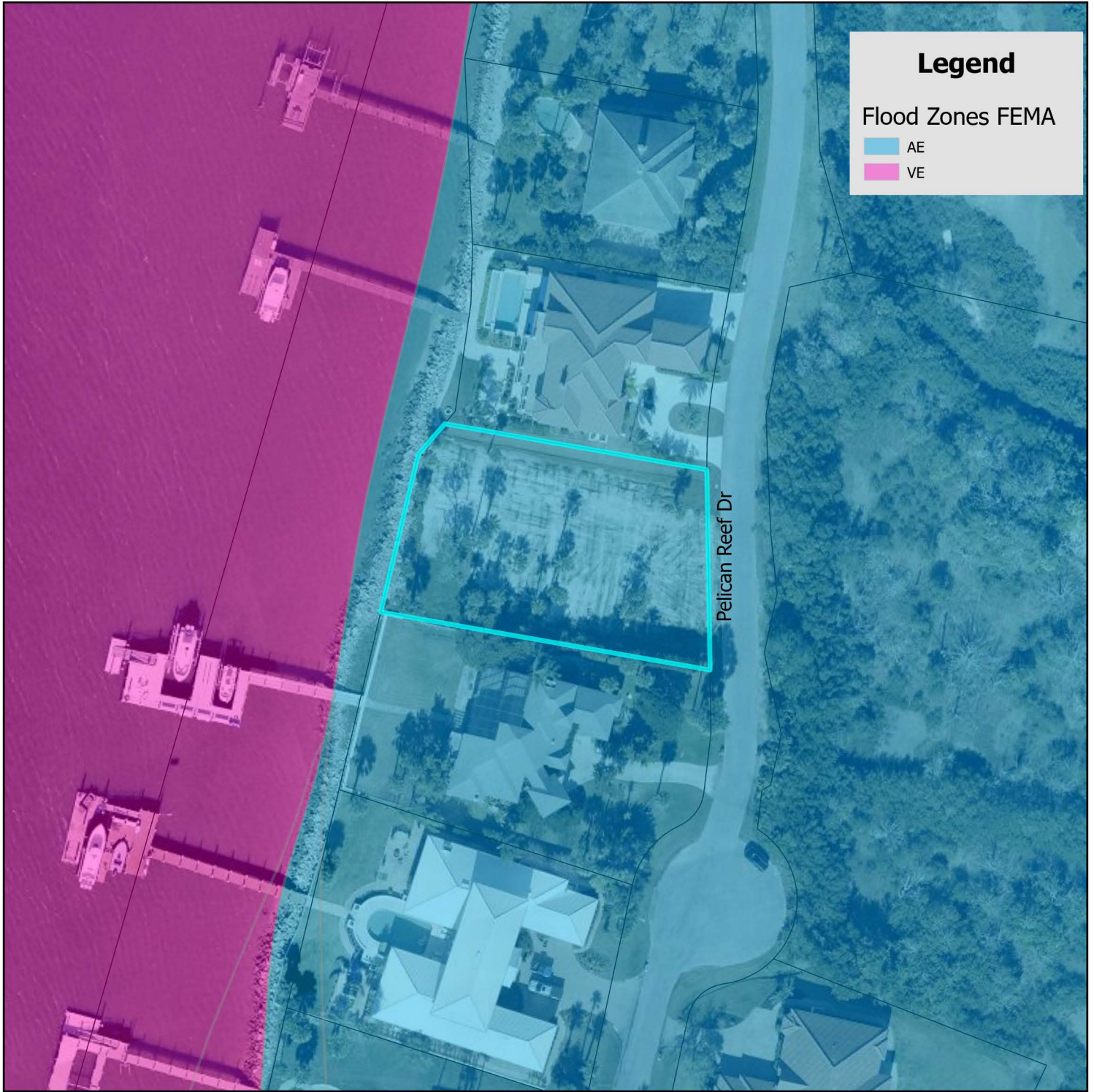
DISCLAIMER
 This map is for reference only. Data provided are derived from multiple sources with varying levels of accuracy. The City of St. Augustine disclaims all responsibility for the accuracy or completeness of the data shown hereon.

2025

0 0.01 0.01 Miles

0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Legend

Flood Zones FEMA

- AE
- VE



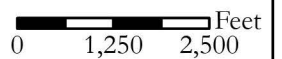
FEMA Flood Zone Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
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2025



Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



St. Johns County Property Appraiser Use Classification Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

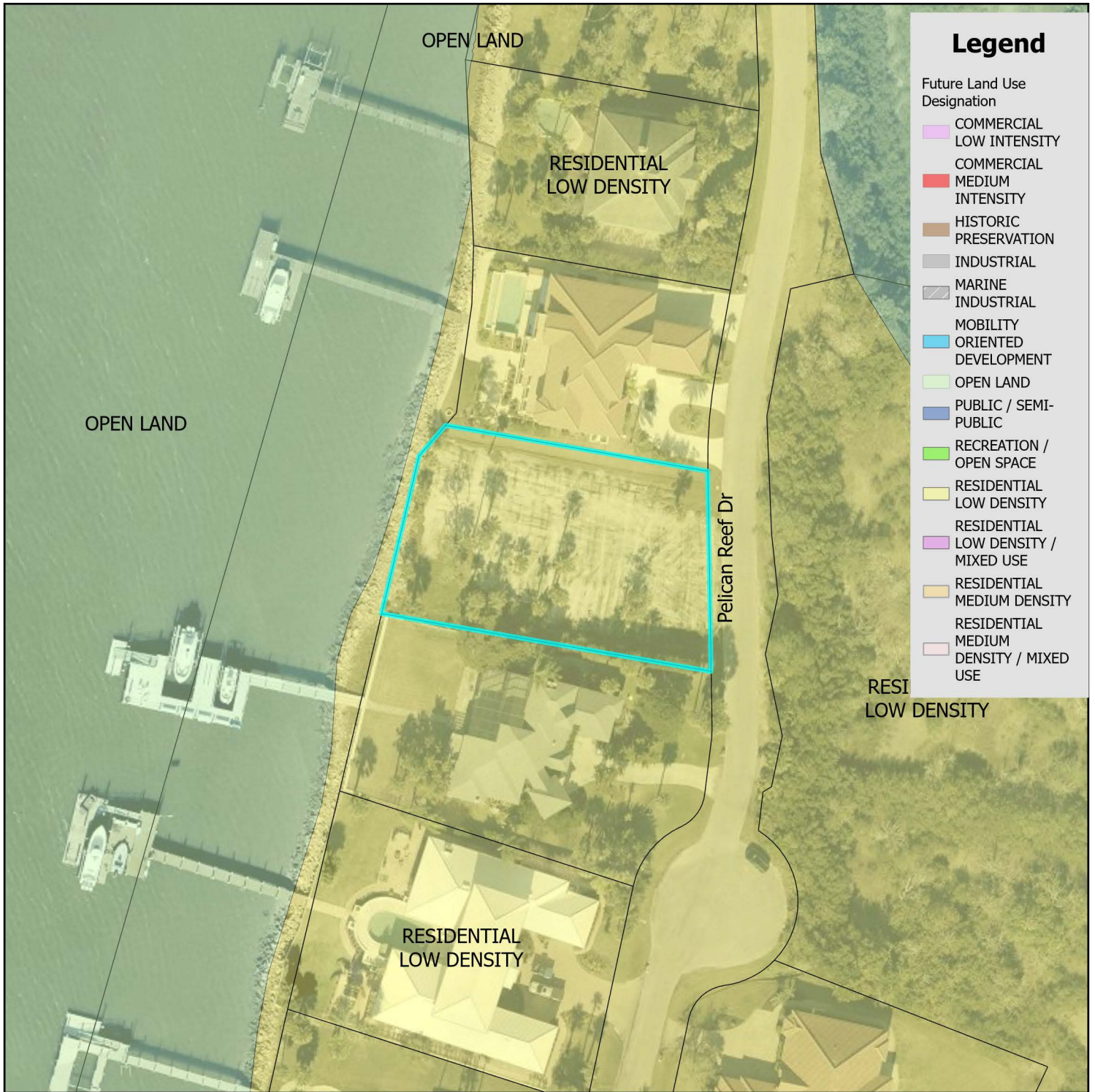
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2025

0 0.01 0.01 Miles

0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



- ### Legend
- Future Land Use Designation
- COMMERCIAL LOW INTENSITY
 - COMMERCIAL MEDIUM INTENSITY
 - HISTORIC PRESERVATION
 - INDUSTRIAL
 - MARINE INDUSTRIAL
 - MOBILITY ORIENTED DEVELOPMENT
 - OPEN LAND
 - PUBLIC / SEMI-PUBLIC
 - RECREATION / OPEN SPACE
 - RESIDENTIAL LOW DENSITY
 - RESIDENTIAL LOW DENSITY / MIXED USE
 - RESIDENTIAL MEDIUM DENSITY
 - RESIDENTIAL MEDIUM DENSITY / MIXED USE

OPEN LAND

OPEN LAND

RESIDENTIAL LOW DENSITY

Pelican Reef Dr

RESIDENTIAL LOW DENSITY

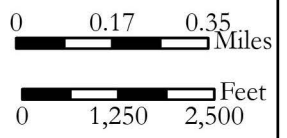
RESIDENTIAL LOW DENSITY



Future Land Use Map



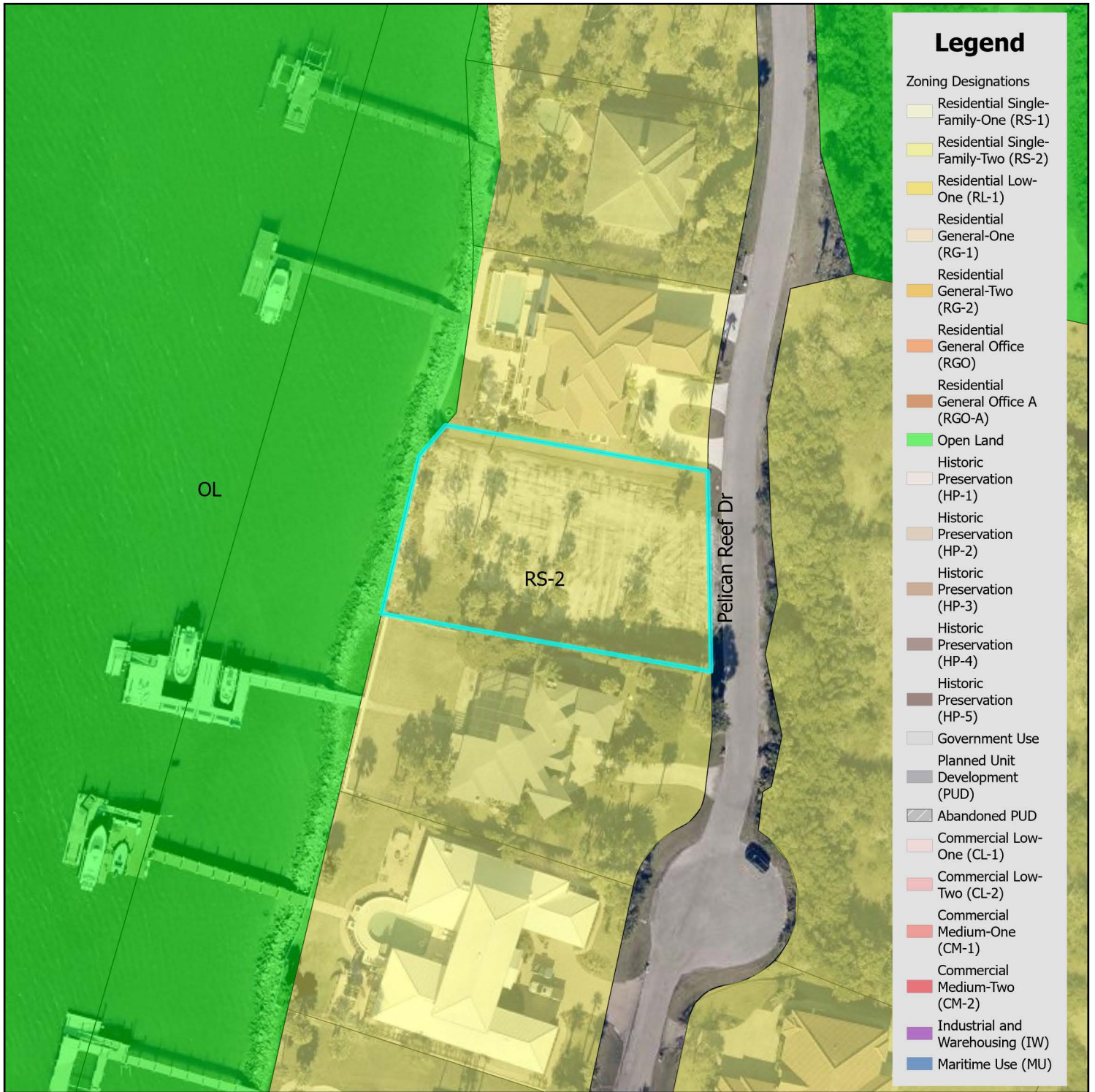
2025



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

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Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Zoning Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

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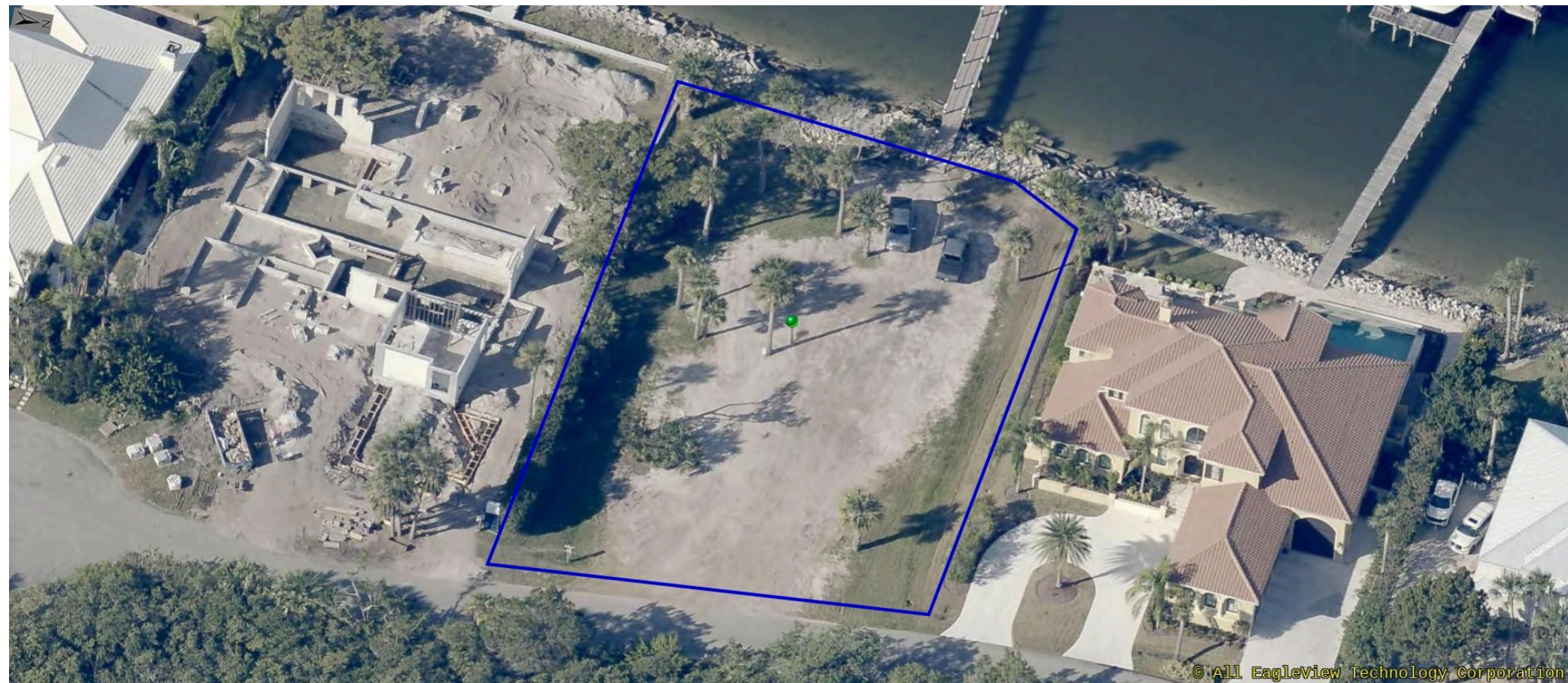
2025

0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

Pelican Reef Drive / PID 158571-4070



12/08/2024

Attachment 2: Application



**CITY OF ST AUGUSTINE
APPLICATION TO PLANNING AND ZONING BOARD**

Application Fee: _____ (plus advertising costs) Project Number: _____
 Receipt Number: _____ Meeting Date: _____
 Advertising Costs: \$ _____ Paid On: _____ Receipt Number: _____

1. NAME OF APPLICANT: David Meck Contact Number: 310-567-9678
 Business (if applicable): _____
 Address: 113 Gaillardia Loop City: St Augustine State: FL Zip: 32080
 E-Mail Address: dmeck@nationsbus.com

2. NAME OF PROPERTY OWNER: David Meck Contact Number: 310-567-9678
 Business (if applicable): _____
 Address: 113 Gaillardia Loop City: St Augustine State: FL Zip: 32080
 E-Mail Address: dmeck@nationsbus.com

3. LEGAL DESCRIPTION OF PROJECT PROPERTY:
 Lot: 7 Block: 4
 Subdivision: Pelican Reef Parcel Number: 1585714070

4. PROJECT STREET ADDRESS: 130 Pelican Reef Dr.

5. SPECIFIC PROPOSED USE: new single family

6. ACTION REQUESTED:
 Conservation Zone Development Appeal of Staff Determination
 Exception Land Use Plan Amendment
 Variance Rezoning
 Other: tree removal

7. DESCRIPTION OF ACTION REQUESTED: removal of one 20" cedar tree

8. JUSTIFICATION FOR ACTION REQUESTED: it falls inside footprint of new home.

9. IF APPLYING FOR A VARIANCE, PLEASE COMPLETE THE FOLLOWING AND EXPLAIN THE SITUATION FULLY ALONG WITH PROVIDING DOCUMENTATION:

- (a) Does the property because of size, shape, topography or other physical conditions, suffer singular disadvantage, which disadvantage does not apply to other properties in the vicinity: _____

- (b) Can you establish that this disadvantage causes the owner to be unable to make reasonable use of the affected property: _____

- (c) Can you establish that this disadvantage does not exist because of conditions created by the owner or applicant: _____

- (d) Can you establish that granting of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this Section: _____

10. PREVIOUS APPPLICATIONS:

Has any application been submitted to the Planning & Zoning Board concerning any part of the subject property within the past year?

Yes No If yes, please give date and final disposition below.

11. AGREEMENT:

In filing this application, I understand that it becomes a part of Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

Application must be signed by both applicant and property owner if different. Letter of authorization must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of either property owner or applicant.

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

IMPORTANT NOTICE: When the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the Board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the Board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the Code.

	5-6-25
Signature of Applicant	Date
	5-6-25
Signature of Property Owner	Date



**CITY OF ST. AUGUSTINE
DEVELOPMENT PERMIT APPLICANT WAIVER**

The applicant acknowledges and agrees to waive the limitation of three requests for additional information by the City of St. Augustine, pursuant to Chapter 166.033, Florida Statutes.

The applicant acknowledges and agrees that the City offers weekly Friday Review development review meetings, as well as, department specific applicant meetings with its reviewing staff at any point in the application process to attempt to resolve outstanding issues. The applicant is responsible for scheduling any requested meetings with City staff directly.

The applicant acknowledges and agrees that if after three unresolved submittals the applicant elects to proceed with final approval or denial proceedings, the applicant must request so in writing to the City.

David Meck

Print name of applicant



Signature of applicant

5-6-25

Date



Owner's Authorization For Agent

Matthew Conner is/are hereby authorized TO ACT ON BEHALF OF David Meck, the owner(s) of those lands described within the attached application, or described within the previously filed Application number: _____, and as described in the attached deed or other such proof of ownership as may be required, in applying to the City of St. Augustine's Planning & Zoning Board, located at:

BY: [Signature]
Signature of Owner
David Meck
Print Name of Owner
310-567-9678
Telephone Number

State of Florida

County of St. Johns

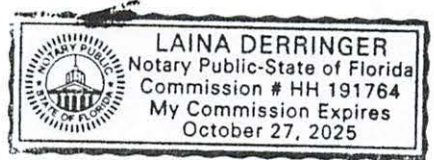
Signed and sworn before me on this 6 day of May, 2025

By David Meck

Identification verified: yes
Oath sworn: Yes No

Notary Signature: [Signature]

My Commission expires: October 27, 2025



PZB APPLICATION FEE SCHEDULE

Planning and Zoning Board fees are set by Resolution 2021-38 as follows:

Description of Work	Fee Amount
Rezoning: small scale	\$300.00 + ads & notices
Rezoning: large scale	\$1,000.00 + ads & notices
Land Use Plan Amendment: small scale	\$400.00 + ads & notices
Land Use Plan Amendment: large scale	\$1,400.00 + ads & notices
Planned Unit Development	\$400.00 or \$35.00/acre, whichever is greater, \$1,400 max + ads & notices
Zoning Variance	\$350.00 + ads & notices
Zoning Exception	\$250.00 + ads & notices
Conservation Overlay Zone Development	\$165.00 + ads & notices
Significant Tree Removal or Appeal of Tree Removal Permit Denial	\$165.00 + ads & notices
Appeal of Staff Determination	\$200.00 + ads & notices
Application to Amend Zoning Code	\$600.00 + ads & notices
Subdivision Plat Review	\$275.00 + ads, notices & additional associated costs

"Note: The cost of newspaper advertisement and all notices to surrounding property owners will be assessed by the city, paid by the city and reimbursed by the applicant. All advertising costs must be paid prior to issuance of a development permit.

The applicant shall reimburse the City the mailing cost for all notices and for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing."

If a Credit Card Authorization Form is used for the payment of fees, the City will maintain the form and automatically charge additional advertising and noticing fees, once determined, to the credit-card account submitted.

By signing below, I acknowledge responsibility for both the initial application fee and any subsequent costs associated with legal advertising and/or noticing and understand that permits associated with my application may not be issued until such fees are paid.

I authorize the Planning and Building Department to maintain my payment information until a final cost for advertising and/or noticing is determined and charged. If a payment method other than Credit Card Authorization Form is used, I understand that I will be sent an invoice for the costs of advertising/noticing which must be paid prior to the issuance of any development permit related to my application. I am aware that I can request a copy of these fees and my receipt from Building Department Staff.

Project Address: 130 Pelican Reef Dr. St Augustine, FL 32080

Applicant's Name: David Meek Applicant's Signature: 

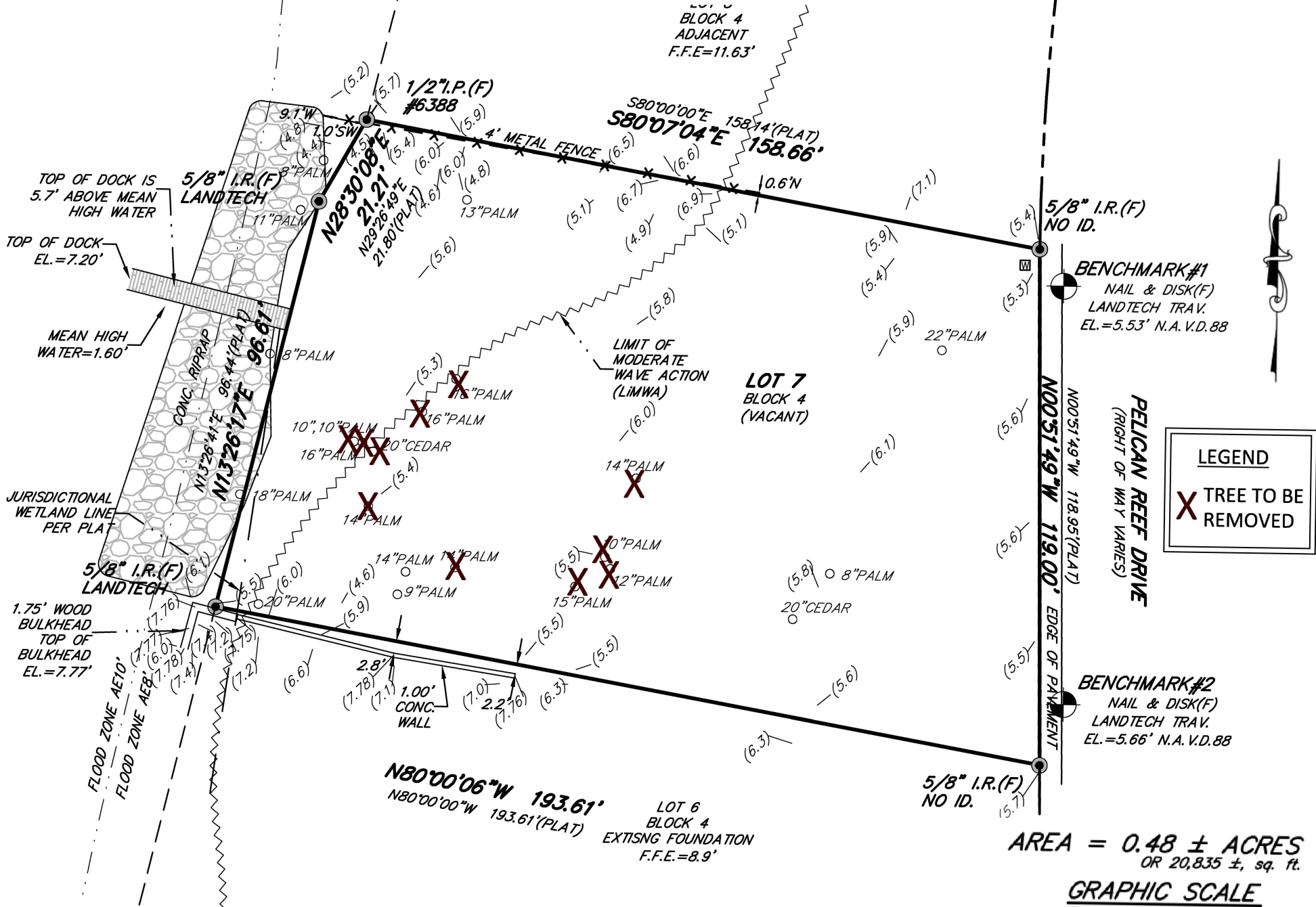
Owner's Name: David Meek Owner's Signature: 

Attachment 3:

Tree Plan

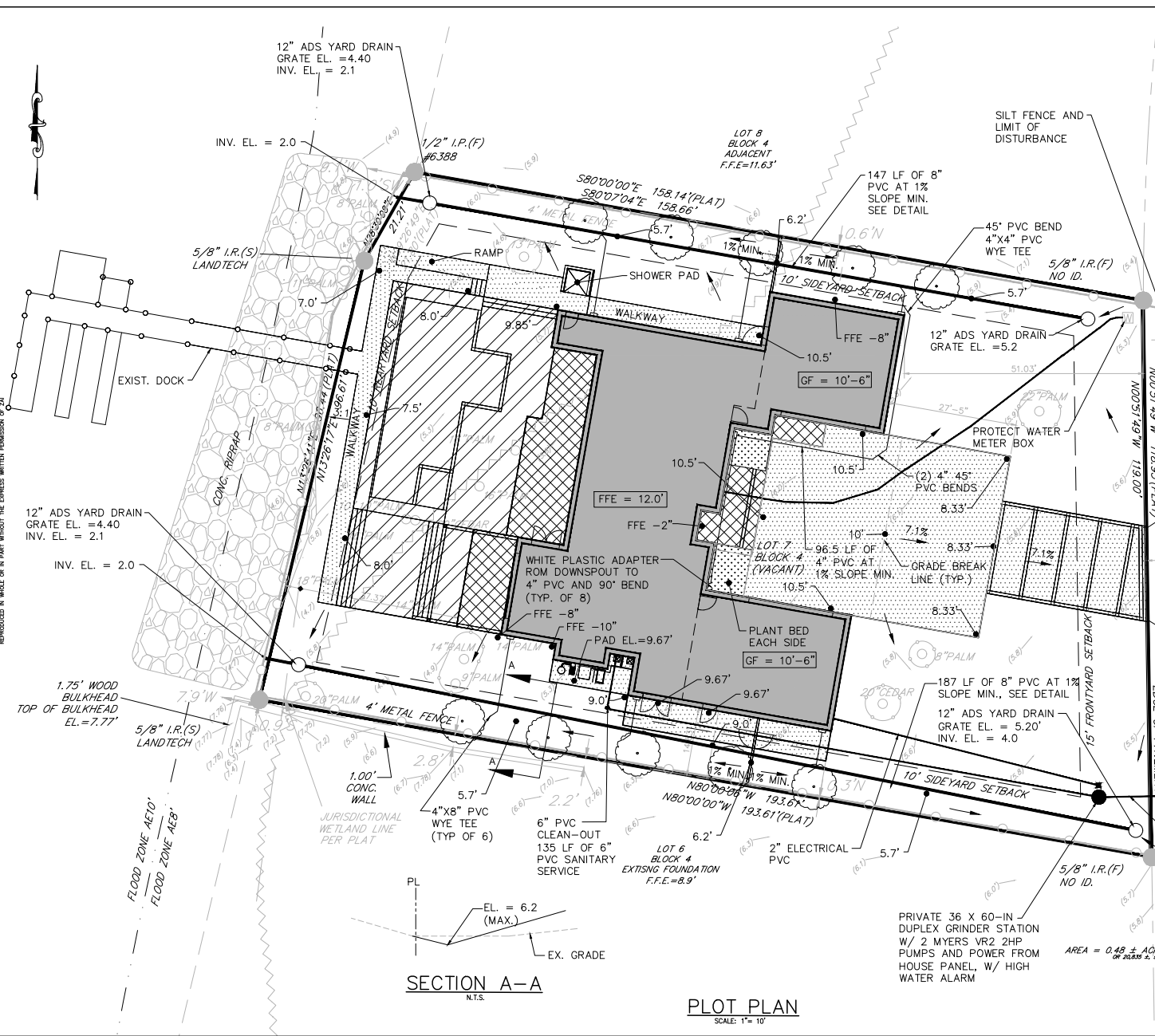
TREE REMOVAL PLAN

5/14/2025



JOSEPH SCHOFIELD
 PE 69219

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE UNIFORM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 435, FLORIDA STATUTES. ALL REPORTS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, AND OTHER DOCUMENTATION PREPARED BY ZIM ARCHITECTURE AND INTERIORS, INC. (ZAI) AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF ZAI. ZAI SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT HEREIN. THIS REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZAI.



1. THIS PLAN HAS BEEN PREPARED BASED ON REFERENCED INCLUDING A SURVEY BY NICHOLAS H. FRANKLIN, DATED JUNE 6, 2024.
2. OWNER: DAVID A. MECK AND NICOLE E. MECK
130 PELICAN REEF DRIVE
ST. AUGUSTINE, FL 32080
3. APPLICANT: DAVID A. MECK AND NICOLE E. MECK
130 PELICAN REEF DRIVE
ST. AUGUSTINE, FL 32080
4. PROPERTY DATA: PARCEL ID : 00-00-XX-XXXX-XXXX-XXXX
ANASTASIA ISLAND, ST. JOHNS COUNTY, FL
5. ZONING: RS-2 (RESIDENTIAL - SINGLE FAMILY TWO) DISTRICT
PROPOSED USE:
6. INSTALL 10 SOUTHERN RED CEDAR TREES EVENLY SPACED ALONG THE NORTH AND SOUTH PROPERTY LINES. MAINTAIN FLOW LINE ALONG SIDE YARD SWALES.
7. BULK TABLE

ZONE REQUIREMENT	REQUIRED	PROPOSED
MIN. LOT AREA	5,450 SF	20,835 SF
MIN. LOT WIDTH	50'	118.95'
MIN. FRONT YARD	15'	51.03'
MIN. SIDE YARD	10'	12.02'
MIN. REAR YARD	10'	32.37'
MAX. BLDG. HEIGHT	35'	35'
MAX. LOT COVERAGE	40%	4.221 SF

8. TREE PROTECTION BARRICADES TO BE INSTALLED AT A DISTANCE OF THREE (3) TIMES THE DIAMETER OF THE TREE. MINIMUM RADIUS IS 5.6'.

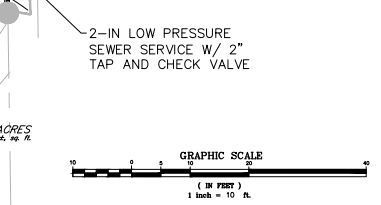
BENCHMARK #1
 NAIL & DISK(F)
 LANDTECH TRAV.
 EL. = 5.53' N.A. V.D. 88

- BUILDING PAD
- IMPERVIOUS SIDEWALK, CONCRETE PADS, AND ONSITE DRIVEWAY
- POOL AND POOL DECK
- COVERED PATIO

- FLOW ARROW
- SILT FENCE
- SOUTHERN RED CEDAR TREE
- TREE BARRICADE PER CITY REQUIREMENTS

117 SF CONCRETE DRIVEWAY APRON
BENCHMARK #2
 NAIL & DISK(F)
 LANDTECH TRAV.
 EL. = 5.66' N.A. V.D. 88

2-IN LOW PRESSURE SEWER SERVICE W/ 2" TAP AND CHECK VALVE



ZIM ARCHITECTURE + INTERIORS
 1022 palm street #407
 Jacksonville, FL 32209
 Tel: 904.353.3333
 info@zimarch.com

JOSEPH SCHOFIELD
 FL. P.E. #9219

DATE: 5/9/2025
 MECK RESIDENCE
 130 PELICAN REEF DR. ST.
 AUGUSTINE, FL 32080

ISSUE: 3
 DRAWING: SITE PLAN

ALL REPORTS, SPECIFICATIONS, CONTRACTS, AND OTHER DOCUMENTS AND INFORMATION PREPARED BY THIS ARCHITECTURE FIRM SHALL BE THE PROPERTY OF THE ARCHITECTURE FIRM AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTURE FIRM.

BUILDING CODE SUMMARY

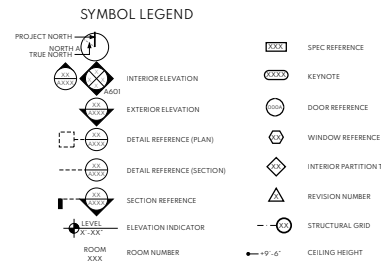
PROJECT LOCATION: THIS IS A NEW GROUND-UP 2 STORY SINGLE FAMILY RESIDENCE
APPLICABLE CODES: FLORIDA BUILDING CODE 8TH EDITION (2023), RESIDENTIAL (BCR) WITH SUPPLEMENTS
NATIONAL ELECTRICAL CODE, 2020 (NEC)
FLORIDA FIRE PREVENTION CODE, 2020 (FFPC) (7TH EDITION)
FLORIDA BUILDING CODE, RESIDENTIAL
TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 633, FLORIDA STATUTES.

SECTION R303 LIGHT, VENTILATION AND HEATING
R303.1 HABITABLE ROOMS: HABITABLE ROOMS (LIVING ROOMS, DINING ROOMS, KITCHENS, AND BEDROOMS) SHALL HAVE WINDOWS WITH GLAZED AREAS GREATER THAN 8% OF THE ROOM AREA OR SHALL HAVE LIGHTING SUFFICIENT TO PROVIDE 1 FOOT CANDLE MINIMUM ILLUMINATION 30" AFF WITH A WINKLE RAY MECHANICAL VENTILATION SYSTEM.
R303.3 BATHROOMS: BATHROOMS SHALL HAVE WINDOWS WITH MINIMUM GLAZED AREA OF 3 SF, 1/2 OF WHICH SHALL BE OPENABLE OR ARTIFICIAL LIGHT AND MECHANICAL VENTILATION PER MISJO SHALL BE PROVIDED.
R303.5 OUTSIDE OPENING PROTECTION: EXHAUST OPENINGS SHALL BE PROTECTED WITH SCREENS OR GRILLES HAVING 1/2" MAX. OPENINGS IN ANY DIRECTION.
R303.5.2 EXHAUST OPENINGS: EXHAUST AIR SHALL NOT BE DIRECTED OUT WALKWAYS.
SECTION R304 MINIMUM ROOM AREAS
R304.1 HABITABLE ROOMS EXCEED 70 SF; EXCEPTION: KITCHENS
R304.2 HABITABLE ROOMS SHALL NOT BE LESS THAN 7 FEET IN ANY HORIZONTAL DIMENSION; EXCEPTION: KITCHENS
R304.3 PORTIONS OF A ROOM WITH A SLOPING CEILING MEASURING LESS THAN 5 FEET (1524 MM) OR A FURRED CEILING MEASURING LESS THAN 7 FEET (2134 MM) FROM THE FINISHED FLOOR TO THE FINISHED CEILING SHALL NOT BE CONSIDERED AS CONTRIBUTING TO THE MINIMUM REQUIRED HABITABLE AREA FOR THAT ROOM.
SECTION R305 CEILING HEIGHT
R305.1 MINIMUM HEIGHT: ALL CEILINGS EXCEED 7 FEET IN HEIGHT
SECTION R307 TOILET, BATH AND SHOWER SPACES
R307.2 BATH TUB AND SHOWER SPACES: WALLS ABOVE THE BATH TUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH AN ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 4 FEET ABOVE THE FLOOR.
SECTION R310 EMERGENCY ESCAPE AND RESCUE OPENINGS
SLEEPING ROOMS AND HABITABLE ATTICS SHALL HAVE DOORS OR WINDOWS MEETING THE FOLLOWING REQUIREMENTS
MAXIMUM SHILL HEIGHT: 44 INCHES AFF
MINIMUM OPENING AREA: 5.7 SF
MINIMUM OPENING HEIGHT: 20 INCHES
MINIMUM OPENING WIDTH: 20 INCHES
R310.1 OPERATIONAL CONSTRAINTS: THE EMERGENCY ESCAPE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE.
SECTION R311 MEANS OF EGRESS
R311.2 AT LEAST ONE SIDE-HINGED EGRESS DOOR IS PROVIDED, HAVING A CLEAR WIDTH OF 32" AND A CLEAR HEIGHT OF 78". EGRESS DOORS ARE READILY OPENABLE FROM THE INSIDE IF THE DWELLING UNIT WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
R311.3 A FLORIDA OR LANDINGS ON EACH SIDE OF EACH EXTERIOR DOOR IS PROVIDED, HAVING A CLEAR WIDTH NOT LESS THAN THE CLEAR WIDTH AND A DIMENSION OF NOT LESS THAN 36" IN THE DIRECTION OF TRAVEL.
R311.4 HALLWAYS ARE AT LEAST 3 FEET WIDE
SECTION R314 SMOKE ALARMS
R314.3 SMOKE/CO COMBO DETECTORS ARE PROVIDED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY. SMOKE/CO DETECTORS SHALL NOT BE INSTALLED WITHIN 1 FEET OF BATHROOMS CONTAINING A BATH TUB OR SHOWER. CO DETECTORS SHALL BE INSTALLED WITHIN 10 FEET OF SLEEPING AREAS.

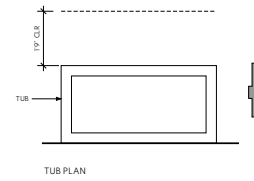
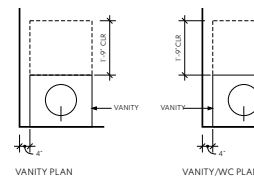
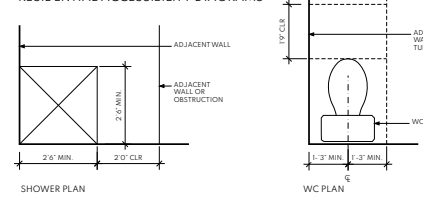
GENERAL NOTES:

- 1. DO NOT SCALE DRAWINGS. THE DRAWINGS HEREIN ARE GRAPHICAL REPRESENTATIONS AND ONLY DIMENSIONED LENGTHS SHOULD BE REFERENCED FOR ESTIMATING PURPOSES. CONTACT ARCHITECT FOR HELP WITH ESTIMATING UN-DIMENSIONED LENGTHS. ALL DIMENSIONS SHOULD BE STAKED OUT PRIOR TO STARTING CONSTRUCTION.
- 2. IF THE CONTRACTOR DISCOVERS DISCREPANCIES BETWEEN DRAWINGS AND THE CONDITIONS FOUND ON-SITE, CONSULTING INFORMATION BETWEEN DRAWINGS, AND/OR CONFLICTING INFORMATION BETWEEN DRAWINGS OF THE VARIOUS DISCIPLINES, THE CONTRACTOR SHALL IMMEDIATELY CONSULT THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK. SHOULD THE CONTRACTOR PROCEED WITH WORK BASED ON ASSUMED INFO: CONFLICTING INFORMATION, AND/OR INCOMPLETE INFORMATION, HE/SHOULD DO SO AT HIS/HER OWN RISK AND MAY BE HELD LIABLE FOR BOTH THE UNIMPROVED WORK AND ANY WORK TO RESTORE CONDITIONS TO THEIR ORIGINAL STATE.
- 3. THESE DRAWINGS ARE BASED ON THE REASONABLY AVAILABLE INFORMATION AND READILY USABLE CONDITIONS AT THE TIME OF THE ARCHITECT'S SURVEY AND/OR BEGINNING OF THE ARCHITECT'S WORK. THE CONTRACTOR IMMEDIATELY CONSULT THE ARCHITECT IF, UPON REMOVING EXISTING ELEMENTS, STRUCTURES, EQUIPMENT, AND/OR ASSEMBLIES, UNDOCUMENTED CONDITIONS ARE DISCOVERED.
- 4. MECHANICAL DUCT SIZING, VENT SIZING AND QUANTITY PER HVAC ENGINEER OR SUB CONTRACTOR. DESIGN SHOWN INDICATES INTENT TO ALIGN DIFFUSERS, NOT SYSTEM DESIGN. SYSTEM TO BE DESIGNED BY ENGINEER OR QUALIFIED INSTALLER. CONSULT ARCHITECT IF NUMBER OF DIFFUSERS Varies FROM NUMBERS SHOWN. TYP.
- 5. CONTRACTOR SHALL PROVIDE SUBMITTALS, SHOP DRAWINGS, AND MATERIAL SAMPLES TO ARCHITECT AND/OR OWNER FOR ALL ITEMS INCLUDED IN THE SECTIONS TO GO. MATERIAL SAMPLES SHALL BE PROVIDED IN DUPLICATE. A COLORING SAMPLE TO BE MAINTAINED BY THE ARCHITECT AND/OR OWNER FOR POST-INSTALLATION COMPARISON.

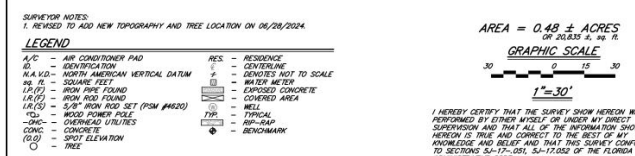
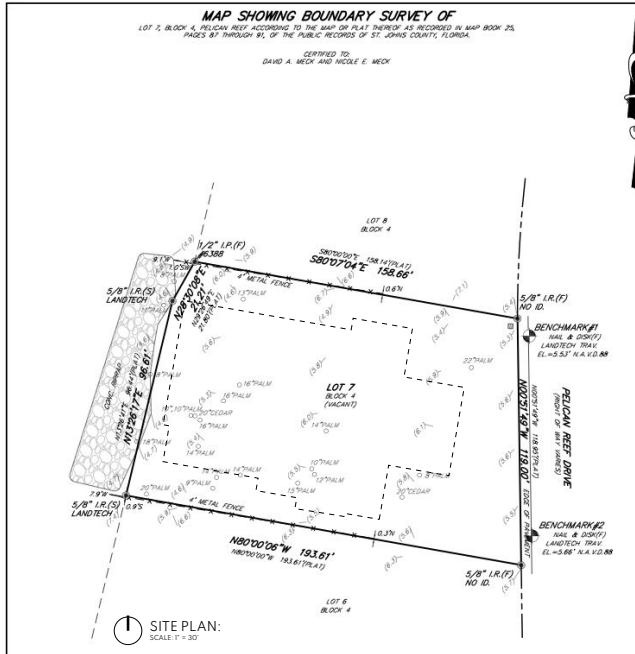
- REQUIRED SECTIONS INCLUDE THE FOLLOWING:
 - DIVISION 03 - CONCRETE
 - DIVISION 04 - MASONRY
 - DIVISION 05 - METALS
 - DIVISION 06 - WOOD, PLASTICS, AND COMPOSITES
 - DIVISION 07 - THERMAL AND MOISTURE PROTECTION
 - DIVISION 08 - OPENINGS
 - DIVISION 09 - FINISHES
 - DIVISION 10 - SPECIALTIES
 - DIVISION 11 - EQUIPMENT
 - DIVISION 12 - SPECIAL CONSTRUCTION
 - DIVISION 13 - COMMERCIAL EQUIPMENT
 - DIVISION 15 - PLUMBING + HVAC
 - DIVISION 16 - ELECTRICAL + LIGHTING
- 6. PROVIDE BLOCKING / REINFORCEMENT BEHIND ALL WALL MOUNTED MILLWORK.
- 7. VERIFY APPLIANCE SIZES / OWNER PRIOR TO FABRICATING ADJACENT MILLWORK OR MILLWORK TO RECEIVE APPLIANCES.
- 8. APPLIANCES SHOWN ARE BASIS-OF-DESIGN ONLY. VERIFY ACTUAL PRODUCT SELECTIONS WITH OWNER.
- 9. CONTRACTOR SHALL VISIT THE SITE DURING BIDDING AND SHALL FAMILIARIZE HIM/ HERSELF WITH THE EXISTING CONDITIONS.
- 10. CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS FOR THE WORK INDICATED.
- 11. ALL WORK SHALL BE IN ACCORDANCE WITH CURRENT BUILDING CODE AND CURRENT FLORIDA FIRE PREVENTION CODE.
- 12. ALL BLOCKING IN EXISTING FIRE RATED WALLS SHALL BE FIRE RETARDANT TREATED WOOD OR METAL STRAP TO PRESERVE ASSEMBLY FIRE RATING.
- 13. PROVIDE BLOCKING / REINFORCEMENT BEHIND ALL GRAB BAR LOCATIONS.
- 14. OWNER SHALL COMMISSION A STRUCTURAL ENGINEER FOR ANY AND ALL WORK NECESSARY FOR DESCRIBING LOAD-BEARING ASSEMBLIES. THE STRUCTURE ENGINEER'S WORK IS REGARD TO MEMBER SIZES, STRUCTURAL CONNECTIONS, MEMBER SPANS, FOUNDATION ASSEMBLY, AND ALL OTHER ASPECTS OF THE WORK BEARING THE LOADS NECESSARY FOR THE SAFE AND FUNCTIONAL SCHEMES OF THE BUILDING SHALL SURVEYS THESE DRAWINGS.
- 15. INSULATION, INCLUDING FACINGS, SHALL HAVE A FLAME SPREAD INDEX LESS THAN OR EQUAL TO 2.0 AND A SMOKE DEVELOPED INDEX 4.0 OR LESS (1.22 WHEN INSTALLED IN ESCAPED AREAS).
- 16. LANDSCAPE AREAS SHOWN SUGGEST VEGETATION MASSING ONLY. SPECIES SELECTION, SPECIFICATION, AND FINAL PLACEMENT PER LANDSCAPE ARCHITECT OR LANDSCAPE ARCHITECT TO ENSURE COMPATIBLE SOIL TYPE, LIGHT/MOISTURE LEVELS, AND MINIMUM ROOT SEPARATION DISTANCE FROM BUILT STRUCTURES.
- 17. PER TABLE R402.1.2 INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT FOR CLIMATE ZONE 3 BUILDING ASSEMBLIES SHALL MEET THE FOLLOWING REQUIREMENTS:
 - PERMEATION U-0.05 MAX.
 - SKYLIGHT: U-0.05 MAX.
 - WOOD FRAME WALL: R13
 - MASS WALL: R6
 - FLOOR: R10
 - BASEMENT: 0
 - SLAB: 0
 - CRACK SEAL WALL: 0



RESIDENTIAL ACCESSIBILITY DIAGRAMS



SHEET INDEX table listing sheet numbers and titles for architectural site plan, floor plans, elevations, sections, and schedules.



NOTICE TO CONTRACTOR: THIS SURVEY IS PROVIDED BY COPYRIGHT AND IS DERIVED ONLY TO THE PARTIES LISTED ABOVE AND ONLY FOR THE PURPOSES OF TRANSACTION WITHOUT THE EXPRESS PERMISSION OF THE ARCHITECTURE FIRM. ANY USE OF INFORMATION FROM THIS SURVEY IN ANY SUBSEQUENT TRANSACTION IS NOT AUTHORIZED. THE SURVEY ENGINEER'S LIABILITY IS LIMITED TO THE INFORMATION PROVIDED IN THESE DRAWINGS. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS.



LOCATION PLAN:

architecture + interiors



MECK RESIDENCE
130 PELICAN REEF DR. ST. AUGUSTINE, FL 32080

DATE: 2/25/25 05:12
ISSUE: PERMIT / CONSTRUCTION - REV1

DR AWING: ARCHITECTURE FIRM LEGENDS AND NOTES

Attachment 4:
Arborist Report

Arborist Assessment Report

Location: 130 Pelican Reef Drive, St. Augustine, Florida

Assessment Date: May 21, 2025

Arborist: Joseph Brinson, ISA Certified Arborist (FL-6626A)

Regulatory Compliance — Florida Senate Bill 145 (2023 Amendment to §163.045, F.S.)

The arboricultural assessment of redcedar -Tree #1 at 130 Pelican Reef Drive was conducted in accordance with professional standards, including a Level 1 Limited Visual Assessment as outlined in ISA Best Management Practices. The tree exhibited critical structural deficiencies and physiological decline, consistent with hazardous tree conditions.

Pursuant to Florida Senate Bill 145, which amended §163.045, F.S., and became effective July 1, 2023, a residential property owner may lawfully remove a tree without local government approval if a certified arborist or licensed landscape architect has determined that the tree poses an unacceptable risk to persons or property. The statute specifically defines "documentation" as a written report identifying the basis for the risk, including structural defects, decay, or other factors that contribute to imminent failure potential.

In this case, Tree #1 displays significant canopy dieback, co-dominant stem failure, extensive pruning injuries, root damage, insect activity, and internal decay. The Tree has been documented in this report to meet the statutory threshold under SB 145 as presenting a "danger to persons or property."

Accordingly, the findings presented herein satisfy the documentation requirements of §163.045(1), F.S., as amended by SB 145, and support the removal or mitigation of Tree #1 without the need for a municipal permit. This conclusion is provided to assist the property owner in compliance with Florida law while mitigating foreseeable hazards through professionally endorsed risk abatement.

Arboriculture Assessment

Condition Assessment Methodology:

A Level 1 Limited Visual Assessment (LVA) was conducted in accordance with ISA BMP standards. This rapid, ground-based inspection utilized visual cues to evaluate observable defects and assess the physiological and structural condition of the subject tree without the use of advanced diagnostic tools or aerial access.

Tree #1 Details:

- Species: Eastern Redcedar (*Juniperus virginiana*)
- Diameter at Breast Height (DBH): 29.5 inches (combined measurement)
- Condition: Poor
- Latitude/Longitude: 29.878402 / -81.299147

Structural and Physiological Assessment:

The assessed tree is a mature Eastern Redcedar exhibiting bifurcation into two primary codominant stems, both of which display symptoms consistent with advanced physiological decline and structural failure risk.

North Stem:

- DBH: 19.1 inches
- Live Crown Ratio: ~15%
- Findings: Structural defects include historical mechanical damage and improper pruning wounds with evident decay. The stem exhibits a pronounced lean and exposed surface roots with signs of past mechanical injury.

South Stem:

- DBH: 10.4 inches
- Live Crown Ratio: ~10%
- Findings: Notable structural deficiencies including extensive pruning-related decay and lean. Physiological vigor is significantly reduced.

Supplemental Observations:

- Biotic Stress: Active insect activity observed at the root flare, evidenced by frass and localized sap flow.
- Abiotic Stress: Presence of a co-located sabal palm contributing to competitive root zone dynamics and potential destabilization.
- Historical Modification: A third major codominant stem has been previously excised, resulting in internal decay at the bole and compromising structural cohesion of remaining scaffold limbs.

Arboricultural Condition:

The cedar tree is exhibiting systemic decline attributable to cumulative arboricultural stressors, including but not limited to substandard pruning practices, biotic pest activity, root zone degradation, and vegetative competition. The resultant condition includes severe

canopy loss, compromised load-bearing structure, and progressive decay. Based on visual tree assessment protocols and the observed site-specific stressors, the trees represent a moderate to high risk of structural failure under both static and dynamic loading scenarios.

Conclusion and Regulatory Context:

Tree #1, has been assessed under the criteria outlined in Florida Statute 163.045 and Florida Senate Bill 578. Based on field observations and photographic documentation, the tree meets the threshold for hazard designation due to substantial structural compromise and severe decline. The remedial action advised is removal, and removal is recommended in accordance with state provisions and ISA Best Management Practices.

Joseph L Brinson

Joseph Brinson



ISA Certified Arborist FI-6626A

Tree Location Figure

130 Pelican Reef Drive

Tree Location Figure

Legend

-  Boundary
-  Southern Redcedar



Representative Photographs

Tree #1





























**Attachment 5:
St. Johns County
Property Appraiser
Report**

St. Johns County, FL

Apply for Exemptions

Apply for Exemptions

Homestead Compliance

This form is not a Homestead Exemption application. To apply online for homestead and related exemptions, please click [here](#).

Homestead Compliance

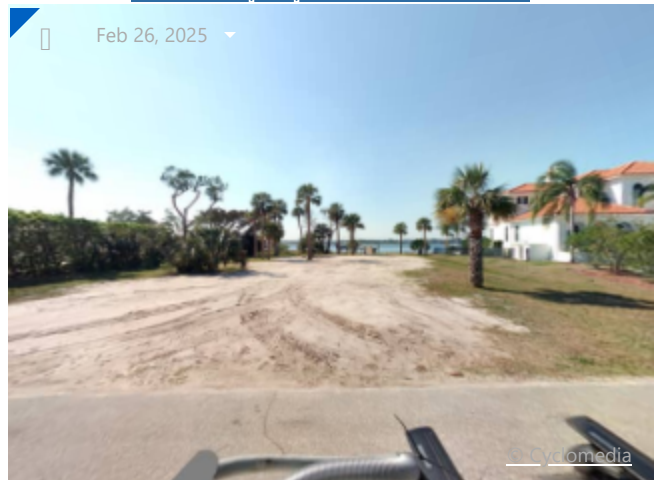
2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID	1585714070
Location Address	130 PELICAN REEF DR SAINT AUGUSTINE 32080-0000
Neighborhood	pelican reef (ICW) (628.42)
Tax Description*	25/87-91 PELICAN REEF LOT 7 BLK 4 OR4410/96 <i>*The Description above is not to be used on legal documents.</i>
Property Use Code	Vacant Residential (0000)
Subdivision	Pelican Reef
Sec/Twp/Rng	20-7-30
District	City of St Augustine (District 452)
Millage Rate	18.72
Acreage	0.490
Homestead	N

[Click Here to Open Cyclomedia Viewer in a New Tab](#)



Owner Information

Owner Name	Meck David A,Nicole E 100% Meck Nicole E 100%
Mailing Address	555 OUTLET MALL BLVD SAINT AUGUSTINE, FL 32084-0000

Map



Valuation Information

Assessed Year	2025
Valuation Method	Market
Building Value	\$0.00
Extra Features Value	\$0.00
Total Land Value	\$1,150,000.00
Agricultural (Assessed) Value	\$0.00
Agricultural (Market) Value	\$0.00
Just Market	\$1,150,000.00
Total Deferred	\$88,528.00
Assessed Value	\$1,061,472.00
Total Exemptions	\$0.00
Taxable Value	\$1,061,472.00

Values listed are from our working tax roll and are subject to change.

Historical Assessment Information

Year	Valuation Method	Building Value	Extra Feature Value	Total Land Value
2024	Market	\$0	\$0	\$1,150,000
2023	Market	\$0	\$0	\$1,150,000
2022	Market	\$0	\$0	\$1,064,000
2021	Market	\$0	\$0	\$725,000
2020	Market	\$0	\$0	\$725,000
2019	Market	\$0	\$0	\$725,000
2018	Market	\$0	\$0	\$700,000
2017	Market	\$0	\$0	\$660,000
2016	Market	\$0	\$0	\$660,000
2015	Market	\$0	\$0	\$660,000
2014	Market	\$0	\$0	\$660,000

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Vacant Residential	0	0	1	UT	\$1,150,000

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
7/26/2017	7/25/2017	\$825,000.00	WARRANTY DEED	4410	96	Q	V	WHITMIRE LELAN F & MC CORKLE DENISE M(WIFE)	MECK DAVID A,NICOLE E
	4/19/2002	\$530,000.00	PERSONAL REP	1757	553	U	V	WILBORN JERRY RYMON ESTATE BY PERS REP	WHITMIRE LELAN F & MC CORKLE DENISE M(WIFE)
	4/19/2002	\$0.00	OTHER INSTRUMENT	1757	316	U	V	WILBORN JERRY RYMON ESTATE	WILBORN JERRY RYMON ESTATE (LETT AUTH SALE)
	2/6/2002	\$0.00	LETTERS OF ADMN	1757	314	U	V	WILBORN JERRY RYMON (DECD 12/29/01)	WILBORN JERRY RYMON ESTATE (LETT OF ADMIN)
	5/31/2001	\$485,000.00	WARRANTY DEED	1609	196	Q	V	SONDGERATH LIVING TRUST	WILBORN J RYMON
	8/3/1999	\$100.00	QUIT CLAIM DEED	1438	1826	U	V	SONDERGRATH MARY M	SONDERGRATH MARY M TRUSTEE
	6/26/1996	\$100.00	WARRANTY DEED	1182	1019	U	V	THOMPSON BROS. REALTY INC (1/2 INT)	SONDERGRATH MARY M
	1/26/1996	\$207,000.00	WARRANTY DEED	1154	502	Q	V	THOMPSON PIERRE D	SONDGERATH MARY M

No data available for the following modules: Sales Questionnaire Form, Exemption Information, Building Information, Sketch Information, Extra Feature Information.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.
[User Privacy Policy](#) | [GDPR Privacy Notice](#)
 Last Data Upload: 6/4/2025, 12:09:41 AM

Contact Us



**Attachment 6:
Pelican Reef Cedar Tree
Requirements**



City of St. Augustine



St. Augustine, Florida

Planning/Building

April 5, 1995

Pierre Thompson
Pelican Reef Development Co.
93-D Orange Street
St. Augustine, Florida 32084

RE: Appeal of a Staff Determination/Variance 95-0187
Pelican Reef Subdivision (124 Spartina Avenue)

Dear Mr. Thompson:

On Tuesday, April 4, 1995, the Planning and Zoning Board (PZB) met and discussed your application to appeal a staff determination to enforce the provisions of the Trees and Landscaping Code and to reduce the minimum tree and landscape requirements for a subdivision at Pelican Reef Subdivision.

Specifically, the PZB approved your application to waive the requirement to plant approximately 1600 Southern Red Cedar trees to replace trees removed as a result of the development of infrastructure for the subdivision. In addition, the PZB approved your request to fill mosquito control ditches within the subdivision and to place fill on the subdivision lots up to a maximum height of 6' above mean sea level without obtaining a building permit. The PZB made its determinations with the stipulations that you will require lot owners to maintain a minimum of 10 Southern Red Cedar trees on their individual lots, and that no additional trees may be removed without an approved tree removal permit. The PZB did not provide a variance or waiver to the requirements of the Trees and Landscaping Code as they pertain to the individual lot owners.

Should you have questions regarding this matter, please contact the Planning and Building Division at 825-1060.

Sincerely,

Jean Carver
Citizen Boards Technician

jc

cc: Joseph Pomar, Jr., City Manager
Michael Griffin, CBO, Planning and Building Manager
BDAC File 95-0187



Planning and Zoning Board

Planning Division Staff Report
 Planning and Building Department

Public Hearing Date	Agenda Item	Application Number
July 1, 2025	5.e.	PZB2025-0048
Request	Address	Parcel ID
Conservation Overlay Zone Development	124 Spartina Avenue	158571-1010

Site & Background Information

Applicant:	Intervest Construction of Jax. Inc.
Owner:	John & Erin Olinger
Property Class: (St. Johns County Property Appraiser)	0000 – Vacant Residential
Future Land Use Designation:	Residential Low Density
Zoning Designation:	Residential Single-Family-Two: RS-2
Acreage:	0.63
Neighborhood:	South Davis Shores
Archaeological Zone:	N/A

Request Summary

This is a request for [Conservation Overlay Zone \(COZ\) development](#) to remove six (6) significant southern red cedar trees for the construction of a single-family home within [COZ 2 & 3](#) at 124 Spartina Drive. Approval of this application would allow for the construction of a single-family home and the removal of eight (8) trees in total.

Staff Analysis

Consistency with the City of St. Augustine’s Comprehensive Plan 2040

Comprehensive Plan Element	Goal, Policy, or Objective	Staff Analysis
Future Land Use		
Historic Preservation		
Conservation and Coastal Management	<p>CCM Objective 2.6</p> <p>The City shall commit to preservation of community trees and the urban forest to improve air quality, community health, quality of life, aesthetics, and energy conservation.</p>	The removal of a significant tree(s) is inconsistent with Objective 2.6.
Recreation and Open Space		
Transportation and Mobility		
Housing		
Infrastructure		

Review of Applicable City of St. Augustine Code of Ordinances

The request for Conservation Overlay Zone 2 and 3 development includes the construction of a single-family home and associated fill.

The planning and zoning board is [authorized to impose limitations](#) in the nature and manner of construction and/or use so as to avoid damage to adjacent salt marshes and the vegetative communities contained therein, to eliminate any harm to the animal, fish or shellfish contained therein, to avoid blocking or disrupting vistas and scenic opportunities, and to enhance those vistas and scenic opportunities which are determined to benefit the public as a whole.

Staff Analysis of Applicable Criteria (Sec. 11-29(d)(1))

Removal of significant trees shall be [reviewed by the Planning and Zoning Board](#), all significant trees removed shall be replaced in accordance with the requirements of [Chapter 25](#). The planning and zoning board is authorized to impose limitations on the nature and manner of construction and/or so as to avoid alteration of surface water hydrology which would increase the flood hazard potential and to [minimize the impact on existing trees and native vegetation](#). In determining whether or not a permit required by this section should be issued, the PZB shall [consider and base all decisions on the following](#):

- a. The condition of the tree with respect to disease, insect attack, danger of falling, proximity to existing or proposed structures and interferences with utility services.

The applicant is proposing to remove eight (8) trees in total. The applicant provided an arborist report for the trees onsite. Trees numbered 2, 3, 4, 5, 2, and 7 are listed in fair condition. Trees numbered 9 and 10 are listed in poor condition. The arborist report listed tree number 8's condition as dead.

- b. The necessity of removing a tree to construct proposed improvements in order to allow reasonable economic use of the property.

Trees numbered 2 and 10 are along the edges of fill and could possibly be retained with tree wells depending on their growth pattern. Tree number 2 is listed in fair condition and Tree number 10 is in poor condition.

- c. The relief of the land where the tree is located and the effect removal of the tree would have on erosion, soil moisture retention, diversion, increased or decreased flow of surface waters and the city master drainage plan or similar plan adopted by the city commission.

[St. Johns County iMaps](#) shows that the lot slopes to the east and rear of the property with the front portion being at an elevation around 4-5 feet NAVD88 and the rear dropping to an elevation of 3-4 feet NAVD88. The applicant should address erosion with adequate erosion control measures such as silt fencing.

- d. The number and density of trees existing in the neighborhood on improved or unimproved property. The planning and building division shall also be guided by the effect removal of a tree would have on property values in the neighborhood where the property is located and on other vegetation in the neighborhood.

The Pelican Reef subdivision natural vegetation is comprised predominately of cedars, live oaks and cabbage palms. Each lot in the neighborhood is required to retain or plant 10 cedar trees. The applicant is retaining two cedars and four additional trees on site which should help mitigate impacts to the neighborhood.

- e. Whether the tree has been designated a significant tree.
The applicant is proposing to remove six significant trees (#2, 3, 4, 7, 9, and 10).

- f. Impact upon the urban and natural environment, including:

1. Ground and surface water stabilization.
2. Water quality and aquifer recharge.
3. Ecological impacts.
4. Noise pollution.
5. Air movement.
6. Air quality.
7. Wildlife habitat.

The applicant is retaining six (6) trees, four of which are significant. The applicant is retaining two red cedars and are required to plant eight more. The retention and planting of trees should mitigate impacts to the urban and natural environment.

- g. The ease with which the property owner or agent can alter or revise the proposed development or improvements to accommodate existing trees, including the trees proposed to be removed.
The treed portion of the lot is the eastern portion. Moving the house footprint to the west is one possibility that could be considered to accommodate existing trees.

Pelican Reef Requirements for 10 Cedar Trees

All lots within Pelican Reef are required to plant or retain ten (10) cedar trees. The applicant's tree mitigation plan proposes to retain two (2) cedar trees (# 12 and 14) and plant seven (7) which is one short of the required ten. **The applicant needs to plant one additional cedar tree to meet the requirement for 10 cedar trees.**

Compliance with Chapter 25

COSA Code of Ordinances Section 25-53(d) states that the preservation and removal of trees on a site may require tree mitigation if a positive number of tree credits is not achieved. The applicant's tree mitigation plan gives a positive number of tree credits with a surplus of 11.5 credits and is **consistent** with the requirements of Chapter 25. **There are three trees on tree the survey that are not included in the arborist report and it is not clear if their status is to be retained or removed. These trees are not included in the color coding provided on the tree site plan.** As it is unclear of the status of these trees for removal, the following tree mitigation table includes these trees in the removal category to show that the applicant will meet the requirements of chapter 25 in the event they are removed.

Trees Removed			Trees Retained			Trees Planted			
Type (dbh)	Size Range	Deficit	Type (dbh)	Size Range	Credit	QTY	Type (dbh)	Size Range	Credit
2. Red Cedar (14)	12+ dbh	1.5	1. Live Oak (18)	12+ dbh	3	8	Red Cedar	2+ dbh	8
3. Red Cedar (codom.)(6,8)	7+ dbh	1	11. Live Oak (19)	12+ dbh	3				
4. Red Cedar (11)	7+ dbh	1	12. Red cedar (13)	12+ dbh	3				
5. Live Oak (15)	12+ dbh	1.5	13. Live Oak (11)	7+ dbh	2				
6. Live Oak (14)	12+ dbh	1.5	14. Red Cedar (24)	20+ dbh	4				
7. Red Cedar (10)	7+ dbh	1	15. Live Oak (9)	7+ dbh	2				
8. Red Cedar (11)									
9. Red Cedar (17)	12+ dbh	1.5							
10 Red Cedar (13)	12+ dbh	1.5							
Palm (13)	12+ dbh	1.5							
Palm (16)	12+ dbh	1.5							
Myrtle (codom.)(7,5,4)	7+ dbh	1							
Deficits		14.5	Retaining Credits		17	Planting Credits		8	
						Total Credits		10.5	

Significant trees are in BOLD		Dead trees are in red.	
Condition:	Poor	Fair	Good

Staff Summary

The applicant meets the requirements of Chapter 25 and has a positive number of tree credits. The current application does not retain or plant 10 cedar trees and is one short of the requirement. If the Board finds that application is consistent with applicable criteria in Sec. 11-29(d)(1), Staff finds the application can be approved with the condition the applicant will plant eight cedar trees to meet the requirements of maintaining 10 eastern red cedar trees on each lot in Pelican Reef.

Staff Recommendation

Review of Section 11-29 is the responsibility of the Planning and Zoning Board for the proposed development within Conservation Overlay Zone 2 and 3. This application is for the removal of significant trees at 124 Spartina Drive / PID 158571-1010.

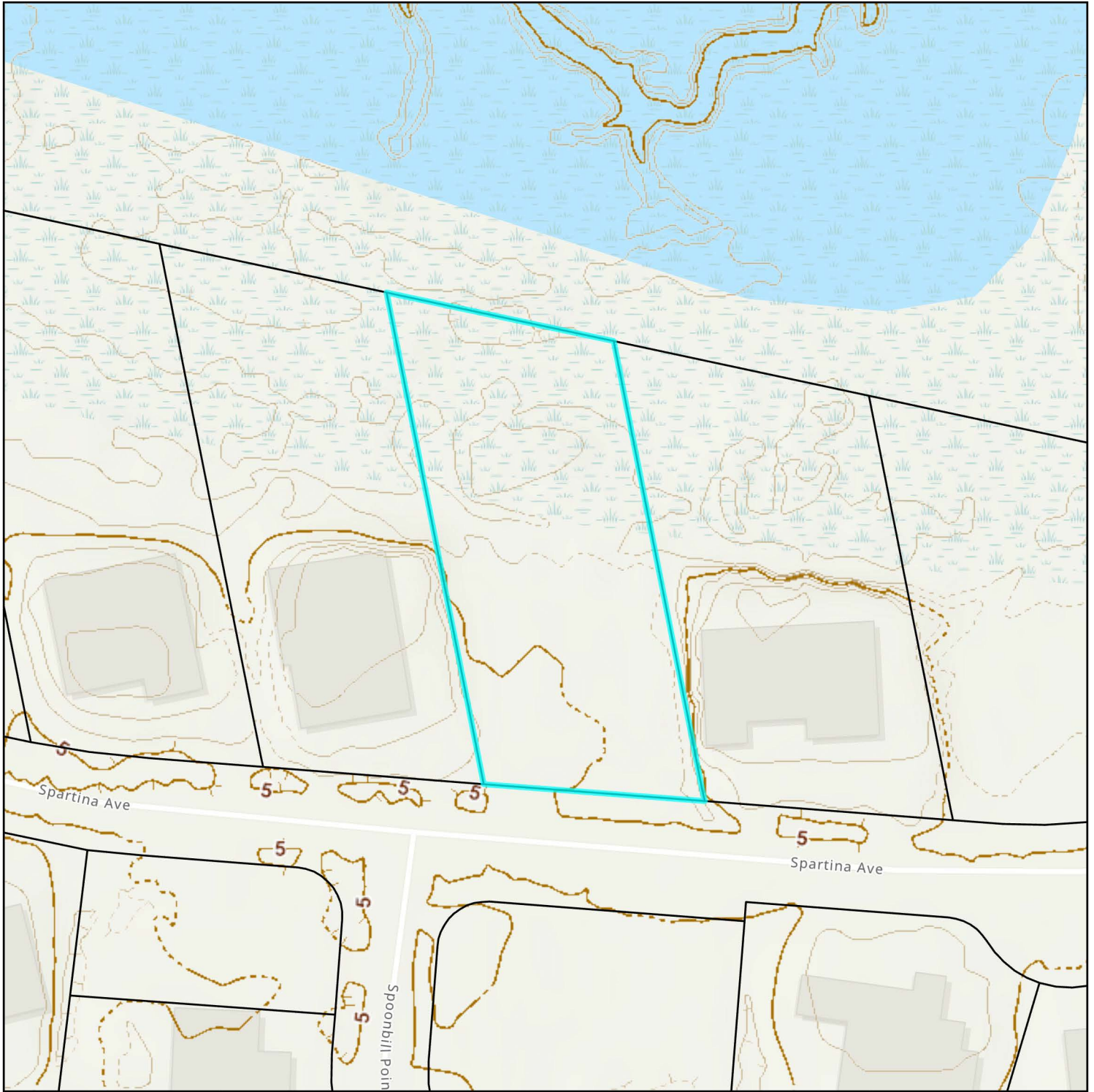
Attachments

1. Site Map & Photos
2. Application
3. Tree Plan
4. Arborist Report
5. St. Johns County Property Appraiser Report
6. Pelican Reef Cedar Tree Requirements

Staff Report prepared by:

Sarah Daugherty
Senior Planner
Planning and Building Department

**Attachment 1:
Site Maps
and Photos**



Elevation Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
 This map is for reference only. Data provided are derived from multiple sources with varying levels of accuracy. The City of St. Augustine disclaims all responsibility for the accuracy or completeness of the data shown hereon.

2025

0 0.01 0.01 Miles

0 40 80 Feet

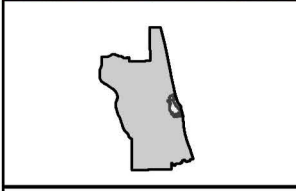
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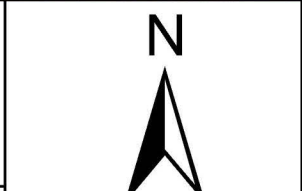
Legend

Flood Zones FEMA

- AE
- VE



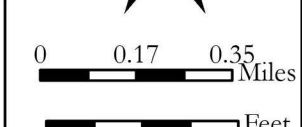
FEMA Flood Zone Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
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2025



Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



St. Johns County Property Appraiser Use Classification Map



City of St. Augustine
Planning, Zoning, & Building Department
P.O. Box 210, St. Augustine, FL 32085
Phone: (904) 825-1065

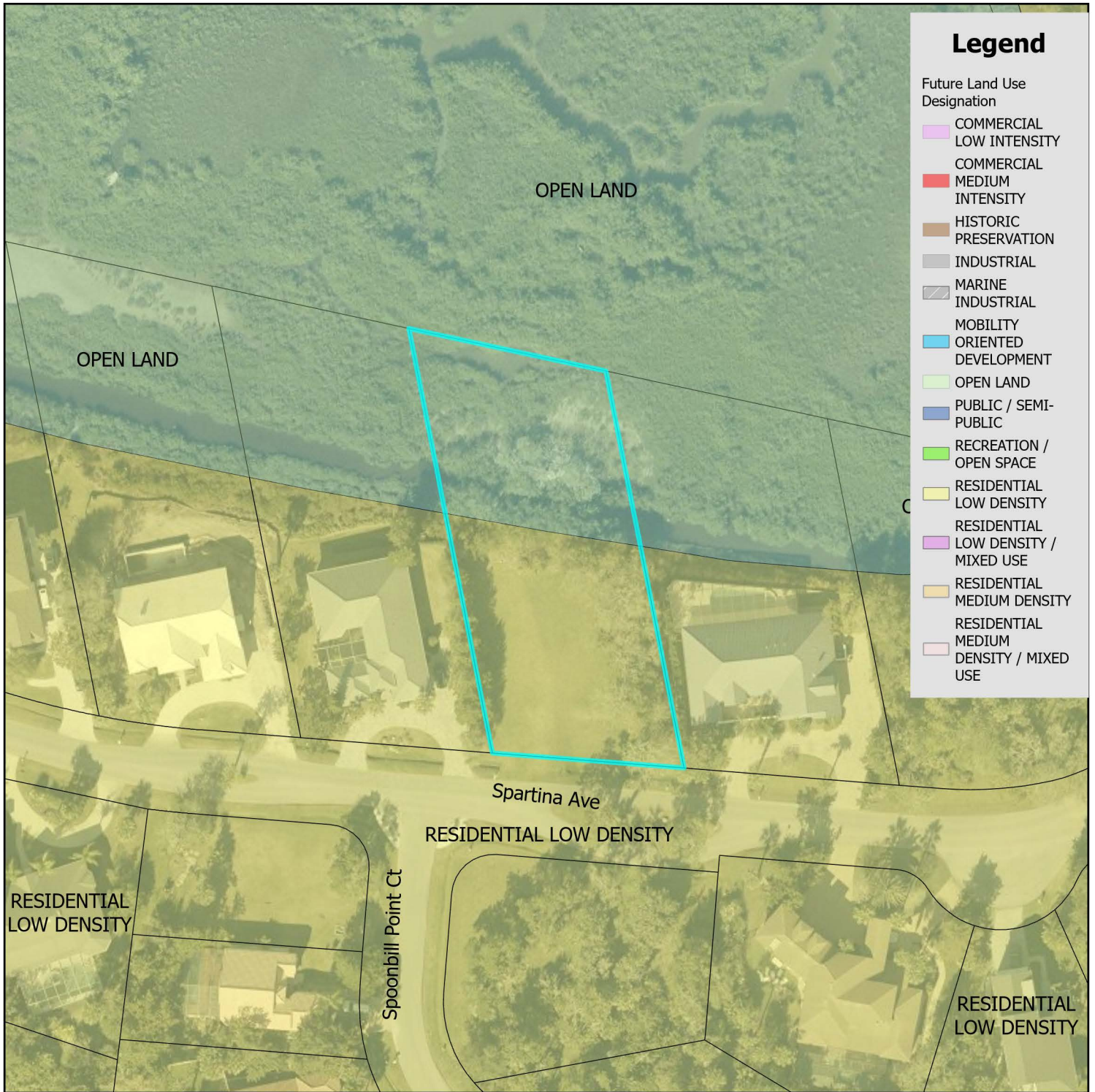
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2025

0 0.01 0.01 Miles

0 40 80 Feet

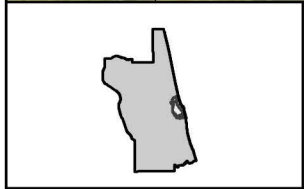
Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Legend

Future Land Use Designation

- COMMERCIAL LOW INTENSITY
- COMMERCIAL MEDIUM INTENSITY
- HISTORIC PRESERVATION
- INDUSTRIAL
- MARINE INDUSTRIAL
- MOBILITY ORIENTED DEVELOPMENT
- OPEN LAND
- PUBLIC / SEMI-PUBLIC
- RECREATION / OPEN SPACE
- RESIDENTIAL LOW DENSITY
- RESIDENTIAL LOW DENSITY / MIXED USE
- RESIDENTIAL MEDIUM DENSITY
- RESIDENTIAL MEDIUM DENSITY / MIXED USE



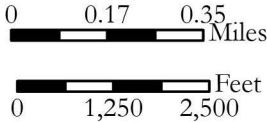
Future Land Use Map



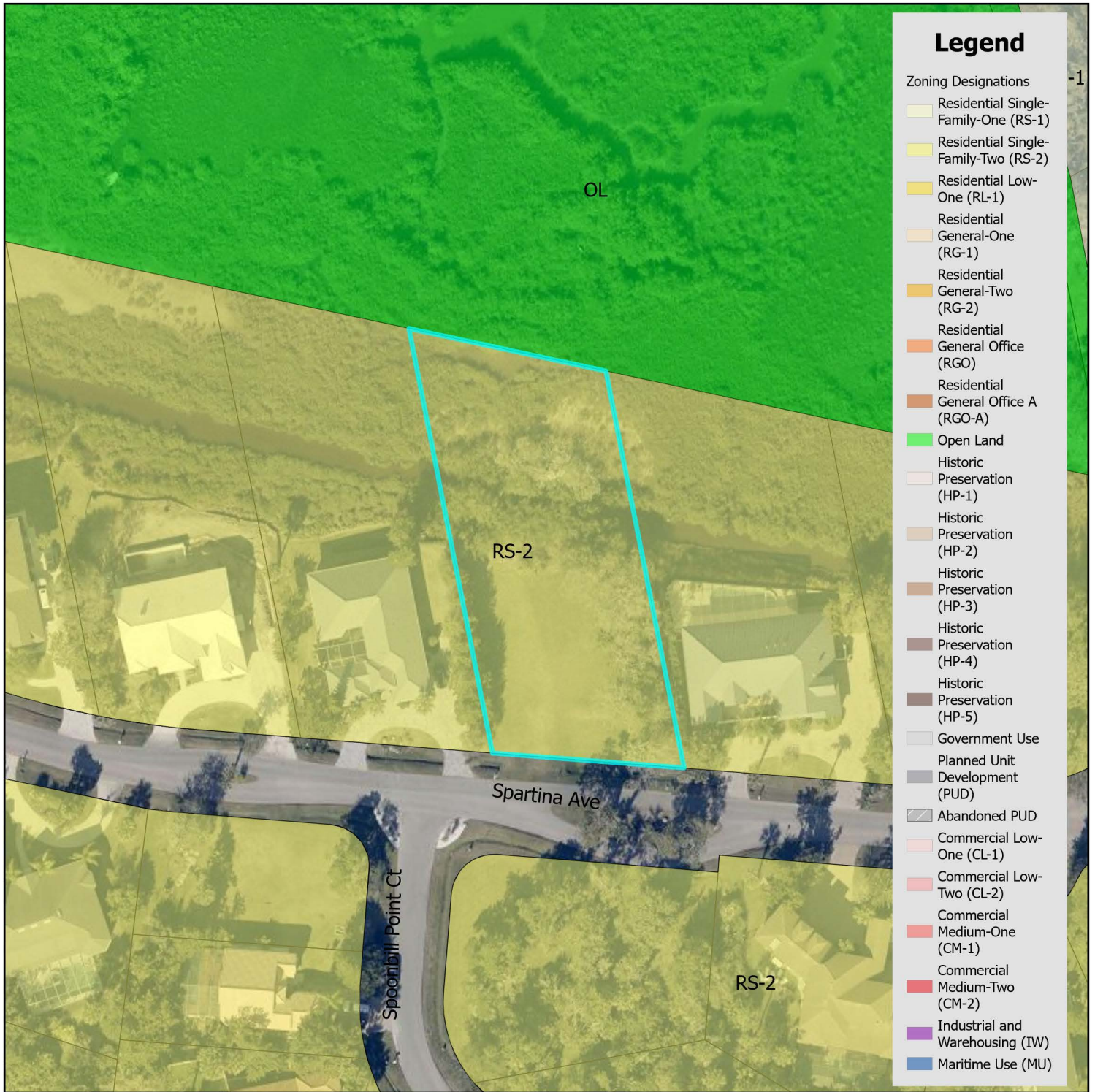
City of St. Augustine
 Planning, Zoning, & Building Department
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2025



Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



- ### Legend
- Zoning Designations
- Residential Single-Family-One (RS-1)
 - Residential Single-Family-Two (RS-2)
 - Residential Low-One (RL-1)
 - Residential General-One (RG-1)
 - Residential General-Two (RG-2)
 - Residential General Office (RGO)
 - Residential General Office A (RGO-A)
 - Open Land
 - Historic Preservation (HP-1)
 - Historic Preservation (HP-2)
 - Historic Preservation (HP-3)
 - Historic Preservation (HP-4)
 - Historic Preservation (HP-5)
 - Government Use
 - Planned Unit Development (PUD)
 - Abandoned PUD
 - Commercial Low-One (CL-1)
 - Commercial Low-Two (CL-2)
 - Commercial Medium-One (CM-1)
 - Commercial Medium-Two (CM-2)
 - Industrial and Warehousing (IW)
 - Maritime Use (MU)



Zoning Map



2025

0 0.17 0.35 Miles

0 1,250 2,500 Feet

City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

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Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

124 Spartina Avenue



12/08/2024

Attachment 2: Application

Attention

The Planning and Building Department prides itself on customer service, and helping applicants achieve their goals within the parameters of the zoning code.

There are circumstances where applicants must go to a public hearing before the Planning and Zoning Board (PZB). There are legal requirements that need to be met to have a hearing before the PZB.

Due to the volume of applications and the increasingly complicated nature of applications the following policies and zoning code stipulations will be enforced:

- All applications must be received by the required deadline established for a specified meeting;
- All applications must be signed by the applicant and property owner, especially if different;
- All applications must be filled out as necessary based on the nature of the application and/or appropriate explanations or narratives describing the requested action must be attached; and,
- All applications must be accompanied by a site plan at an appropriate scale with measurements and level of detail that allows staff to review the application to determine and confirm any and all issues requiring review by the PZB, including an 11 x 17 inch copy of the proposed plan, and any necessary reports, surveys, plans and documents to accompany an application as appropriate.

Application submittals will be evaluated for completeness. Applications will not be scheduled for a PZB Public Hearing until they are “substantially complete” per Section 28-31 of the Zoning Code.

Complying with these submittal requirements will ultimately expedite applications and make the public hearing process more beneficial to all involved. Thank you for your cooperation.

Conservation Overlay Zone Developments:

- Dock applications for **Conservation Overlay Zone 1** require complete submittal packages that include:
 - a. Survey locations of the proposed docks or modifications to existing docks;
 - b. Plans of the proposed dock or dock modifications;
 - c. Bathometric surveys showing water depths at mean high tide and mean low tide, relationship of the proposed dock to water features, marsh, bank lines, creeks, navigable channels, other site specific issues;
 - d. Aerials of existing conditions, and showing proposed docks and/or water features;
 - e. Details of any railings, features, lighting, dock boxes, fish stations, boat lifts or other items that potentially impact scenic vistas; and,
 - f. Explanation of the impacts according to the 17 criteria outlined in Chapter 11 Conservation Zone Development.

- Preserved tree removal and tree canopy issues related to development in **Conservation Overlay Zone 3** require complete submittal packages that include:
 - a. Tree surveys locating all trees on the site 3" diameter and greater;
 - b. Tree survey including the proposed site plan at an appropriate scale to evaluate the proposed development's impact on the trees, including specific trees and the tree canopy overall;
 - c. An arborist's report outlining the type, size, condition, and professional opinion of the impact of the development on the trees and the specific condition of any "preserved" trees;
 - d. Explanation of the impacts according to the 17 criteria outlined in Chapter 11 Conservation Zone Development; and,
 - e. A detailed analysis of the proposed tree removal per Chapter 25, known as the Landscape Code, to determine tree credits and debits, and landscaping requirements per the Landscape Code.

Planned Unit Development (PUD) Applications:

Planned Unit Development (PUD) applications must comply with Division 8 of the Zoning Code.

A pre-application meeting is highly recommended prior to PZB submittal.

Subdivision Requirements:

Preliminary subdivision requirements must comply with Chapter 23 of the Land Development Code.

A pre-application meeting is highly recommended prior to PZB submittal.



**CITY OF ST AUGUSTINE
APPLICATION TO PLANNING AND ZONING BOARD**

Application Fee: _____ (plus advertising costs) Project Number: _____
 Receipt Number: _____ Meeting Date: _____
 Advertising Costs: \$ _____ Paid On: _____ Receipt Number: _____

1. NAME OF APPLICANT: Intervest Construction of Jax. Inc. Contact Number: Kathy Gustafson
 Business (if applicable): ICI Homes (Intervest Construction of Jax. Inc.)
 Address: 2379 Beville Road City: _____ State: _____ Zip: 32119
 E-Mail Address: KGustafson@icihomes.com Miwilford@icihomes.com

2. NAME OF PROPERTY OWNER: Erin & John Olinger Contact Number: 904-814-7572
 Business (if applicable): N/A
 Address: 383 High Tide Drive City: St. Augustine State: FL Zip: 32080
 E-Mail Address: Johnolinger@gmail.com

3. LEGAL DESCRIPTION OF PROJECT PROPERTY:
 Lot: 01 Block: 1
 Subdivision: Pelican Reef Parcel Number: 1585711010

4. PROJECT STREET ADDRESS: 124 Spartina Ave. Saint Augustine, FL 32080

5. SPECIFIC PROPOSED USE: New Construction Single Family Residential

6. ACTION REQUESTED:
 Conservation Zone Development Appeal of Staff Determination
 Exception Land Use Plan Amendment
 Variance Rezoning
 Other: Removal of Trees (New Construction Single Family Residential)

7. DESCRIPTION OF ACTION REQUESTED: Removal of existing trees

8. JUSTIFICATION FOR ACTION REQUESTED: Placement of new home requires removal of existing trees.

9. **IF APPLYING FOR A VARIANCE, PLEASE COMPLETE THE FOLLOWING AND EXPLAIN THE SITUATION FULLY ALONG WITH PROVIDING DOCUMENTATION:**

(a) Does the property because of size, shape, topography or other physical conditions, suffer singular disadvantage, which disadvantage does not apply to other properties in the vicinity: N/A

N/A

(b) Can you establish that this disadvantage causes the owner to be unable to make reasonable use of the affected property: N/A

(c) Can you establish that this disadvantage does not exist because of conditions created by the owner or applicant: N/A

(d) Can you establish that granting of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this Section: N/A

10. **PREVIOUS APPLICATIONS:**

Has any application been submitted to the Planning & Zoning Board concerning any part of the subject property within the past year?

Yes No If yes, please give date and final disposition below.

N/A

11. **AGREEMENT:**

In filing this application, I understand that it becomes a part of Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

Application must be signed by both applicant and property owner if different. Letter of authorization must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of either property owner or applicant.

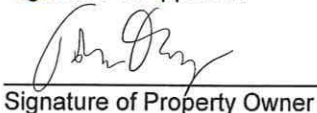
Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

IMPORTANT NOTICE: When the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the Board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the Board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the Code.


Signature of Applicant

5-16-25

Date


Signature of Property Owner

5-16-25

Date

04/18/2019



**CITY OF ST. AUGUSTINE
DEVELOPMENT PERMIT APPLICANT WAIVER**

The applicant acknowledges and agrees to waive the limitation of three requests for additional information by the City of St. Augustine, pursuant to Chapter 166.033, Florida Statutes.

The applicant acknowledges and agrees that the City offers weekly Friday Review development review meetings, as well as, department specific applicant meetings with its reviewing staff at any point in the application process to attempt to resolve outstanding issues. The applicant is responsible for scheduling any requested meetings with City staff directly.

The applicant acknowledges and agrees that if after three unresolved submittals the applicant elects to proceed with final approval or denial proceedings, the applicant must request so in writing to the City.

Joseph W. Blanco

Print name of applicant



Signature of applicant

5/16/25

Date



Owner's Authorization For Agent

Intervest Construction of Jax, Inc. is/are hereby authorized TO ACT ON BEHALF OF John Olinger, the owner(s) of those lands described within the attached application, or described within the previously filed Application number: _____, and as described in the attached deed or other such proof of ownership as may be required, in applying to the City of St. Augustine's Planning & Zoning Board, located at: _____

BY: *John Olinger*
Signature of Owner
John Olinger
Print Name of Owner
904-814-7572
Telephone Number

State of Florida
County of Duval

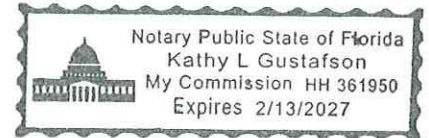
Signed and sworn before me on this 16 day of May, 2025
By John Olinger

Identification verified:

Oath sworn: Yes No

Notary Signature: *Kathy L. Gustafson*

My Commission expires: 2/13/2027



PZB APPLICATION FEE SCHEDULE

Planning and Zoning Board fees are set by Resolution 2021-38 as follows:

Description of Work	Fee Amount
Rezoning: small scale	\$300.00 + ads & notices
Rezoning: large scale	\$1,000.00 + ads & notices
Land Use Plan Amendment: small scale	\$400.00 + ads & notices
Land Use Plan Amendment: large scale	\$1,400.00 + ads & notices
Planned Unit Development	\$400.00 or \$35.00/acre, whichever is greater, \$1,400 max + ads & notices
Zoning Variance	\$350.00 + ads & notices
Zoning Exception	\$250.00 + ads & notices
Conservation Overlay Zone Development	\$165.00 + ads & notices
Significant Tree Removal or Appeal of Tree Removal Permit Denial	\$165.00 + ads & notices
Appeal of Staff Determination	\$200.00 + ads & notices
Application to Amend Zoning Code	\$600.00 + ads & notices
Subdivision Plat Review	\$275.00 + ads, notices & additional associated costs

"Note: The cost of newspaper advertisement and all notices to surrounding property owners will be assessed by the city, paid by the city and reimbursed by the applicant. All advertising costs must be paid prior to issuance of a development permit.

The applicant shall reimburse the City the mailing cost for all notices and for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing."

If a Credit Card Authorization Form is used for the payment of fees, the City will maintain the form and automatically charge additional advertising and noticing fees, once determined, to the credit-card account submitted.

By signing below, I acknowledge responsibility for both the initial application fee and any subsequent costs associated with legal advertising and/or noticing and understand that permits associated with my application may not be issued until such fees are paid.

I authorize the Planning and Building Department to maintain my payment information until a final cost for advertising and/or noticing is determined and charged. If a payment method other than Credit Card Authorization Form is used, I understand that I will be sent an invoice for the costs of advertising/noticing which must be paid prior to the issuance of any development permit related to my application. I am aware that I can request a copy of these fees and my receipt from Building Department Staff.

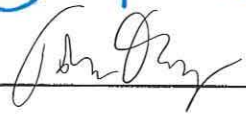
124 Spartina Ave.

Project Address: _____

Joseph W. Blanco

Applicant's Name: _____ Applicant's Signature: 

John Olinger

Owner's Name: _____ Owner's Signature: 

Attachment 3:

Tree Plan

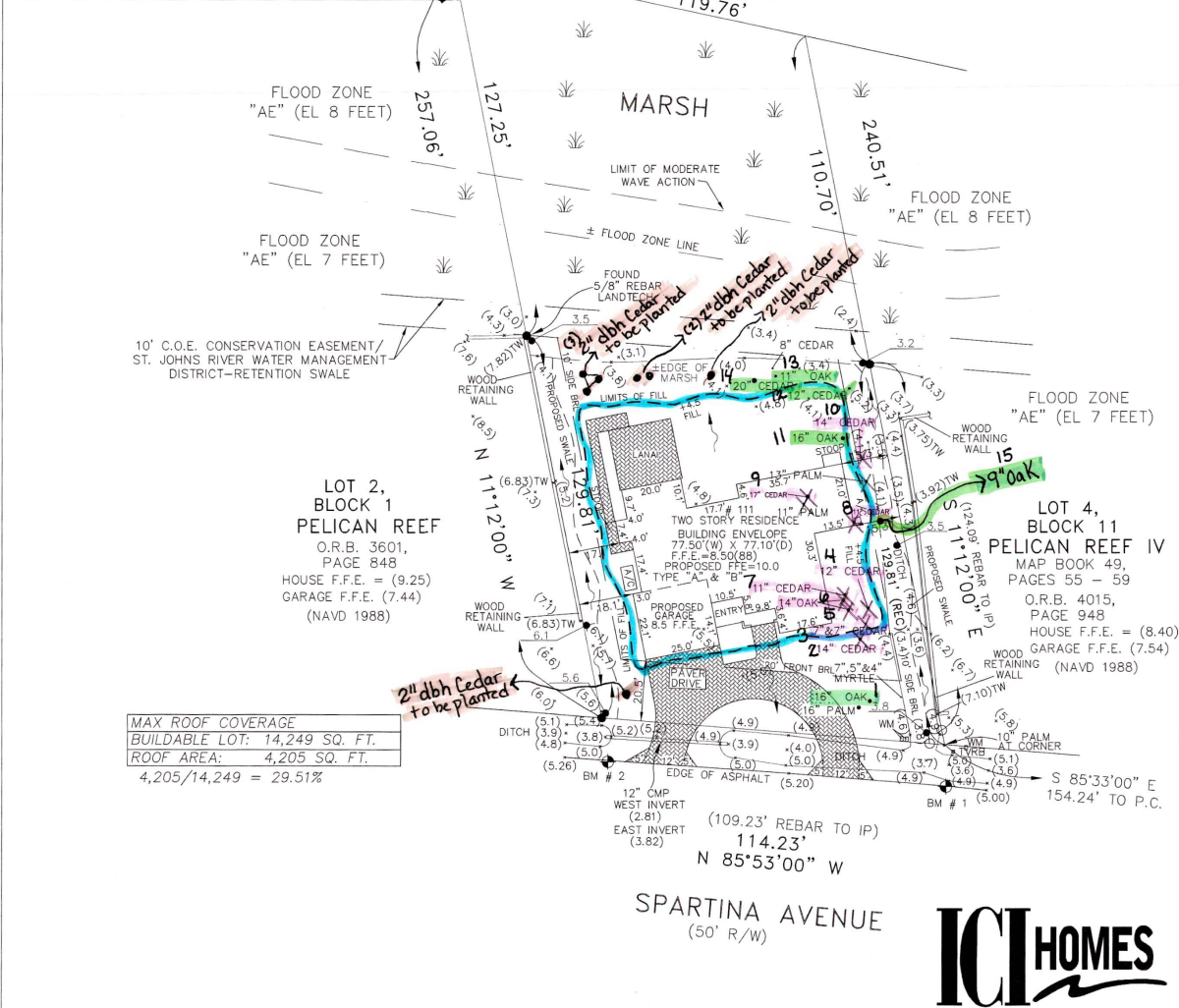
MAP SHOWING SURVEY OF
LOT 1, BLOCK 1, PELICAN REEF

AS RECORDED IN MAP BOOK 25, PAGES 87 - 91 OF THE PUBLIC RECORDS OF
ST. JOHNS COUNTY, FLORIDA.

GOV LOT 8
(ESCOLATA CREEK)
O.R.B. 3326,
PAGE 1438



- Trees to be Removed
- Trees to be Preserved
- Fill Limit
- To be Planted



MAX ROOF COVERAGE
BUILDABLE LOT: 14,249 SQ. FT.
ROOF AREA: 4,205 SQ. FT.
4,205/14,249 = 29.51%

NOTE: A & J LAND SURVEYORS, INC. CERTIFIES ONLY TO THE LOCATION AND SIZE OF THE TREES SHOWN HEREON. HOWEVER, THE SURVEYOR DOES NOT CERTIFY TO THE EXACT SPECIES OF THE TREES SHOWN HEREON AS THIS IS OUTSIDE OF THE SURVEYOR'S AREA OF EXPERTISE.

MARCH 24, 2025, REVISED TO SHOW A PROPOSED HOSE ON LOT 1, JOB # 61669
SEE SHEET TWO FOR ADDITIONAL NOTES AND IMPERVIOUS CALCULATIONS.

SHEET ONE OF TWO SHEETS

NOTE: NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
NOTICE OF LIABILITY: THIS SURVEY IS CERTIFIED TO THOSE INDIVIDUALS, ENTITIES, AND/OR FIRMS AS SHOWN ON THE FACE OF THIS SURVEY. ANY OTHER USE, BENEFIT OR RELIANCE BY ANY OTHER PARTY IS STRICTLY PROHIBITED AND RESTRICTED. THIS SURVEYING FIRM AND THE SIGNING SURVEYOR IS RESPONSIBLE ONLY TO THOSE THAT APPEAR IN THE CERTIFICATION AND HEREBY DISCLAIMS ANY OTHER LIABILITY AND HEREBY RESTRICTS THE RIGHTS OF OTHERS, (INDIVIDUAL OR ENTITIES) TO USE THIS SURVEY WITHOUT THE EXPRESS WRITTEN CONSENT OF THIS FIRM AND/OR SURVEYOR.

- NOTES:**
- BEARINGS ARE BASED ON THE NORTH R/W LINE OF SPARTINA AVENUE AS BEING N 85°53'00" W, AS PER PLAT.
 - THIS IS A BOUNDARY, TOPOGRAPHIC AND TREE LOCATION SURVEY OF THE LANDS DESCRIBED HEREON.
 - ELEVATIONS SHOWN THUS (15.0) REFER TO THE US DEPARTMENT OF COMMERCE, NATIONAL OCEANIC & ATMOSPHERIC ADMINISTRATION (NOAA), NATIONAL GEODETIC SURVEY (NGS) DATUM, NORTH AMERICAN VERTICAL DATUM OF 1988.
 - BY GRAPHIC PLOTTING ONLY, THE PROPERTY SHOWN HEREON APPEARS TO LIE WITHIN ZONES: "AE" (EL 7 FEET) & "AE" (EL 8 FEET) AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.), NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (F.I.R.M.) COMMUNITY PANEL NUMBER: "AE" (EL 7 FEET) 125145 0318 J; MAP REVISED DATE: DECEMBER 7, 2018, MAP NUMBER: 1210900318J.
 - UNLESS OTHERWISE NOTED, ANY PORTION OF THE PARCEL THAT MAY BE DEEMED AS WETLANDS BY STATE OR GOVERNMENTAL AGENCIES, HAS BEEN DETERMINED AND ANY LIABILITY RESULTING THEREFROM IS NOT THE RESPONSIBILITY OF THE UNDERSIGNED.
 - THERE MAY BE RESTRICTIONS OR EASEMENTS OF RECORD EVIDENCED BY TITLE EXAMINATION THAT HAVE NOT BEEN SHOWN HEREON.

LEGEND	DATE FEBRUARY 28, 2025
□ DENOTES CONCRETE MONUMENT	SCALE 1" = 40'
x-x DENOTES FENCE	JOB NO. 61591
○ DENOTES 1/2" IRON PIPE SET A & J L.B. 6661 (RC)	F. BOOK(S) 669
● DENOTES 5/8" IRON REBAR NO IDENTIFICATION (UNLESS OTHERWISE NOTED)	PAGE(S) 21
	COMPUTER FILE NAME: LOT-1-PELICAN REEF.DWG (JEFF ON SERVER)

A & J LAND SURVEYORS, INC.
CERTIFICATE OF AUTHORIZATION NO. LB 6661
PROFESSIONAL LAND SURVEYORS
5847 LUELLA STREET
JACKSONVILLE, FLORIDA 32207
OFFICE: (904) 346-1733
FAX: (904) 346-1736

ABBREVIATIONS THAT MAY BE USED IN THIS SURVEY			
P.C.P.	PERMANENT CONTROL POINT	EL	ELEVATION
P.R.M.	PERMANENT REFERENCE MONUMENT	L.B.	LICENSED BUSINESS
WM	WATER METER	FPL	FLORIDA POWER & LIGHT
TW	TOP OF WALL	F.F.E.	FINISH FLOOR ELEVATION
P.O.R.	POINT OF REFERENCE	(RC)	RED CAPPED WITNESS IRON
P.C.	POINT OF CURVATURE	A/C	AIR CONDITIONER
P.T.	POINT OF TANGENCY	W	WIDE
CMP	CORRUGATED METAL PIPE	SQ. FT.	SQUARE FOOT
P.R.C.	POINT OF REVERSE CURVATURE	D	DEEP
TVRB	TELEVISION RISER BOX	R=	RADIUS EQUALS
R/W	RIGHT OF WAY	L=	ARC LENGTH EQUALS
O.R.B.	OFFICIAL RECORDS BOOK	CH=	CHORD BEARING & DISTANCE EQUALS
F.B.	FIELD BOOK	Δ=	DELTA OR CENTRAL ANGLE EQUALS
PG.	PAGE	I.P.	IRON PIPE
BRL	BUILDING RESTRICTION LINE	CONC.	CONCRETE

GEORGE J. WARD, STATE OF FLORIDA
REGISTERED LAND SURVEYOR, CERTIFICATE NUMBER 5155

Attachment 4:
Arborist Report

124 Spartina Ave
Preconstruction Tree Condition Assessment

Tree ID	Species	DBH (inches)	Mallet test for internal decay	Health	Structure	Notes
1	Live oak	18	negative	Poor	Fair	Tree almost dead. Likely root damage from land clearing and saltwater infiltration
2	southern red southern red cedar	14	negative	Fair	Fair	
3	southern red cedar	6,8	negative	Fair	Fair	Codominant leaders with bark inconclusivelusion (weak branch union prone to failure).
4	southern red cedar	11	inconclusive	Fair	Fair	
5	Live oak	15	negative	Fair	Good	
6	Live oak	14	negative	Fair	Good	
7	southern red cedar	10	positive	Fair	Fair	Significant decay detected throughout lower central trunk
8	southern red cedar	11	positive	Dead	Poor	
9	southern red cedar	17	positive	Poor	Poor	Extensive decay throughout lower central trunk.
10	southern red cedar	13	positive	Poor	Poor	
11	Live oak	19	negative	Fair	Good	
12	southern red cedar	13	positive	poor	Fair	
13	Live oak	11	positive	Fair	Fair	
14	southern red cedar	24	negative	Fair	Good	
15	Live oak	9	Fair	Good		Not included on survey. May need to be added to survey.

Danny Lippi
Advanced Tree Care
ISA Board Certified Master Arborist FL 6145B

**Attachment 5:
St. Johns County
Property Appraiser
Report**

St. Johns County, FL

Apply for Exemptions

Apply for Exemptions

Homestead Compliance

This form is not a Homestead Exemption application. To apply online for homestead and related exemptions, please click [here](#).

Homestead Compliance

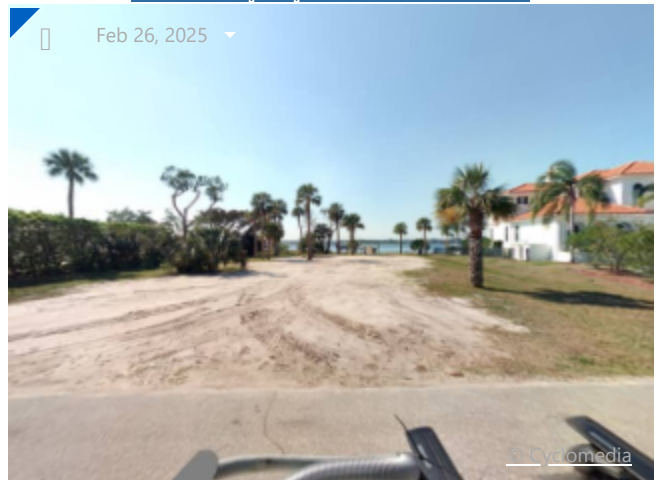
2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID	1585714070
Location Address	130 PELICAN REEF DR SAINT AUGUSTINE 32080-0000
Neighborhood	pelican reef (ICW) (628.42)
Tax Description*	25/87-91 PELICAN REEF LOT 7 BLK 4 OR4410/96 <i>*The Description above is not to be used on legal documents.</i>
Property Use Code	Vacant Residential (0000)
Subdivision	Pelican Reef
Sec/Twp/Rng	20-7-30
District	City of St Augustine (District 452)
Millage Rate	18.72
Acreage	0.490
Homestead	N

[Click Here to Open Cyclomedia Viewer in a New Tab](#)



Owner Information

Owner Name	Meck David A,Nicole E 100% Meck Nicole E 100%
Mailing Address	555 OUTLET MALL BLVD SAINT AUGUSTINE, FL 32084-0000

Map



Valuation Information

Assessed Year	2025
Valuation Method	Market
Building Value	\$0.00
Extra Features Value	\$0.00
Total Land Value	\$1,150,000.00
Agricultural (Assessed) Value	\$0.00
Agricultural (Market) Value	\$0.00
Just Market	\$1,150,000.00
Total Deferred	\$88,528.00
Assessed Value	\$1,061,472.00
Total Exemptions	\$0.00
Taxable Value	\$1,061,472.00

Values listed are from our working tax roll and are subject to change.

Historical Assessment Information

Year	Valuation Method	Building Value	Extra Feature Value	Total Land Value
2024	Market	\$0	\$0	\$1,150,000
2023	Market	\$0	\$0	\$1,150,000
2022	Market	\$0	\$0	\$1,064,000
2021	Market	\$0	\$0	\$725,000
2020	Market	\$0	\$0	\$725,000
2019	Market	\$0	\$0	\$725,000
2018	Market	\$0	\$0	\$700,000
2017	Market	\$0	\$0	\$660,000
2016	Market	\$0	\$0	\$660,000
2015	Market	\$0	\$0	\$660,000
2014	Market	\$0	\$0	\$660,000

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Vacant Residential	0	0	1	UT	\$1,150,000

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
7/26/2017	7/25/2017	\$825,000.00	WARRANTY DEED	4410	96	Q	V	WHITMIRE LELAN F & MC CORKLE DENISE M(WIFE)	MECK DAVID A,NICOLE E
	4/19/2002	\$530,000.00	PERSONAL REP	1757	553	U	V	WILBORN JERRY RYMON ESTATE BY PERS REP	WHITMIRE LELAN F & MC CORKLE DENISE M(WIFE)
	4/19/2002	\$0.00	OTHER INSTRUMENT	1757	316	U	V	WILBORN JERRY RYMON ESTATE	WILBORN JERRY RYMON ESTATE (LETT AUTH SALE)
	2/6/2002	\$0.00	LETTERS OF ADMN	1757	314	U	V	WILBORN JERRY RYMON (DECD 12/29/01)	WILBORN JERRY RYMON ESTATE (LETT OF ADMIN)
	5/31/2001	\$485,000.00	WARRANTY DEED	1609	196	Q	V	SONDGERATH LIVING TRUST	WILBORN J RYMON
	8/3/1999	\$100.00	QUIT CLAIM DEED	1438	1826	U	V	SONDERGRATH MARY M	SONDERGRATH MARY M TRUSTEE
	6/26/1996	\$100.00	WARRANTY DEED	1182	1019	U	V	THOMPSON BROS. REALTY INC (1/2 INT)	SONDERGRATH MARY M
	1/26/1996	\$207,000.00	WARRANTY DEED	1154	502	Q	V	THOMPSON PIERRE D	SONDGERATH MARY M

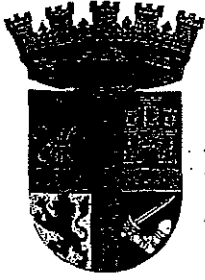
No data available for the following modules: Sales Questionnaire Form, Exemption Information, Building Information, Sketch Information, Extra Feature Information.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.
[User Privacy Policy](#) | [GDPR Privacy Notice](#)
 Last Data Upload: 6/4/2025, 12:09:41 AM

Contact Us



**Attachment 6:
Pelican Reef Cedar
Tree Requirements**



City of St. Augustine



St. Augustine, Florida

Planning/Building

April 5, 1995

Pierre Thompson
Pelican Reef Development Co.
93-D Orange Street
St. Augustine, Florida 32084

RE: Appeal of a Staff Determination/Variance 95-0187
Pelican Reef Subdivision (124 Spartina Avenue)

Dear Mr. Thompson:

On Tuesday, April 4, 1995, the Planning and Zoning Board (PZB) met and discussed your application to appeal a staff determination to enforce the provisions of the Trees and Landscaping Code and to reduce the minimum tree and landscape requirements for a subdivision at Pelican Reef Subdivision.

Specifically, the PZB approved your application to waive the requirement to plant approximately 1600 Southern Red Cedar trees to replace trees removed as a result of the development of infrastructure for the subdivision. In addition, the PZB approved your request to fill mosquito control ditches within the subdivision and to place fill on the subdivision lots up to a maximum height of 6' above mean sea level without obtaining a building permit. The PZB made its determinations with the stipulations that you will require lot owners to maintain a minimum of 10 Southern Red Cedar trees on their individual lots, and that no additional trees may be removed without an approved tree removal permit. The PZB did not provide a variance or waiver to the requirements of the Trees and Landscaping Code as they pertain to the individual lot owners.

Should you have questions regarding this matter, please contact the Planning and Building Division at 825-1060.

Sincerely,

Jean Carver
Citizen Boards Technician

jc

cc: Joseph Pomar, Jr., City Manager
Michael Griffin, CBO, Planning and Building Manager
BDAC File 95-0187



Planning and Zoning Board

Planning Division Staff Report
Planning and Building Department

Public Hearing Date	Agenda Item	Application Number
July 1, 2025	6.a.	PZB2025-0036
Request	Address	Parcel ID
Variance	205 Alcazar St.	216950-0300

Site & Background Information

Applicant & Owner: Anthony Valachovic

Property Class:
(St. Johns County
Property Appraiser) 0100 – Single Family

**Future Land Use
Designation:** [Residential Low Density](#)

Zoning Designation: [Residential Single-Family-Two: RS-2](#)

Acreage: 0.12

Neighborhood: North Davis Shores

Archaeological Zone: N/A

Request Summary

This application is for a **VARIANCE** request to reduce the front yard setback from eight (8) feet to zero (0) and to increase the maximum lot coverage from thirty-five percent to thirty-six percent. Approval of this application would allow the applicant to enclose an existing patio with a screen enclosure and one hundred and fifty (150) square feet of roofed structure at 205 Alcazar Street.

Staff Analysis

Applicable Sections from the City of St. Augustine's Code of Ordinances (Staff Analysis in BOLD text)

Sec. 28-2. – Definitions. [\[LINK TO SECTION\]](#)

Variance means a relaxation of the terms of this chapter where such variance will not be contrary to the public interest and where, owing to conditions peculiar to the property and not the result of the actions of the applicant, a literal enforcement of this chapter would result in unnecessary and undue hardship on the land. As used in this chapter, a variance is authorized only for height, area and size of structure or sides of yards and open spaces. Establishment or expansion of uses otherwise prohibited shall not be allowed by variance, nor shall a variance be granted because of the presence of nonconformities in the zoning district or uses in an adjoining zoning district. A modification to lot requirements so as to increase the permitted density of multifamily dwellings shall not be considered a variance and is specifically prohibited.

Yard, front, means a required yard extending between side lot lines across the front of a lot adjoining a public or private street. In the case of through lots, unless the prevailing front yard pattern on adjoining lots indicates otherwise, front yards shall be provided on all frontages. Where one (1) of the front yards that would normally be required on a through lot is not in keeping with the prevailing yard pattern, the building inspector may waive the requirement for the normal front yard and substitute therefore a special yard requirement, which shall not exceed the average of the yards provided on adjacent lots. **In the case of corner lots, a front yard of the required depth shall be provided on one (1) frontage and a front yard half the required depth shall be provided on the other.** Depth of a required front yard shall be measured at right angles to a straight line joining the foremost points of the side lot lines. The foremost point of the side lot line, in the case of rounded property corners at street intersections, shall be assumed to be the point at which the side and front lot lines would have met without such roundings. Front and rear yard lines shall be parallel. Where lots in residential districts comprising forty (40) percent or more of the frontage on one (1) side of a street between intersecting streets are developed with structures having an average front yard with a variation of not more than six (6) feet, no building thereafter erected shall project beyond the average line so established. This provision applies in all residential districts.

Yard, required, means the open space between a lot line and the buildable area within which no structure shall be located except as provided in this chapter.

Lot coverage means that portion of the lot, excluding open water bodies determined using the mean high water line, that is covered by buildings and structures, measured from the face of the vertical wall of the building or structure, not including roof overhang, but including awnings, carports, or other unenclosed structures.

Sec. 28-119. – Nonconforming lots of record. [\[LINK TO SECTION\]](#)

(6) (b.) On a corner lot, the exterior yard adjoining the secondary street shall be considered a side yard, but the width of the side yard shall not be less than eight (8) feet.

Sec. 28-159. – Height restrictions and maximum lot coverage on non-conforming lots of record in single-family residential districts (RS-1 and RS-2). [\[LINK TO SECTION\]](#)

Notwithstanding any other provisions of this division 3, the allowable maximum height of structures of more than one story proposed for construction within single-family residential districts (RS-1 and RS-2) on a non-conforming lot of record shall be thirty (30) feet, and such structures shall have a minimum roof pitch of 5/12, with dormers limited to twenty (20) percent of the eave length per side. **For the proposed structures subject to this provision, the maximum lot coverage shall be** twenty-nine (29) percent in RS-1 and **thirty-five (35) percent in RS-2.**

	RS-2 Requirements	Non-conforming lots of record Requirements	Proposed Site Conditions
Minimum front yard - Primary	Fifteen (15) feet		N/A
Minimum front yard - Secondary	7.5 feet*	8 feet**	0 feet
Minimum side yard	Ten (10) feet		N/A
Minimum lot width	50 feet		51.7
Minimum lot area	One-eighth acre (5450 sq ft)		.12 5227.2
Maximum lot coverage	Thirty (30) percent	35%***	36%
Maximum height of structures	Thirty-five (35) feet	30 feet	The roof height will be less than the main structure.

*Corner lots, the secondary front shall have a front yard half the required depth of the primary front ([Sec. 28-2 Definitions, “Yard, front”](#)).

** For nonconforming lots on a corner lot, the exterior yard adjoining the secondary street shall be considered a side yard but the width of the side yard shall not be less than eight (8) feet ([Sec. 28-119\(6\)\(b.\)](#)).

*** For RS-2 nonconforming lots of record, the lot coverage is increased to 35 percent. ([Sec. 28-159](#))

Lot Coverage Calculations:

Lot area: 5227.2 sq ft

Existing roofed building(s) footprint (sq ft):	1734
Proposed roofed building (s) footprint (sq ft):	150
Total roofed footprint:	1884

Total roofed footprint divided by lot area = 36.0%

Sec. 28-29. – Zoning exceptions, variances and appeals. [\[LINK TO SECTION\]](#)

The Planning and Zoning Board may grant a variance only under circumstances where practical difficulty or unnecessary hardship is so substantial, serious and compelling that relaxation of the general restrictions should be granted. No variance shall be granted unless the applicant shall show and the board shall find that:

- a. The particular property, because of size, shape, topography or other physical conditions, suffers singular disadvantage through the operation of this section, which disadvantage does not apply to other properties in the vicinity; and
The small size of the lot and having roads/alleys on three sides are a singular disadvantage that does not apply to other properties in the vicinity.
- b. Because of this disadvantage, the owner is unable to make reasonable use of the affected property; and
A screen enclosure placed over the patio at its existing location could not meet setback requirements. The applicant does not address other locations; however, the lot is constrained due to the small size and having roads/alleys on three sides.
- c. This disadvantage does not exist because of conditions created by the owner or applicant; and
The applicant states that construction of the existing patio in its current location took place prior to the current owners purchasing the property.
- d. Grant of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this section.
Granting this variance request may not be contrary to the public interest, may not adversely affect other properties in the vicinity, and may be in harmony with the spirit, intent and purpose of this section.

Staff finds the Board can grant a variance to reduce the front yard setback and increase the lot coverage to allow the applicant to construct a screen enclosure.

Staff Recommendation

Based on a review of Sec. 28-29 staff finds that the Board may **APPROVE** the variance requests for a reduction of the front yard setback to 0 feet and an increase in lot coverage to 36 percent at 205 Alcazar / PID 215040-0000.

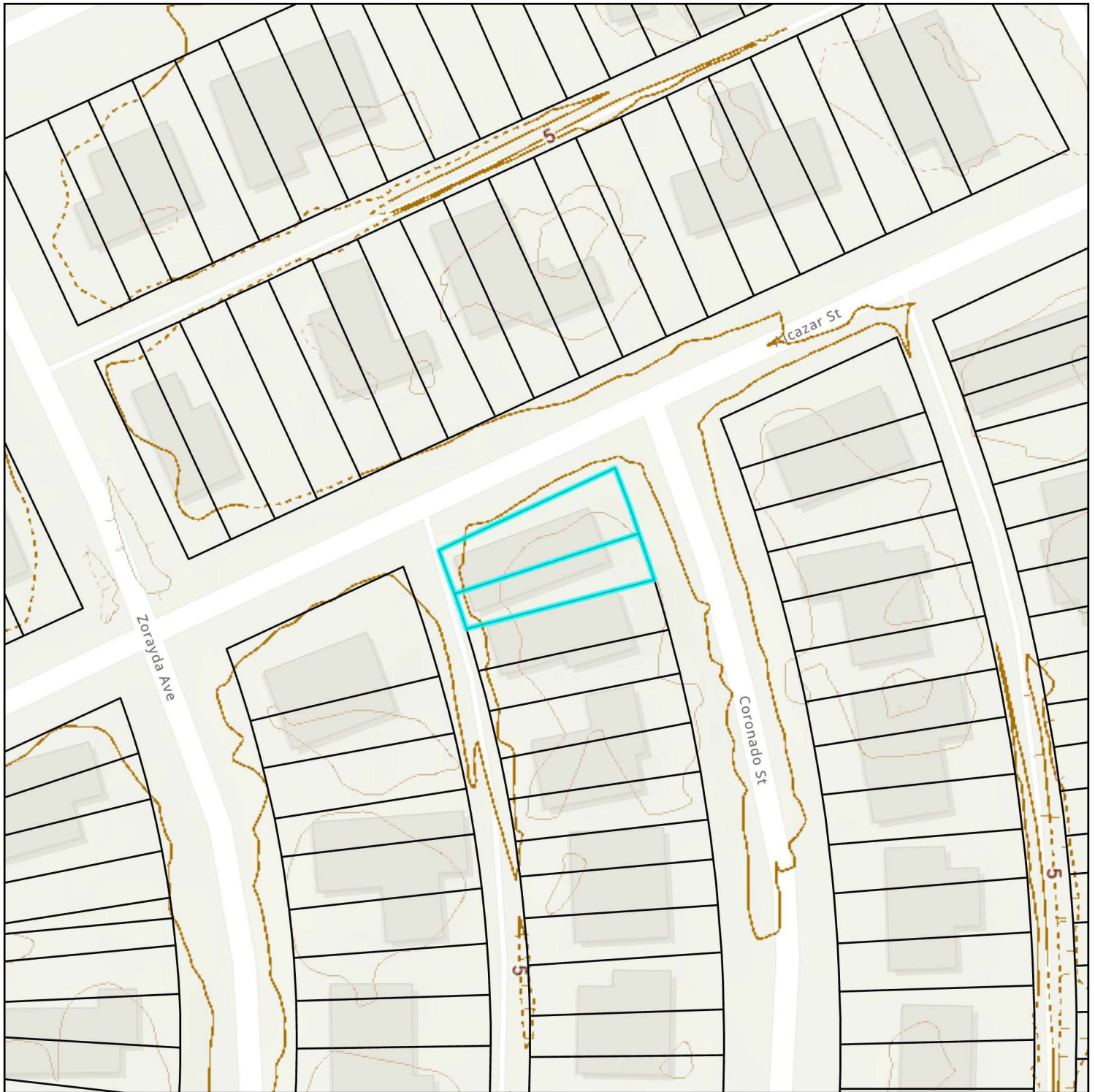
Attachments

1. Site Maps & Photos
2. Application
3. Supplemental Information
4. St. Johns County Property Appraiser Report

Staff Report prepared by:

Sarah Daugherty
Senior Planner
Planning and Building Department

**Attachment 1:
Site Maps
and Photos**



Elevation Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
 This map is for reference only. Data provided are derived from multiple sources with varying levels of accuracy. The City of St. Augustine disclaims all responsibility for the accuracy or completeness of the data shown hereon.

2025

0 0.01 0.01 Miles

0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Legend

Flood Zones FEMA

- AE
- VE



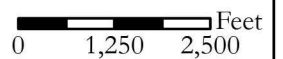
FEMA Flood Zone Map



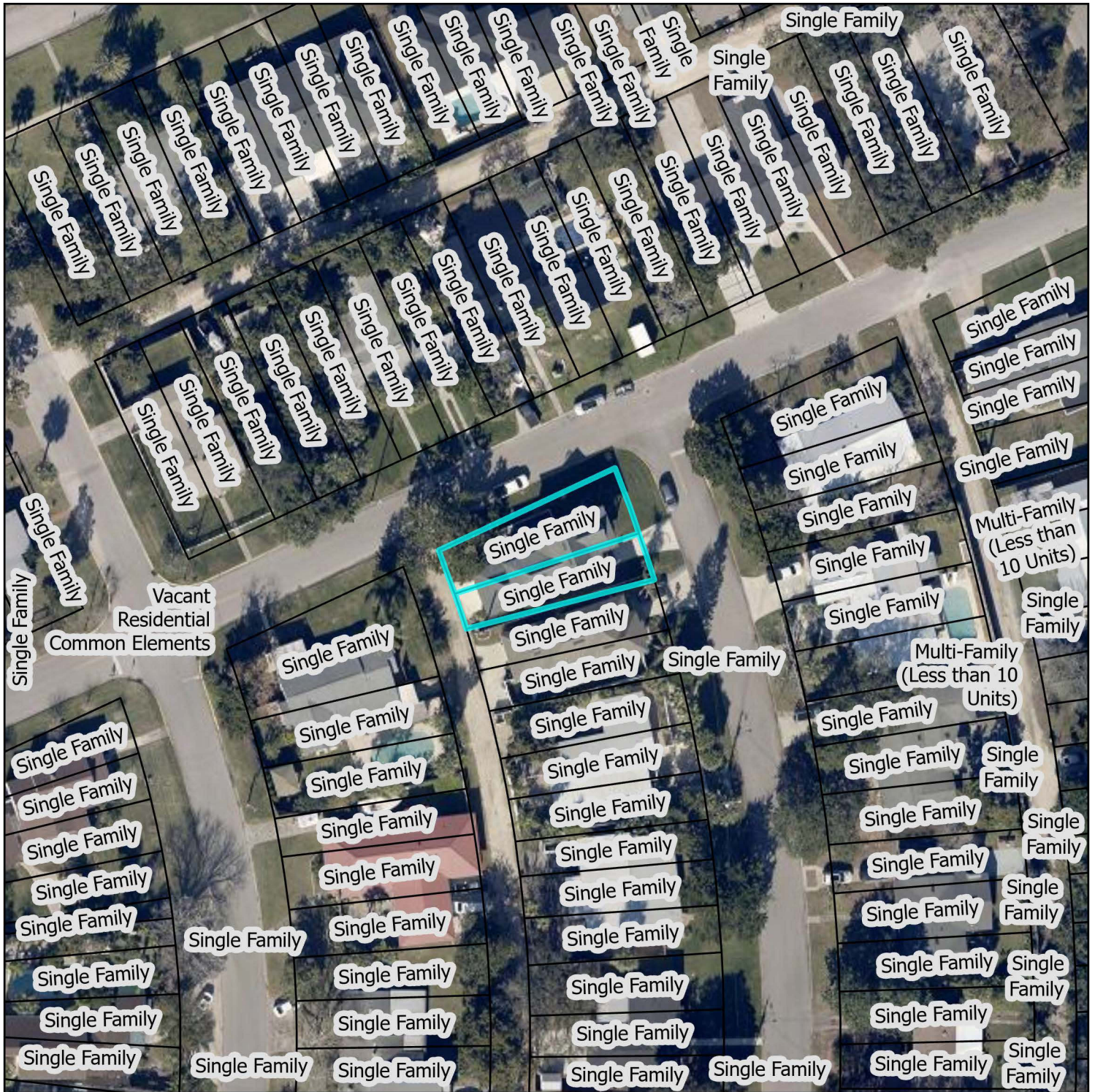
City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

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2025



Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



St. Johns County Property Appraiser Use Classification Map



City of St. Augustine
Planning, Zoning, & Building Department
P.O. Box 210, St. Augustine, FL 32085
Phone: (904) 825-1065

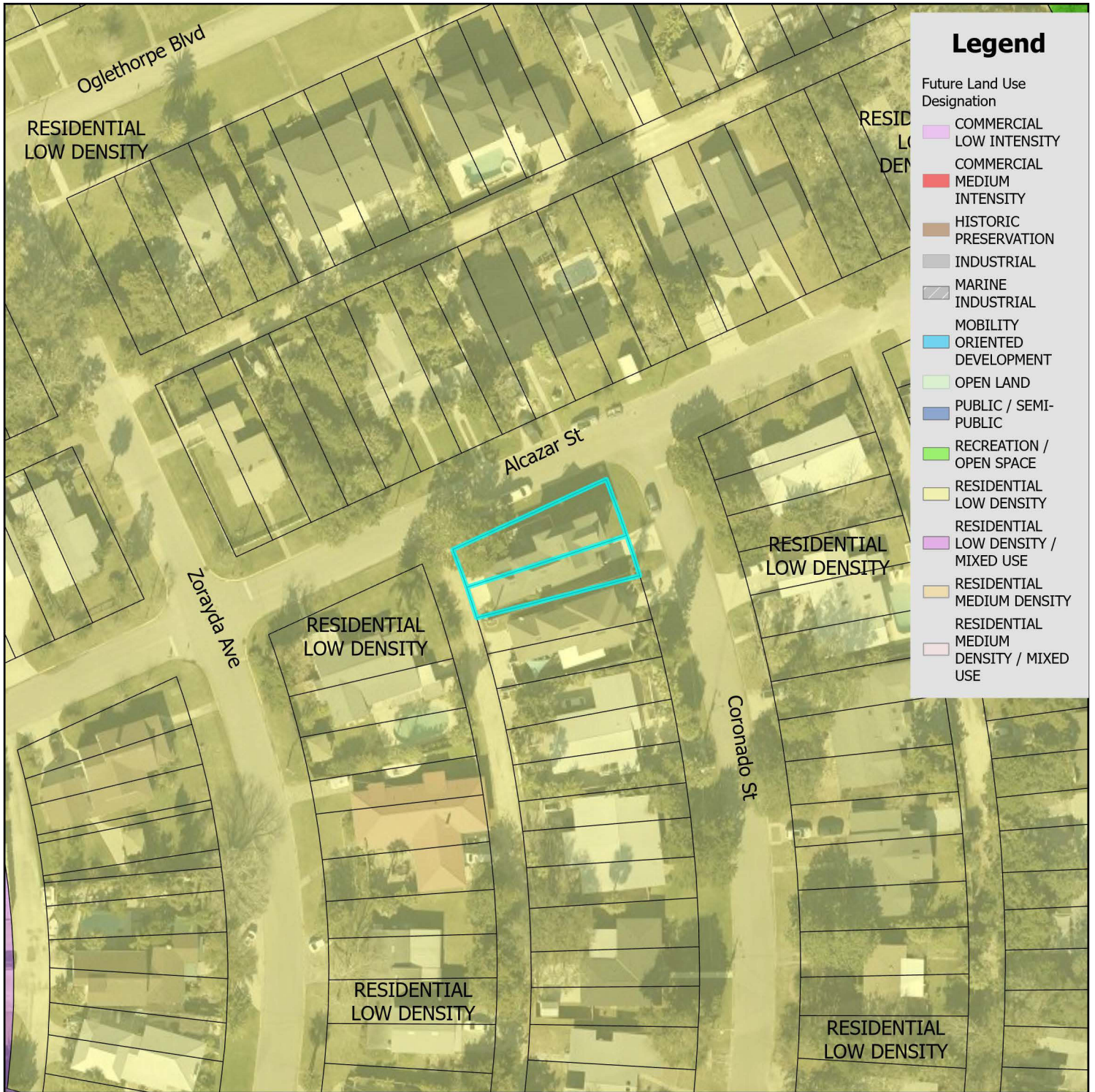
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2025

0 0.01 0.01 Miles

0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Future Land Use Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

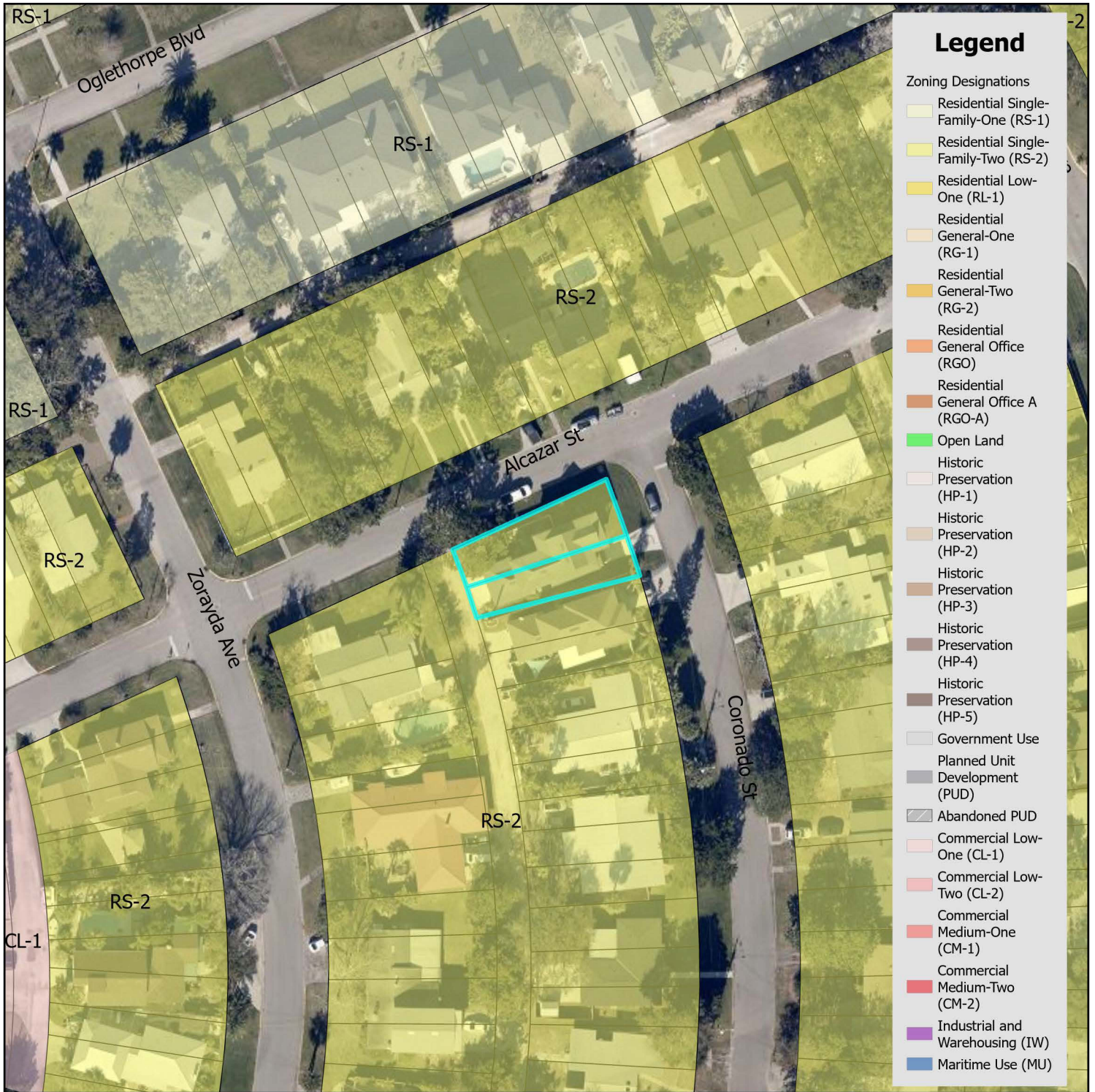
DISCLAIMER
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2025

0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Legend

- Zoning Designations
- Residential Single-Family-One (RS-1)
 - Residential Single-Family-Two (RS-2)
 - Residential Low-One (RL-1)
 - Residential General-One (RG-1)
 - Residential General-Two (RG-2)
 - Residential General Office (RGO)
 - Residential General Office A (RGO-A)
 - Open Land
 - Historic Preservation (HP-1)
 - Historic Preservation (HP-2)
 - Historic Preservation (HP-3)
 - Historic Preservation (HP-4)
 - Historic Preservation (HP-5)
 - Government Use
 - Planned Unit Development (PUD)
 - Abandoned PUD
 - Commercial Low-One (CL-1)
 - Commercial Low-Two (CL-2)
 - Commercial Medium-One (CM-1)
 - Commercial Medium-Two (CM-2)
 - Industrial and Warehousing (IW)
 - Maritime Use (MU)



Zoning Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
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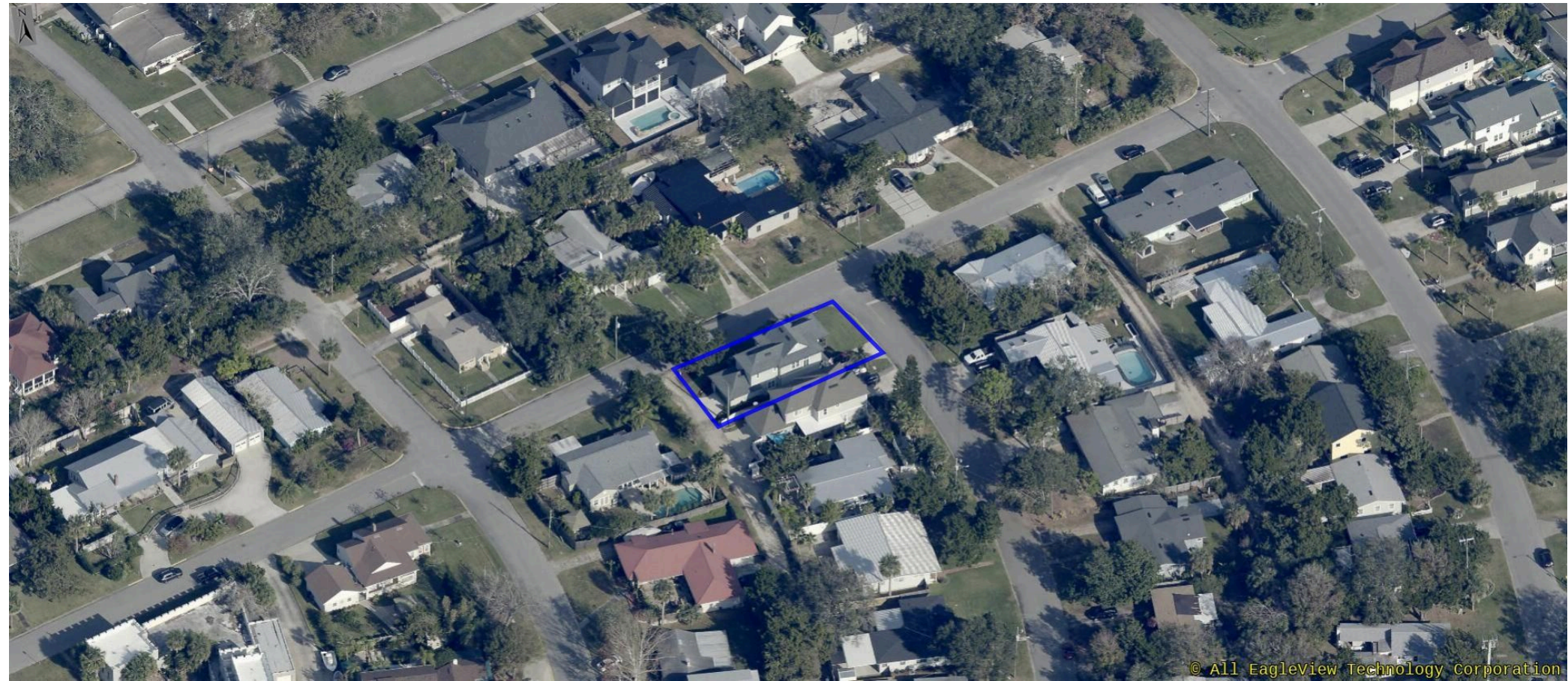
2025

0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

205 Alcazar Street



© All EagleView Technology Corporation

12/08/2024

Attachment 2: Application



**CITY OF ST AUGUSTINE
APPLICATION TO PLANNING AND ZONING BOARD**

Application Fee: \$ 350 (plus advertising costs) Project Number: LD 2025-0097
 Receipt Number: _____ Meeting Date: _____
 Advertising Costs: \$ _____ Paid On: _____ Receipt Number: _____

1. NAME OF APPLICANT: Anthony Valachovic Contact Number: 904-254-6575
 Business (if applicable): _____

Address: 205 Alcazar St. City: St. Augustine State: FL Zip: 32080

E-Mail Address: jag2gator @ comcast.net

2. NAME OF PROPERTY OWNER: Anthony ^{Krista} Valachovic Contact Number: 904-254-6575
 Business (if applicable): _____

Address: 205 Alcazar St. City: St. Augustine State: FL Zip: 32080

E-Mail Address: jag2gator @ Comcast.net

3. LEGAL DESCRIPTION OF PROJECT PROPERTY:

Lot: 30 + 31 Block: 20

Subdivision: North Davis Shore 3-98 Parcel Number: 2169500300

4. PROJECT STREET ADDRESS: 205 Alcazar St.

5. SPECIFIC PROPOSED USE: Add screen enclosure to existing patio

6. ACTION REQUESTED:

- Conservation Zone Development Appeal of Staff Determination
- Exception Land Use Plan Amendment
- Variance Rezoning
- Other: _____

7. DESCRIPTION OF ACTION REQUESTED: I am requesting a setback variance for a screen enclosure over a patio that has existed since the house was built in 2017.

8. JUSTIFICATION FOR ACTION REQUESTED: The existing patio/fence crosses the property line. I propose to survey the property and bring the patio back to the property line and then erect a screen enclosure. The usage of the space will be unchanged therefore there will be no impact on the neighbors.

9. IF APPLYING FOR A VARIANCE, PLEASE COMPLETE THE FOLLOWING AND EXPLAIN THE SITUATION FULLY ALONG WITH PROVIDING DOCUMENTATION:

(a) Does the property because of size, shape, topography or other physical conditions, suffer singular disadvantage, which disadvantage does not apply to other properties in the vicinity: _____

The narrow width of the property restricts the ability to enclose the patio without a variance

(b) Can you establish that this disadvantage causes the owner to be unable to make reasonable use of the affected property: _____

The property is already in use as a patio therefore it seems unreasonable to be prohibited from enclosing the space for protection from bugs.

(c) Can you establish that this disadvantage does not exist because of conditions created by the owner or applicant: _____

The condition existed upon my purchasing the property from the builder in 2017.

(d) Can you establish that granting of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this Section: _____

The usage of the space will be unchanged. We are proposing to exchange the existing fence for a screen enclosure.

10. PREVIOUS APPLICATIONS:

Has any application been submitted to the Planning & Zoning Board concerning any part of the subject property within the past year?

Yes No If yes, please give date and final disposition below.

11. AGREEMENT:

In filing this application, I understand that it becomes a part of Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

Application must be signed by both applicant and property owner if different. Letter of authorization must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of either property owner or applicant.

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

IMPORTANT NOTICE: When the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the Board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the Board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the Code.

[Signature]
Signature of Applicant

4-15-25
Date

[Signature]
Signature of Property Owner

4-15-25
Date



**CITY OF ST. AUGUSTINE
DEVELOPMENT PERMIT APPLICANT WAIVER**

The applicant acknowledges and agrees to waive the limitation of three requests for additional information by the City of St. Augustine, pursuant to Chapter 166.033, Florida Statutes.

The applicant acknowledges and agrees that the City offers weekly Friday Review development review meetings, as well as, department specific applicant meetings with its reviewing staff at any point in the application process to attempt to resolve outstanding issues. The applicant is responsible for scheduling any requested meetings with City staff directly.

The applicant acknowledges and agrees that if after three unresolved submittals the applicant elects to proceed with final approval or denial proceedings, the applicant must request so in writing to the City.

Anthony Valachovic
Print name of applicant

[Signature]
Signature of applicant

4-15-25
Date

PZB APPLICATION FEE SCHEDULE

Planning and Zoning Board fees are set by Resolution 2021-38 as follows:

Description of Work	Fee Amount
Rezoning: small scale	\$300.00 + ads & notices
Rezoning: large scale	\$1,000.00 + ads & notices
Land Use Plan Amendment: small scale	\$400.00 + ads & notices
Land Use Plan Amendment: large scale	\$1,400.00 + ads & notices
Planned Unit Development	\$400.00 or \$35.00/acre, whichever is greater, \$1,400 max + ads & notices
Zoning Variance	\$350.00 + ads & notices
Zoning Exception	\$250.00 + ads & notices
Conservation Overlay Zone Development	\$165.00 + ads & notices
Significant Tree Removal or Appeal of Tree Removal Permit Denial	\$165.00 + ads & notices
Appeal of Staff Determination	\$200.00 + ads & notices
Application to Amend Zoning Code	\$600.00 + ads & notices
Subdivision Plat Review	\$275.00 + ads, notices & additional associated costs

"Note: The cost of newspaper advertisement and all notices to surrounding property owners will be assessed by the city, paid by the city and reimbursed by the applicant. All advertising costs must be paid prior to issuance of a development permit.

The applicant shall reimburse the City the mailing cost for all notices and for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing."

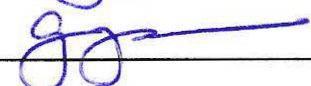
If a Credit Card Authorization Form is used for the payment of fees, the City will maintain the form and automatically charge additional advertising and noticing fees, once determined, to the credit-card account submitted.

By signing below, I acknowledge responsibility for both the initial application fee and any subsequent costs associated with legal advertising and/or noticing and understand that permits associated with my application may not be issued until such fees are paid.

I authorize the Planning and Building Department to maintain my payment information until a final cost for advertising and/or noticing is determined and charged. If a payment method other than Credit Card Authorization Form is used, I understand that I will be sent an invoice for the costs of advertising/noticing which must be paid prior to the issuance of any development permit related to my application. I am aware that I can request a copy of these fees and my receipt from Building Department Staff.

Project Address: 205 Alcazar Street, St. Augustine, FL 32080

Applicant's Name: Anthony Valachovic Applicant's Signature: 

Owner's Name: Anthony Valachovic Owner's Signature: 

CONTRACTOR: GT Pro Construcion
DESIGN CRITERIA:

Applicable Codes, Regulations, and Standards

- The 8th Edition (2023) Florida Building Code, specifically Chapter 16 Structural Design, Chapter 20 Aluminum, and Chapter 23 Wood.
- AA ASM 35 and AA ADMI Specifications for Aluminum Structures, Part I-A of the Aluminum Design Manual prepared by The Aluminum Association, and the AAF Guide to Aluminum Construction in High Wind Areas.
- ASCE 7-22.

Loading Criteria

- Live Load: 10 PSF per 8th Edition (2023) Florida Building Code, Appendix I Section 105.1 at Roof Panel Location.
- Dead Load: 1 PSF
- Wind Load:
 - Building Occupancy Category, Section 1604.5 and Table 1604.5: **Risk Category 1**.
 - Ultimate Design Wind Speed: $V_{ult} = 120$ MPH, Nominal Design Wind Speed: $V_{ASD} = 93$ MPH
 - Exposure Category, Section 1609.4.3: **Exposure C**
 - Screen Enclosure Section 2002.3
- Building Category for Aluminum Structures, Section 2002.6: **Category TYPE 1 - Screen Enclosure / Screen Room: Non-Habitable, Unconditioned**

Roof Type

- Screen Roof Type: **HIPPED GABLE**
- Solid Roof Type: **MONOSLOPE**
- Solid Roof Material: **3" x 48" x 0.024" composite panel Elite 2000, 1.0# density foam, Florida Product Approval Number FL 7561-R7.**

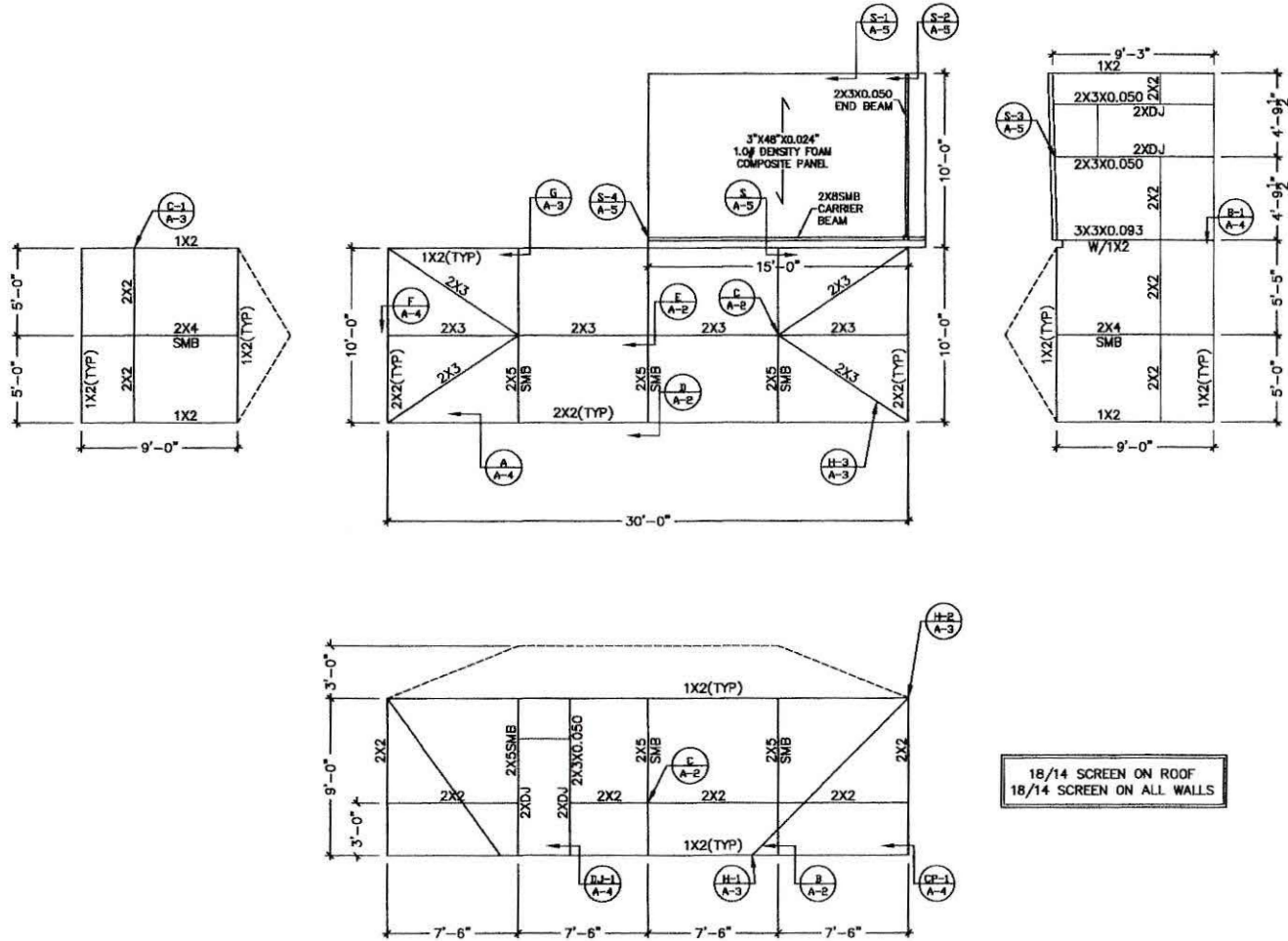
Foundation Design

New Type II 4" Monolithic Concrete Slab - 8" x 8" w/1) #5 Coni, 31" overlap at joints on 3" chairs and poured w/ 2,500 PSI concrete. The foundations are based on a minimum soil bearing pressure of 1,500 psf.

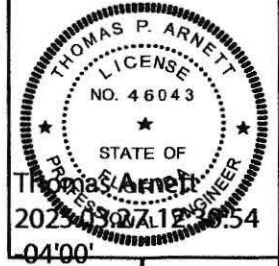
Specifications

The following specifications are applicable to this project:

- Where concrete specifications are required, whether in the screen enclosure scope or not, by one or more regulatory agency, the following specifications are applicable:
 - Concrete shall conform to ASTM C94 for the following components:
 - Portland Cement Type I - ASTM C 150
 - Aggregates - Large Aggregate 3/4" max - ASTM C 33
 - Air entraining +/- 1% - ASTM C 260
 - Water reducing agent - ASTM C 494
 - Clean Potable water
 - Other admixtures not permitted
 - Metal accessories shall conform to:
 - Reinforcing Bars - ASTM A615, grade 60
 - Welded wire fabric - ASTM A185
 - Concrete slump at discharge chute not less than 3" or more than 5". Water added after batching is not permitted.
 - Prepare and place concrete per American Concrete Institute Manual of Standard Practice, Parts 1, 2, and 3 including hot weather recommendations.
 - Moist cure or polyethylene curing permitted.
 - Prior to placing concrete, treat the entire sub-surface area for termities in compliance with the FBC.
 - All aluminum components embedded within concrete shall be coated with a bituminous paint or epoxy.
- Aluminum extrusions shall be 6005 T5 Alloy
- Fasteners are required to be corrosion resistant, minimum SAE Grade 2 or better zinc plated to ASTM B633, or coated stainless steel series "300", or uncoated stainless steel series "400".
- Approved concrete screw anchors to be Simpson Titen-UD or equivalent.
- Minimum concrete coverage / edge distance of 3" required for all concrete anchors.
- All Self-Mating Beam Sections are to be stitched with either #14 screws 6" from ends and 24" center to center or #12 screws 6" from ends and 12" center to center.
- The minimum nominal thickness of protector panels (kickplates) shall be an industry standard of 0.024 inches.
- Screened enclosures containing swimming pools shall comply with the applicable requirements of FBC R4501.17 Residential Swimming Barrier requirements.
- Screen material shall be 18/14 screen unless approved by Florida Aluminum Engineering, Inc.
- Door location shall be determined by contractor in the field. The Contractor shall locate and determine if the FBC requires Egress Door/s.
- When installing pavers over concrete slab or footing which are supporting aluminum members, such as continuous screen tracks or upright, the pavers must be bonded to the concrete with an epoxy, thinset, or 3,000 PSI grout to ensure full positive contact with concrete.
- All flashing and waterproofing shall be provided by the contractor.
- Use of these plans acknowledges and accepts a limit of liability not to exceed design and engineering fee.



This item has been electronically signed and sealed by T.P. Arnett, PE. using a Digital Signature with date and time. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



PROFESSIONAL ENGINEER
 THOMAS P. ARNETT, P.E.
 LICENSE NO. #46043

FLORIDA ALUMINUM
 ENGINEERING, INC.
 5601 MARINER STREET, SUITE 240
 TAMPA, FL 33634
 TEL: (813) 374-9200
 FAX: (813) 374-9315

FLORIDA BUSINESS REGISTRY LICENSE NO. 33287

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PROJECT ADDRESS:
 VALACHOVIC
 205 ALCAZAR STREET
 ST AUGUSTINE
 FL 32086

DRAWN BY
 TP

DATE DRAWN
 03/26/25

REVISION

△	-
△	-
△	-
△	-

SHEET NO:

A-1

ALUMINUM MEMBERS DIMENSIONS

HOLLOW SECTIONS

- 2 x 2: 2" x 2" x 0.046"
- 2 x 3: 2" x 3" x 0.050"
- 2 x 4: 2" x 4" x 0.050"
- 2 x 5: 2" x 5" x 0.050"

OPEN BACK SECTIONS

- 1 x 2: 1" x 2" x 0.040"
- 1 x 3: 1" x 3" x 0.045"

SNAP SECTIONS

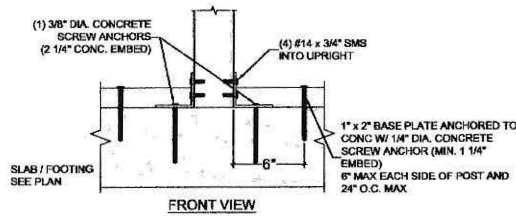
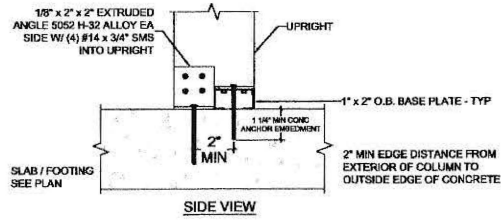
- 2 x 2 Snap: 2" x 2" x 0.045"
- 2 x 3 Snap: 2" x 3" x 0.050"
- 2 x 4 Snap: 2" x 4" x 0.045"

SELF MATING (SMB)

- 2 x 4 SMB: 2" x 4" x 0.044" x 0.100"
- 2 x 5 SMB: 2" x 5" x 0.050" x 0.100"
- 2 x 6 SMB: 2" x 6" x 0.050" x 0.120"
- 2 x 7 SMB: 2" x 7" x 0.057" x 0.120"
- 2 x 8 SMB: 2" x 8" x 0.072" x 0.124"
- 2 x 9 SMB: 2" x 9" x 0.072" x 0.124"
- 2 x 10 SMB: 2" x 10" x 0.092" x 0.398"

MINIMUM FASTENER EDGE DISTANCE: 1/2"
MINIMUM FASTENER SPACING: 3/4"

CONCRETE SCREW ANCHOR:
SIMPSON TITEN HD OR EQUIVALENT
SHEET METAL SCREWS (SMS):
ITW / BULDEX OR EQUIVALENT



B 2" x 4" OR LARGER UPRIGHT TO CONCRETE DETAIL
A-2 SCALE: NTS

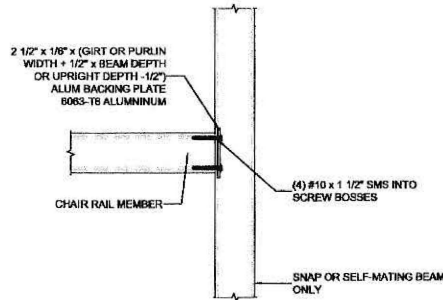
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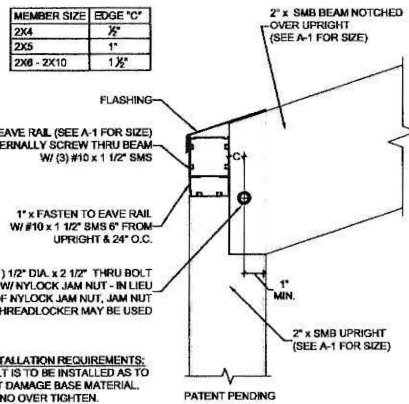
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THOMAS P. ARNETT, P.E.
LICENSE NO. #46043

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5601 MARINE STREET, SUITE 240
CORAL GABLES, FL 33146
TEL: (813) 374-9008
FAX: (813) 374-5315

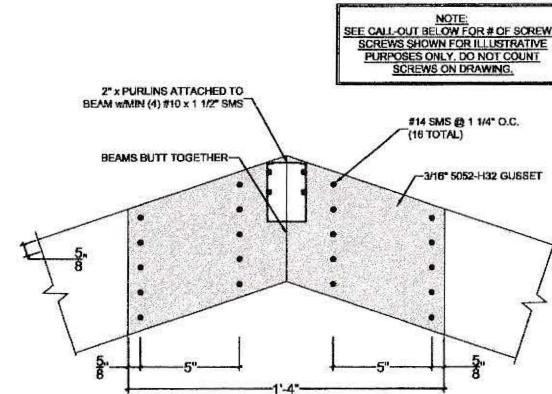
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C PURLIN OR GIRT TO BEAM OR POST DETAIL
A-2 SCALE: NTS



D UPRIGHT TO BEAM CONNECTION
A-2 SCALE: NTS



E TYPICAL INTERNAL OR EXTERNAL GUSSET DETAIL - RIGID MEDIUM
A-2 SCALE: NTS

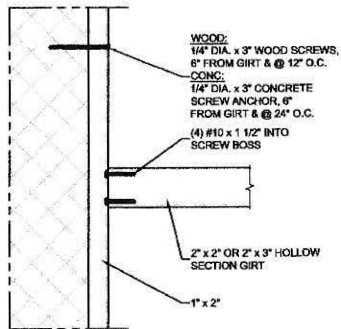
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FL 32080

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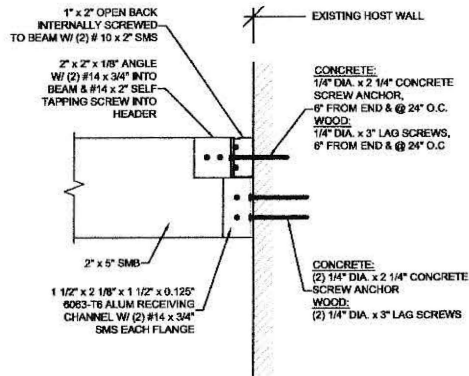
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SHEET NO.

A-2

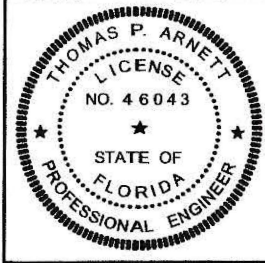


C-1
A-3 1X2 TO HOST STRUCTURE DETAIL
SCALE: NTS



G
A-3 BEAM TO HOST STRUCTURE ATTACHMENT DETAIL
SCALE: NTS

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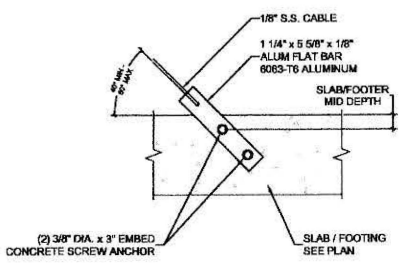
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THOMAS P. ARNETT, P.E.
LICENSE NO. #46043

FLORIDA ALUMINUM
ENGINEERING, INC.
5501 MANORIA STREET, SUITE 240
MARIETTA, GA 30067
TEL: (813) 374-2403
FAX: (813) 374-5516
FLORIDA BUSINESS REGISTRY LICENSE NO. 32807

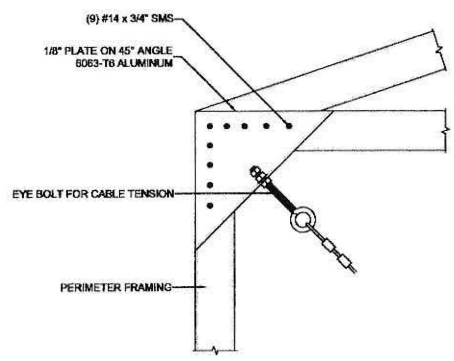
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FL 32080

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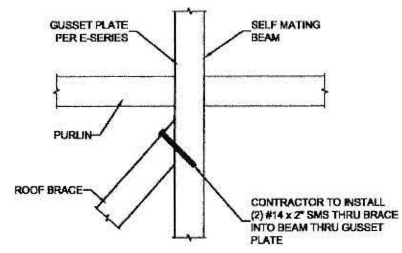
SHEET NO:
A-3



H-1
A-3 CABLE CONNECTIONS AT FOUNDATION
SCALE: NTS

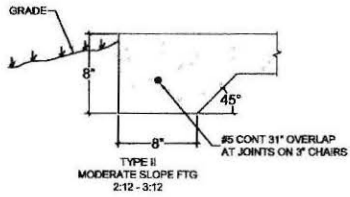


H-2
A-3 CABLE CONNECTION AT CORNER
SCALE: NTS



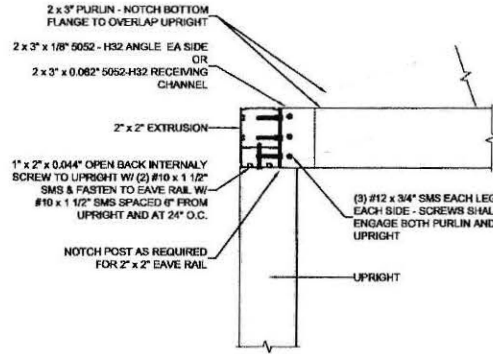
H-3
A-3 ROOF BRACING DETAIL
SCALE: NTS

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- NOTES FOR ALL FOUNDATION TYPES:**
1. THE FOUNDATIONS SHOWN ARE BASED ON A MIN SOIL BEARING PRESSURE OF 1,500 PSF.
 2. THE SLAB/FOUNDATION SHALL BE CLEARED OF DEBRIS, ROOTS AND COMPACTED PRIOR TO PLACEMENT OF CONC.
 3. CONCRETE SHALL BE PER SPECIFICATIONS ON SHEET A-1.
 4. FIBERMESH MAY BE USED IN LIEU FOR WELDED WIRE MESH.
 5. VAPOR BARRIER NEED NOT BE INSTALLED FOR EXTERIOR NON-HABITABLE CONCRETE FLAT WORK, UNLESS REQUIRED BY FBRC-H318.1.4

A
A-4 TYPE II FOOTING
SCALE: NTS



F
A-4 UPRIGHT TO PURLIN CONNECTION DETAIL
SCALE: NTS

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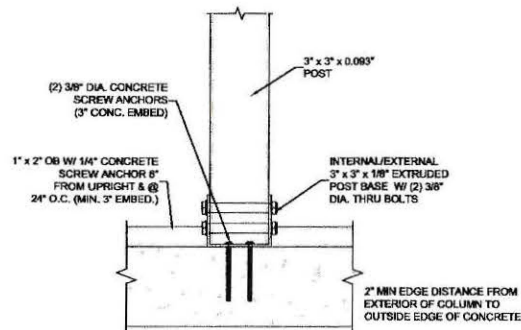


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LICENSE No. #46043

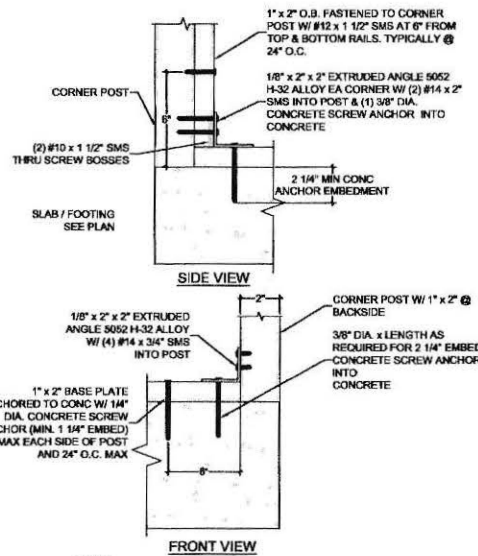
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ENGINEERING, INC.
5602 MARINER STREET SUITE 240
TAMPA, FL 33609
TEL: (813) 374-4515
FAX: (813) 374-4516

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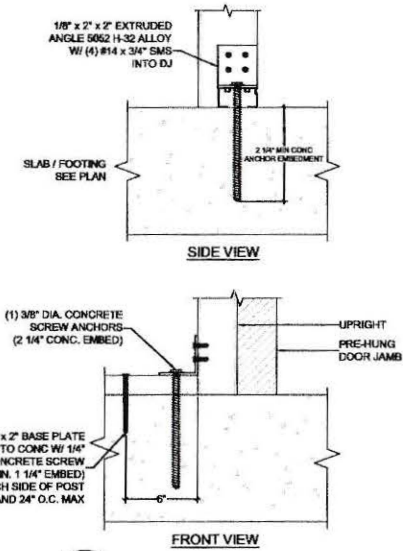
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B-1
A-4 3" x 3" POST TO CONCRETE CONNECTION DETAIL
SCALE: NTS



CP-1
A-4 CORNER POST TO CONCRETE DETAIL
SCALE: NTS



DJ-1
A-4 UPRIGHT TO CONCRETE @ PRE-HUNG DOOR LOCATION DETAIL
SCALE: NTS

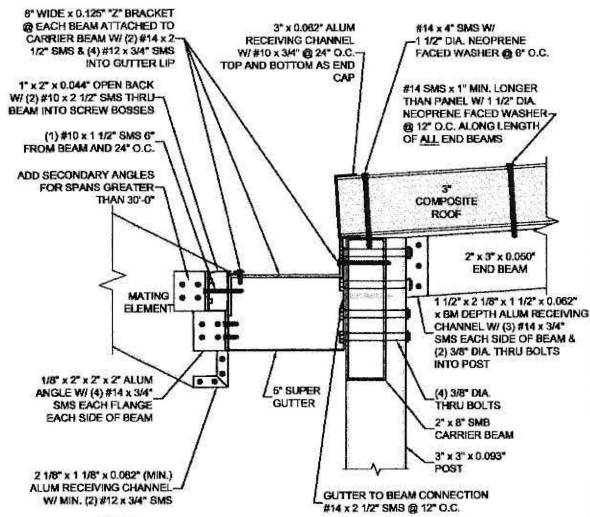
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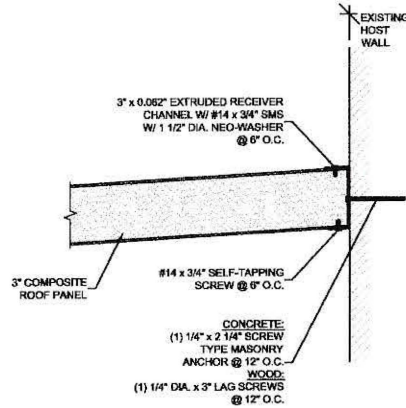
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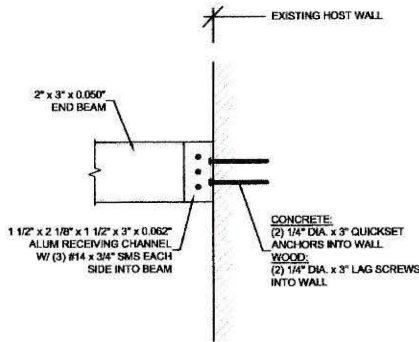
A-4



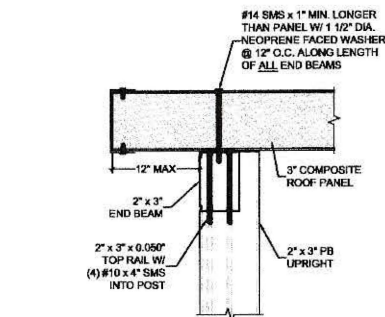
S-1
A-5 GUTTER BRACE TO BEAM ATTACHMENT DETAIL
SCALE: NTS



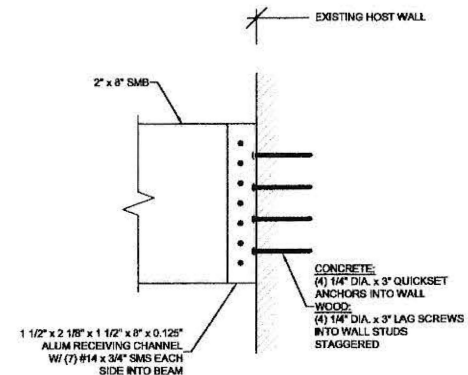
S-2
A-5 COMPOSITE PANEL TO HOST CONNECTION DETAIL
SCALE: NTS



S-3
A-5 BEAM TO HOST STRUCTURE ATTACHMENT DETAIL
SCALE: NTS

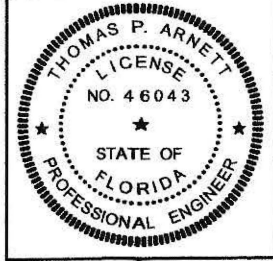


S-4
A-5 SIDE WALL POST TO BEAM CONNECTION
SCALE: NTS



S-5
A-5 BEAM TO HOST STRUCTURE ATTACHMENT DETAIL
SCALE: NTS

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PROFESSIONAL ENGINEER
THOMAS P. ARNETT, P.E.
LICENSE NO. #46043

FLORIDA ALUMINUM
ENGINEERING, INC.
5601 WARRIEN STREET SUITE 240
MIRAGE, FL 32909
TEL: (813) 374-4316
FAX: (813) 374-4316

PROJECT ADDRESS:
VALACHOVIC
205 ALCAZAR STREET
ST AUGUSTINE
FL 32080

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SHEET NO:
A-5

**Attachment 3:
Supplemental
Information**





House

Present
roof

Proposed screen
with solid roof
150 SF

Proposed Screen
with Screen roof

Attachment 4:
St. Johns County Property
Appraiser Report

St. Johns County, FL

Apply for Exemptions

Apply for Exemptions

Homestead Compliance

This form is not a Homestead Exemption application. To apply online for homestead and related exemptions, please click [here](#).

Homestead Compliance

2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID 2169500300
Location Address 205 ALCAZAR ST
SAINT AUGUSTINE 32080-0000
Neighborhood Davis Shores North (589.01)
Tax Description* 3-98 DAVIS SHORES LOTS 30 & 31 BLK 20 OR4354/514
**The Description above is not to be used on legal documents.*
Property Use Code Single Family (0100)
Subdivision Davis Shores Ocean View Section
Sec/Twp/Rng 17-7-30
District City of St Augustine (District 452)
Millage Rate 18.72
Acreage 0.120
Homestead Y

[Click Here to Open Cyclomedia Viewer in a New Tab](#)



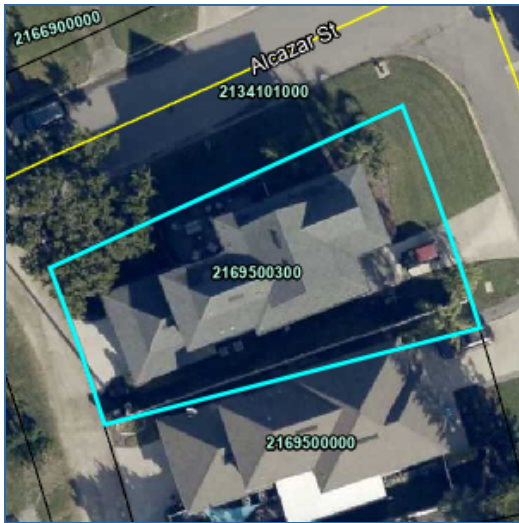
Owner Information

Owner Name Valachovic Krista M,Anthony J 100%
Valachovic Anthony J 100%
Mailing Address 205 ALCAZAR ST
SAINT AUGUSTINE, FL 32080-0000

Exemption Information

Exemption Type	Status	Amount
Homestead		\$50,722

Map



Valuation Information

Assessed Year	2025
Valuation Method	Market
Building Value	\$306,356.00
Extra Features Value	\$0.00
Total Land Value	\$156,975.00
Agricultural (Assessed) Value	\$0.00
Agricultural (Market) Value	\$0.00
Just Market	\$463,331.00
Total Deferred	\$136,673.00
Assessed Value	\$326,658.00
Total Exemptions	\$50,722.00
Taxable Value	\$275,936.00

Values listed are from our working tax roll and are subject to change.

Historical Assessment Information

Year	Valuation Method	Building Value	Extra Feature Value	Total Land Value
2024	Market	\$296,813	\$0	\$156,975
2023	Market	\$299,841	\$0	\$156,975
2022	Market	\$417,244	\$0	\$124,240
2021	Market	\$305,685	\$0	\$94,185
2020	Market	\$308,836	\$0	\$79,534
2019	Market	\$247,298	\$0	\$79,534
2018	Market	\$236,297	\$0	\$75,348
2017	Market	\$0	\$0	\$68,022
2016	Market	\$0	\$0	\$68,022
2015	Market	\$0	\$0	\$52,325
2014	Market	\$0	\$0	\$43,953

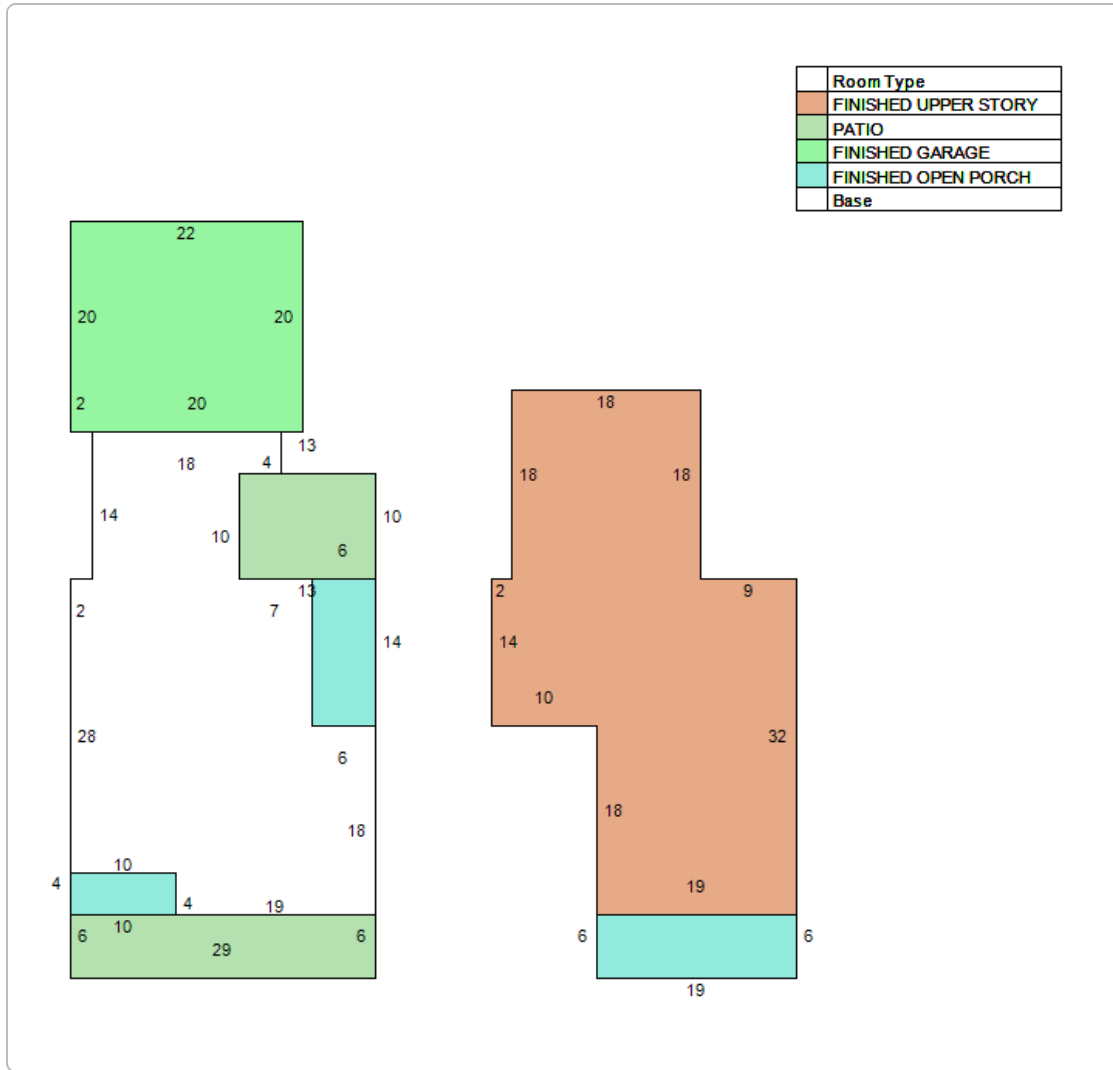
Building Information

Building	1	Roof Cover	Composite Shingle
Building Value	\$306,356	Roof Structure	Gable Hip
Year Built	2017	Interior Flooring	Hardwood
Actual Area	3070	Interior Wall	Drywall
Conditioned Area	2088	Heating Type	Air Duct
Use	Single Family Residence	Air Conditioning	Central
Style	01	Bedrooms	3
Exterior Wall	Concrete Siding	Baths	2.5

Description	Square Footage
BASE AREA	1016
FINISHED OPEN PORCH	40
FINISHED GARAGE	440
PATIO/SLAB	130
FINISHED OPEN PORCH	84
PATIO/SLAB	174

Description	Square Footage
FINISHED UPPER STORY	1072
FINISHED OPEN PORCH	114
Total SqFt	3070

Sketch Information



Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Single Family	46	100	46	EF	\$156,975

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
4/5/2017	3/31/2017	\$439,900.00	WARRANTY DEED	4354	514	Q	I	COASTAL LIVING HOME BUILDERS LLC	VALACHOVIC KRISTA M, ANTHONY J
2/10/2017	2/7/2017	\$0.00	CORRECTIVE QUITCLAIM	4329	1772	U	V	COAST LIVING HOME BUILDERS LLC	COASTAL LIVING HOME BUILDERS LLC
9/20/2016	9/20/2016	\$100.00	QUIT CLAIM DEED	4258	1524	U	V	LOTS 30 & 31 CORONADO LAND TRUST D: 4-26-2016	COAST LIVING HOME BUILDERS LLC
4/29/2016	4/26/2016	\$125,000.00	WARRANTY DEED	4184	518	Q	V	HOBGOOD RON A, JAYNE M	LOTS 30 & 31 CORONADO LAND TRUST D: 4-26-2016
	7/2/2008	\$118,500.00	WARRANTY DEED	3106	413	Q	V	SASSER DOUGLAS M	HOBGOOD RON A, JAYNE M

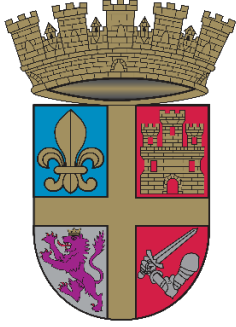
No data available for the following modules: Sales Questionnaire Form, Extra Feature Information.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.

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[Last Data Upload: 5/29/2025, 12:09:06 AM](#)

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 **SCHNEIDER**
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Planning and Zoning Board

Planning Division Memorandum
Planning and Building Department

TO: Planning and Zoning Board

DATE: July 1, 2025

SUBJECT: PZB2025-0047
15 Garnett Avenue

This item has been **ADMINISTRATIVELY CONTINUED** to the August 5, 2025, Planning and Zoning Board meeting.



Planning and Zoning Board

Planning Division Staff Report
 Planning and Building Department

Public Hearing Date	Agenda Item	Application Number
July 1, 2025	7.a.	PZB2025-0049
Request	Address	Parcel ID
Use by Exception	120 La Quinta Place	202210-0000
		[LINK TO ST. JOHNS COUNTY PROPERTY APPRAISER'S WEBSITE]

Site & Background Information

Applicant:	James G. Whitehouse, Esq.
Owner:	Richard Dettra / Dettra Living Trust
Property Class: (St. Johns County Property Appraiser)	0100 – Single Family
Future Land Use Designation:	Commercial Low Intensity
Zoning Designation:	Commercial Low-One: CL-1 [LINK TO DISTRICT REGULATIONS]
Acreage:	0.34
Neighborhood:	Lincolnville
Archaeological Zone:	IIIA

Request Summary

This application is a request to construct a parking lot at 120 La Quinta Place, a use by exception under Sec. 28-347 of the City Code. [[LINK TO CODE SECTION](#)]

This request is part of a proposal to develop the site at 115 La Quinta Place for retail, office, and restaurant uses. One of the requirements under Sec. 28-347. – Supplementary regulations for certain uses require that parking lots be within four hundred (400) feet of a property requiring off-street parking, which the property at 120 La Quinta Place does.

	115 La Quinta Place	120 La Quinta Place
Proposed on-site off-street automobile parking spaces	Twenty-one (21)	Seventeen (17)
Proposed use(s)	Retail/office: 2,046 square feet Restaurant: 5,000 square feet	Single-family home
Minimum City Code required off-street automobile parking spaces	Retail/office: seven (7) Restaurant: twenty-five (25)	Single-family home: two (2)

In total, the minimum number of off-street automobile parking spaces required by City Code, which were last significantly modified in 1988, is thirty-four (34); the applicant proposes thirty-eight (38).

Consistency with the City of St. Augustine Comprehensive Plan 2040

Goal, Policy, or Objective	Staff Analysis
Future Land Use Element [LINK TO DOCUMENT]	
<p>Policy 2.1.3</p> <p>The City shall encourage the development of undeveloped pockets and enclaves within developed areas to utilize existing facilities efficiently and reduce urban sprawl.</p>	<p>This proposal is consistent with the city’s policy to encourage the development of undeveloped pockets within developed areas such as La Quinta Place.</p>
<p>Policy 2.2.1</p> <p>The City's land use plan shall prioritize infill, redevelopment and mixed-use developments, as well as, compact and contiguous developments within the City of St. Augustine.</p>	<p>This proposal is consistent with the city’s policy to prioritize infill and redevelopment.</p>
<p>Objective 3.2</p> <p>The City shall encourage redevelopment and renewal of areas that are exhibiting evidence of decline (i.e., disproportionate number of vacant, dilapidated and/or substandard structures) or blight through</p>	<p>This proposal is consistent with the city’s objective to encourage redevelopment and renewal of areas that are exhibiting evidence of decline such as 115 La Quinta Place.</p>

<p>redevelopment programs and through maintaining land development codes that contain standards and procedures to encourage redevelopment where desirable</p>	
<p>Policy 5.4.2</p> <p>Mixed-use, infill and redevelopment will be encouraged to potentially reduce greenhouse gases. The effectiveness will be evaluated as baseline data becomes available.</p>	<p>This proposal is consistent with the city’s policy to encourage infill and redevelopment to potentially reduce greenhouse gases with a more walkable built environment.</p>
<p>Policy 6.1.4</p> <p>The land development code shall determine where buffers shall be required between adjacent land uses. Buffers may be either prescriptive standards or variable and shall be defined in the land development code. Buffers may serve one or more of the following purposes: provide functional separations between dissimilar uses; provide landscaping adjacent to parking lots and other vehicle use areas; and provide protection from uses that may have some degree of incompatibility that can be mitigated wholly or partially to protect against light, glare, noise or appearance.</p>	<p>This proposal is consistent with the city’s policy to implement buffers between differing land uses by adhering to the requirements of Chapters 25 and 28.</p>
<p>Policy 6.5.1</p> <p>Commercial Low Intensity</p> <p>This district is intended to apply to areas where small groups of low intensity commercial uses may be appropriately located to serve within convenient traveling distance from one (1) or several neighborhoods. The district is intended for low traffic generating commercial uses including general retail sales and service-related uses intended to serve the local neighborhoods. In addition, professional and business offices, compatible tourist accommodations and similar uses are encouraged. Appropriate uses may include recreation, public and institutional uses, Open Land (Conservation), multi-family, and residential or non-residential mixed uses.</p> <p>Residential Uses Single or multi-family uses to a maximum of 16 dwelling units per acre.</p>	<p>The proposed general retail, professional and business offices, and tourist accommodations are consistent with the Commercial Low Intensity future land use designation.</p>

<ul style="list-style-type: none"> • Not more than fifty percent (50%) of the Commercial Low Intensity designation shall be permitted for residential use. Other uses Maximum lot coverage of 60%; maximum height restriction of 35 feet. <p>To encourage mixed use developments:</p> <ul style="list-style-type: none"> • Residential uses included in mixed use developments shall occupy a minimum of 20% and a maximum of 40% of the development area, unless otherwise approved by the PZB. • Commercial uses included in a residential mixed-use development shall occupy a minimum of 40% and a maximum of 60% of the development area, unless otherwise approved by the PZB. • Mixed use commercial projects are encouraged. 	
Historic Preservation Element [LINK TO DOCUMENT]	
<p>Goal 3</p> <p>Preserve and protect the historic and authentic character of St. Augustine to minimize the demolition of older, historic buildings and structures.</p>	<p>This proposal is consistent with the city’s goal to minimize the demolition of older, historic buildings and structures by preserving the existing structure at 120 La Quinta Place.</p>
Conservation and Coastal Management Element [LINK TO DOCUMENT]	
<p>Policy 2.16.13</p> <p>Development and redevelopment in the City shall utilize strategies, site development techniques, engineering solutions, and best practices to reduce the flood risk and losses due to flooding in the City, including but not limited to:</p> <ol style="list-style-type: none"> 1. Green street techniques to divert, capture or absorb water in a way to reduce flood impacts on private property, including, but not limited to street trees, landscaped areas and vegetative curb extensions, bioswales, vernacular streetscapes, and roadway redesign; 2. Hybrid stormwater master plan to integrate a combination of green and gray infrastructure, including but not limited to bioretention, increasing pipe capacity, stormwater parks, rain 	<p>This proposal has the potential to be more consistent with the city’s policy for redevelopment to utilize strategies to reduce the impacts of flooding through the inclusion of permeable pavement and other site development techniques.</p>

<p>garden/bioswales, pumps, and water flow diversion strategies;</p> <p>3. Underground utilities in vulnerable and feasible areas;</p> <p>4. Assess parking standards and redesign parking lots with greater water capture techniques;</p> <p>5. Comprehensive planning;</p> <p>6. Land development regulations;</p> <p>7. Increases of setback lines;</p> <p>8. Natural shoreline restoration;</p> <p>9. Permeable pavement;</p> <p>10. Dry and wet flood proofing of structures; and</p> <p>11. Green/open space.</p>	
Recreation and Open Space Element [LINK TO DOCUMENT]	
Transportation and Mobility Element [LINK TO DOCUMENT]	
Housing Element [LINK TO DOCUMENT]	
Infrastructure Element [LINK TO DOCUMENT]	

Staff Analysis of Request and Applicable Sections from the City of St. Augustine’s Code of Ordinances

Sec. 28-2. – Definitions. [[LINK TO CODE SECTION](#)]

Exception means a use that would not be appropriate generally or without restriction throughout the zoning district but which, if controlled as to number, area, location or relation to the neighborhood would promote the public health, safety, welfare, morals, order, comfort, convenience, appearance, prosperity or general welfare. Such uses may be permitted in such zoning district as exceptions, if specific provision for such exception is made in the district regulations of this chapter.

Parking facility means a structure or lot used for the storage of more than three (3) vehicles.

Sec. 28-29. – Zoning exceptions, variances and appeals. [[LINK TO CODE SECTION](#)]

(a) *Zoning exceptions:*

- (1) *In general.* In the granting of zoning exceptions, the planning and zoning board may provide such conditions and safeguards as may be appropriate of this chapter (see [section 28-2](#), Exception).
- (2) *Written applications.* All applications for an exception under this chapter shall be in writing in such form as may be prescribed by the board.
- (3) *Public hearing.* Unless a longer time shall be agreed upon by the applicant and the board in the particular case, a public hearing shall be held by the board to consider any application for a zoning exception within not more than thirty (30) days from the date of filing of the completed application. Notice of public hearing shall be made as provided in [section 28-59](#)(a) and (b), and any party shall be heard in person or by agent or attorney.
- (4) *Violations of exceptions.* The violation of the terms of an exception, including any conditions and safeguards which may be made a part thereof, shall be deemed a violation of this chapter and punishable as provided in this chapter.

Sec. 28-347. – Supplementary regulations for certain uses. [\[LINK TO CODE SECTION\]](#)

(3) *Parking lots.* Off-street parking lots shall be a permissible use by exception in all districts where such lots are within four hundred (400) feet of premises requiring off-street parking; such lots in residential districts shall also conform to the following:

(a) A six-foot solid masonry wall or fence shall be erected along all property lines adjunct to residentially zoned property.

Proposal complies; a six (6) foot fence is shown along property lines.

(b) No source of illumination for such lots shall be directly visible from any window in any residence in the residential district.

Proposal complies; note “b.” on the submitted site plan, which states “no source of illumination for such lots shall be directly visible from any window in any residence in the residential district.”

(c) There shall be no movement of any vehicles on such lots between the hours of 11:00 p.m. and 7:00 a.m.

Proposal complies; note “c.” on the submitted site plan, which states “there shall be no movement of any vehicles on such lots between the hours of 11:00 P.M. and 7:00 A.M.”

(d) There shall be no sales or service activity of any kind on such lots.

Proposal complies; note “d.” on the submitted site plan, which states “there shall be no sales or service activity of any kind on such lots.”

(e) Vehicles prohibited from being parked in residential districts by [section 28-336](#) shall not be permitted to be parked on such lot.

Proposal complies; note “e.” on the submitted site plan, which states “vehicles prohibited from being parked in residential districts by section 28-336 shall not be permitted to be parked on such lot.”

(f) All parking lots shall be paved with erosion-resistant material in accordance with city specifications (see division 2 of this article).

Compliance with this requirement will be required during the civil engineering plan review process administered by the city.

Sec. 28-373. – Required off-street parking. [\[LINK TO CODE SECTION\]](#)

(d) *Minimum spaces required:*

	Use	1 Space Per Gross Floor Area (Sq. Ft.)	1 Space Per Rates Patron Capacity	Units, Seats, Rooms, Spaces	Special Requirements
(26)	Professional/business office	400			
(27)	Restaurant	75 patron area (nonfixed seating)	or 4 patrons (fixed seating)		and 1 per 200 sq. ft. nonpatron area
(41)	Business, commercial, or service establishments	300			

Staff Recommendation

Based on a review of Sec. 28-29 staff finds that the Board may **APPROVE** the off-site parking lot use by exception request at 120 La Quinta Place / PID 202210-0000 as it meets the requirements of Sec. 28-347. – Supplementary regulations for certain uses.

Attachments

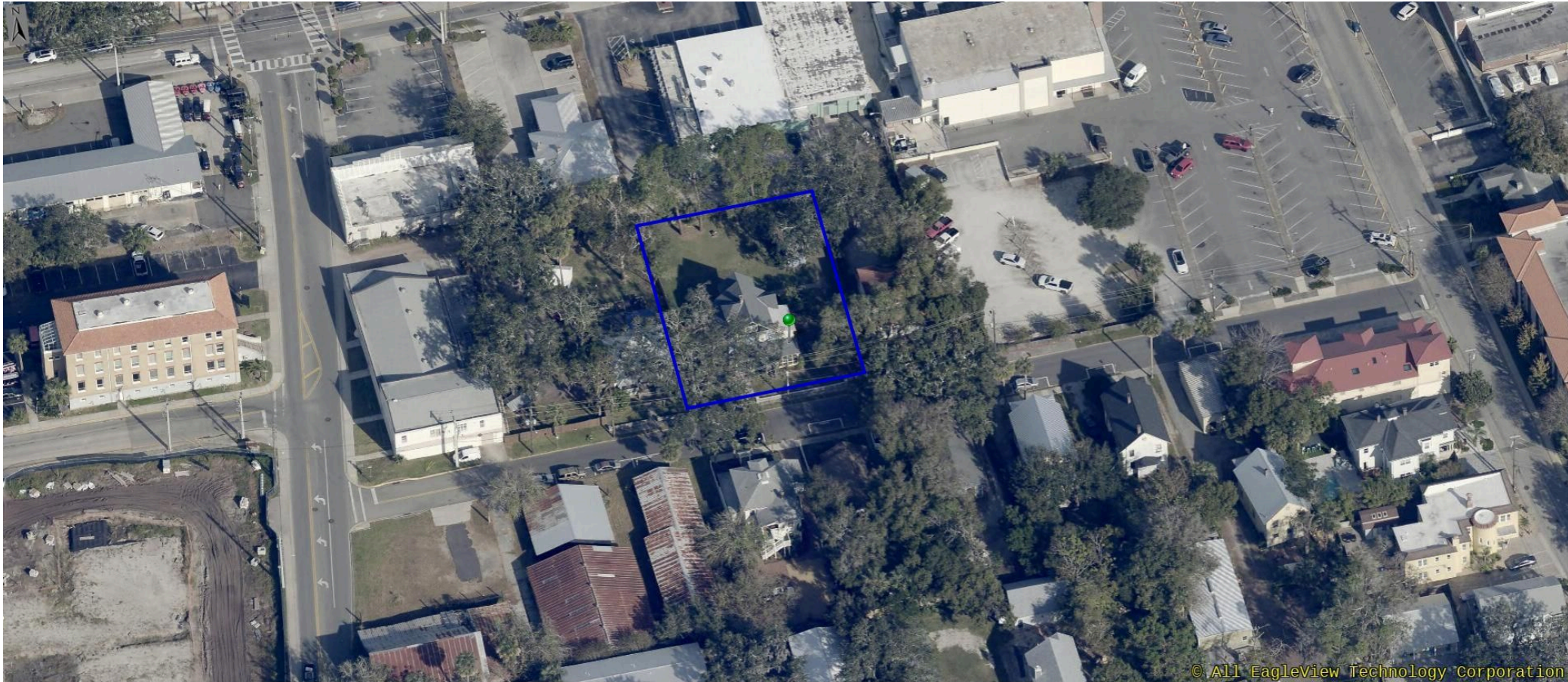
1. Site Maps & Photos
2. Application
3. St. Johns County Property Appraiser Report
4. Warranty Deed
5. Proposed Site Plan at 120 La Quinta Place
6. Proposed Site Plan at 115 La Quinta Place
7. Additional Applicant Provided Material

Staff Report prepared by:

Jacob Fredrikson, CNU-A
Planning Manager
Planning and Building Department

**Attachment 1:
Site Maps & Photos**

120 La Quinta Place



© All EagleView Technology Corporation

12/08/2024



Zoning Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

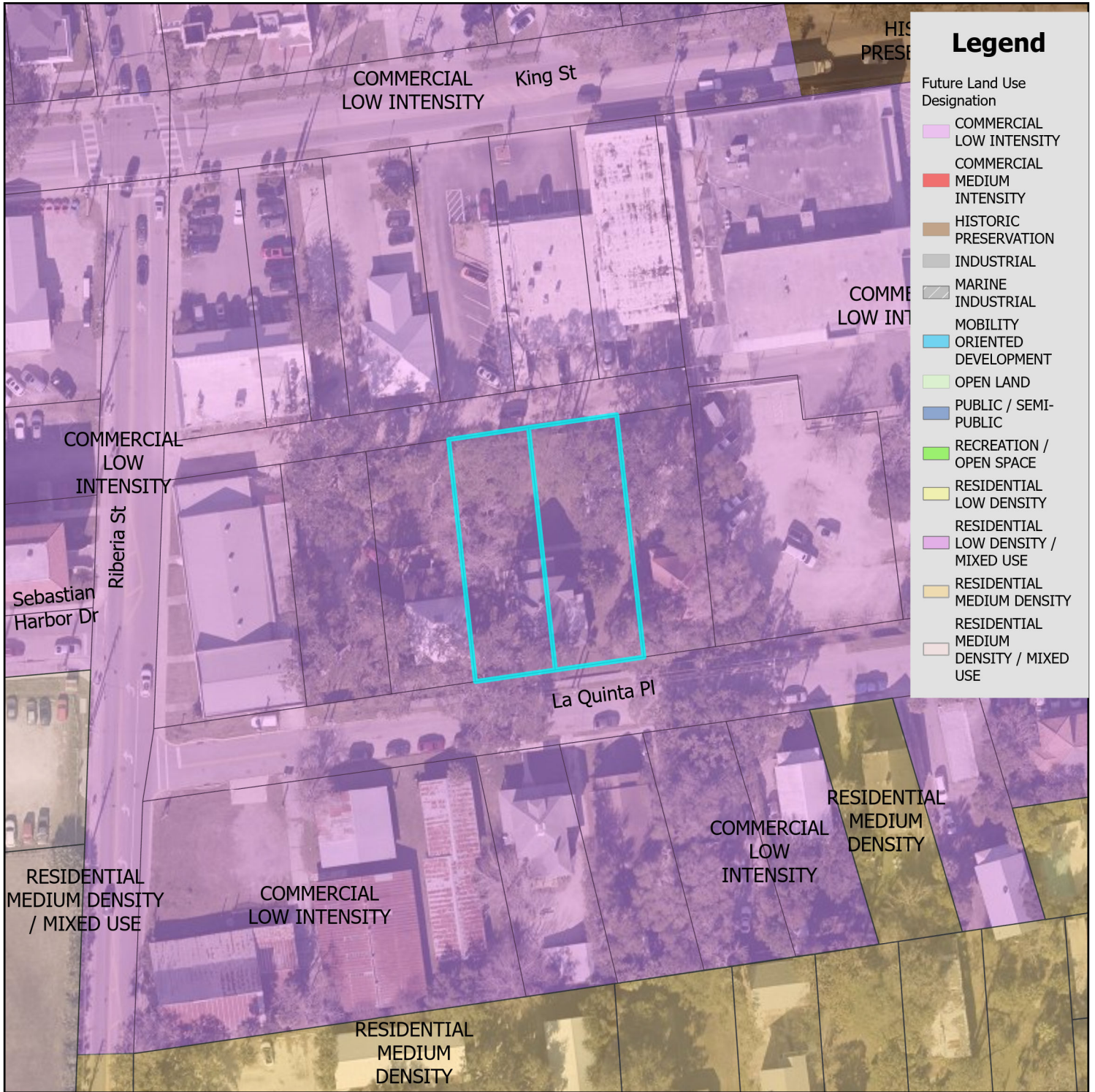
DISCLAIMER
 This map is for reference only. Data provided are derived from multiple sources with varying levels of accuracy. The City of St. Augustine disclaims all responsibility for the accuracy or completeness of the data shown herein.

2025

0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Legend

- Future Land Use Designation
- COMMERCIAL LOW INTENSITY
 - COMMERCIAL MEDIUM INTENSITY
 - HISTORIC PRESERVATION
 - INDUSTRIAL
 - MARINE INDUSTRIAL
 - MOBILITY ORIENTED DEVELOPMENT
 - OPEN LAND
 - PUBLIC / SEMI-PUBLIC
 - RECREATION / OPEN SPACE
 - RESIDENTIAL LOW DENSITY
 - RESIDENTIAL LOW DENSITY / MIXED USE
 - RESIDENTIAL MEDIUM DENSITY
 - RESIDENTIAL MEDIUM DENSITY / MIXED USE



Future Land Use Map

City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

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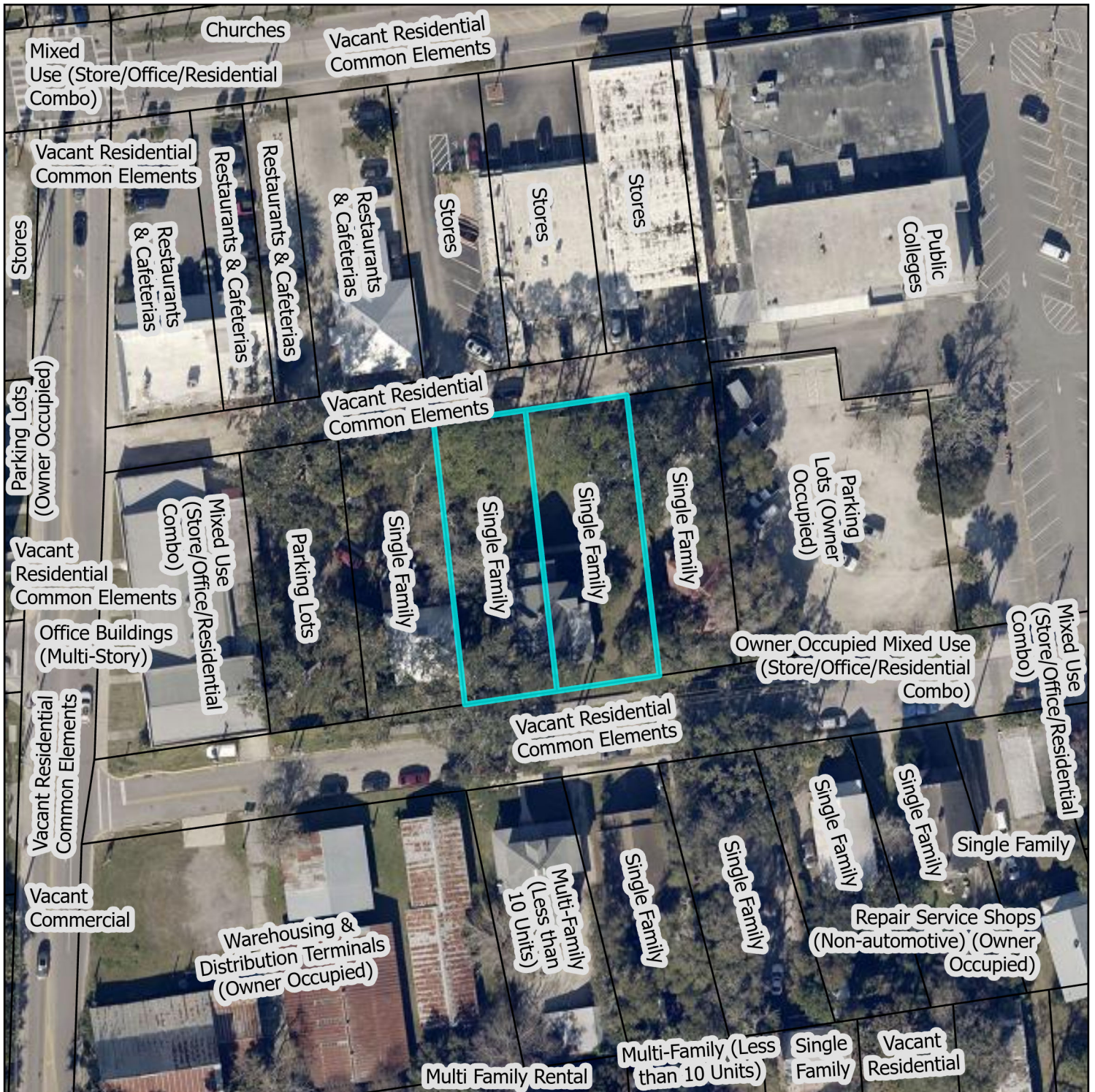
2025



0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



St. Johns County Property Appraiser Use Classification Map



City of St. Augustine
Planning, Zoning, & Building Department
P.O. Box 210, St. Augustine, FL 32085
Phone: (904) 825-1065

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2025

0 0.01 0.01 Miles

0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Legend

Flood Zones FEMA

- AE
- VE



FEMA Flood Zone Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

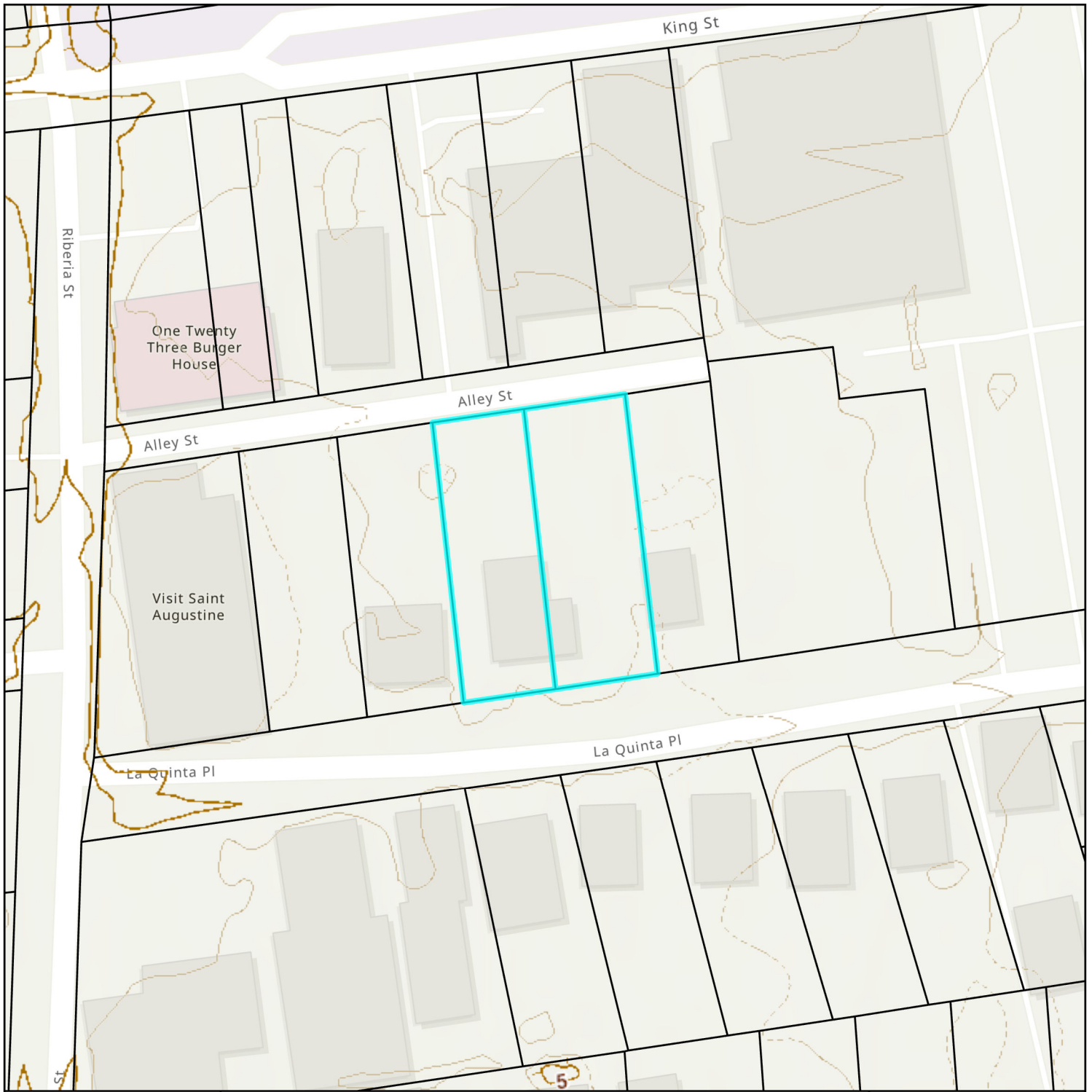
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2025

0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Elevation Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

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2025

0 0.01 0.01 Miles

0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

Attachment 2: Application



**CITY OF ST AUGUSTINE
APPLICATION TO PLANNING AND ZONING BOARD**

Application Fee: _____ (plus advertising costs) Project Number: _____

Receipt Number: _____ Meeting Date: _____

Advertising Costs: \$ _____ Paid On: _____ Receipt Number: _____

1. NAME OF APPLICANT: James G. Whitehouse, Esq. Contact Number: 904-495-0400
 Business (if applicable): ** (Owner's Authorization Attached)
 Address: 104 Sea Grove Main Street City: St. Augustine State: FL Zip: 32080
 E-Mail Address: jameswhitehouse@sjlawgroup.com

2. NAME OF PROPERTY OWNER: Dettra Living Trust Contact Number: _____
 Business (if applicable): - Richard P. Dettra, Trustee
 Address: _____ City: _____ State: _____ Zip: _____
 E-Mail Address: _____

3. LEGAL DESCRIPTION OF PROJECT PROPERTY:
 Lot: 10 & 11 Block: 46
 Subdivision: Hopkins Subdivision Parcel Number: 202210-0000

4. PROJECT STREET ADDRESS: 120 La Quinta Place

5. SPECIFIC PROPOSED USE: CL-1 Permitted Parking Lot

6. ACTION REQUESTED:

<input type="checkbox"/> Conservation Zone Development	<input type="checkbox"/> Appeal of Staff Determination
<input checked="" type="checkbox"/> Exception	<input type="checkbox"/> Land Use Plan Amendment
<input type="checkbox"/> Variance	<input type="checkbox"/> Rezoning
<input type="checkbox"/> Other: _____	

7. DESCRIPTION OF ACTION REQUESTED: Request for Parking Lot use pursuant to City Code, allowed under Sec. 28-206. - Commercial low-one: CL-1, subsection 2(b) - Parking lots complying with section 28-347(3).

8. JUSTIFICATION FOR ACTION REQUESTED: ** see attached **

9. **IF APPLYING FOR A VARIANCE, PLEASE COMPLETE THE FOLLOWING AND EXPLAIN THE SITUATION FULLY ALONG WITH PROVIDING DOCUMENTATION:**

(a) Does the property because of size, shape, topography or other physical conditions, suffer singular disadvantage, which disadvantage does not apply to other properties in the vicinity: _____

(b) Can you establish that this disadvantage causes the owner to be unable to make reasonable use of the affected property: _____

(c) Can you establish that this disadvantage does not exist because of conditions created by the owner or applicant: _____

(d) Can you establish that granting of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this Section: _____

10. **PREVIOUS APPLICATIIONS:**

Has any application been submitted to the Planning & Zoning Board concerning any part of the subject property within the past year?

Yes No If yes, please give date and final disposition below.

11. **AGREEMENT:**

In filing this application, I understand that it becomes a part of Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

Application must be signed by both applicant and property owner if different. Letter of authorization must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of either property owner or applicant.

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

IMPORTANT NOTICE: When the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the Board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the Board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the Code.

Signature of Applicant

Date

4/21/25

Signature of Property Owner

Date

owner's authorization attached

7. Request:

Request for Parking Lot pursuant to City Code, as allowed under Sec. 28-206 - Commercial low-one: CL-1, subsection 2(b) - Parking lots complying with section 28-347(3).

Sec. 28-347. - Supplementary regulations for certain uses.

(3) *Parking lots.* Off-street parking lots shall be a permissible use by exception in all districts where such lots are within four hundred (400) feet of premises requiring off-street parking; such lots in residential districts shall also conform to the following:

a. A six-foot solid masonry wall or fence shall be erected along all property lines adjunct to residentially zoned property.

b. No source of illumination for such lots shall be directly visible from any window in any residence in the residential district.

c. There shall be no movement of any vehicles on such lots between the hours of 11:00 p.m. and 7:00 a.m.

d. There shall be no sales or service activity of any kind on such lots.

e. Vehicles prohibited from being parked in residential districts by section 28-336 shall not be permitted to be parked on such lot.

f. All parking lots shall be paved with erosion-resistant material in accordance with city specifications (see division 2 of this article).

8. Justification:

Owner intends to construct a parking lot for the use of adjacent properties as allowed under our city code within this commercial zoning district, CL-1.

This same use is employed on this very same block just one parcel to the east (see attached) and is an allowable use within this district as long as the owner meets the requirements as outlined in section 28-347(3).

Parking is highly demanded in this commercial area as seen in many recent public hearings and denials of applications that were not able to provide parking in this very same area and throughout our city.

Owner submits the attached proposed site plan showing that he will meet all the requirements of our city code and as such seeks approval of this use by exception herein.

PZB APPLICATION FEE SCHEDULE

Planning and Zoning Board fees are set by Resolution 2021-38 as follows:

Description of Work	Fee Amount
Rezoning: small scale	\$300.00 + ads & notices
Rezoning: large scale	\$1,000.00 + ads & notices
Land Use Plan Amendment: small scale	\$400.00 + ads & notices
Land Use Plan Amendment: large scale	\$1,400.00 + ads & notices
Planned Unit Development	\$400.00 or \$35.00/acre, whichever is greater, \$1,400 max + ads & notices
Zoning Variance	\$350.00 + ads & notices
Zoning Exception	\$250.00 + ads & notices
Conservation Overlay Zone Development	\$165.00 + ads & notices
Significant Tree Removal or Appeal of Tree Removal Permit Denial	\$165.00 + ads & notices
Appeal of Staff Determination	\$200.00 + ads & notices
Application to Amend Zoning Code	\$600.00 + ads & notices
Subdivision Plat Review	\$275.00 + ads, notices & additional associated costs

"Note: The cost of newspaper advertisement and all notices to surrounding property owners will be assessed by the city, paid by the city and reimbursed by the applicant. All advertising costs must be paid prior to issuance of a development permit.

The applicant shall reimburse the City the mailing cost for all notices and for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing."

If a Credit Card Authorization Form is used for the payment of fees, the City will maintain the form and automatically charge additional advertising and noticing fees, once determined, to the credit-card account submitted.

By signing below, I acknowledge responsibility for both the initial application fee and any subsequent costs associated with legal advertising and/or noticing and understand that permits associated with my application may not be issued until such fees are paid.

I authorize the Planning and Building Department to maintain my payment information until a final cost for advertising and/or noticing is determined and charged. If a payment method other than Credit Card Authorization Form is used, I understand that I will be sent an invoice for the costs of advertising/noticing which must be paid prior to the issuance of any development permit related to my application. I am aware that I can request a copy of these fees and my receipt from Building Department Staff.

Project Address: 120 La Quinta Place

Applicant's Name: Tamer B. Whitcomb Esq. Applicant's Signature: [Signature]

Owner's Name: *Owner's authorization attached Owner's Signature: [Signature]



Owner's Authorization For Agent

James G. Whitehouse, Esq. _____ is/are hereby authorized TO ACT ON BEHALF OF Rich P. Dettra, Trustee DETTRA LIVING TRUST, the owner(s) of those lands described within the attached application, or described within the previously filed Application number: _____, and as described in the attached deed or other such proof of ownership as may be required, in applying to the City of St. Augustine's _____ Board, for an application related to the structure located at: 120 La Quinta

BY: [Signature]
Signature of Owner
Richard Dettra
Print Name of Owner
904 581 7179
Telephone Number

State of Florida

County of St. Johns

Signed and sworn before me on this 2nd day of April, 2025.

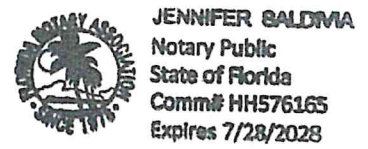
By Richard Dettra

Identification verified:

Oath sworn: Yes No

Notary Signature: [Signature]

My Commission expires: 7/28/2028



Attachment 3:
St. Johns County Property Appraiser
Report

St. Johns County, FL

Apply for Exemptions

Apply for Exemptions

Homestead Compliance

This form is not a Homestead Exemption application. To apply online for homestead and related exemptions, please click [here](#).

Homestead Compliance

Sales Questionnaire Form

If you are a new owner of this property, please click here to submit a Sales Questionnaire

Sales Questionnaire

2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID	2022100000
Location Address	120 LA QUINTA PL SAINT AUGUSTINE 32084-0000
Neighborhood	City of St. Augustine (610)
Tax Description*	HOPKINS SUB CITY PART OF BLK 46-C LOTS 10 & 11 OR5983/1602 <i>*The Description above is not to be used on legal documents.</i>
Property Use Code	Single Family (0100)
Subdivision	Hopkins Subdivision
Sec/Twp/Rng	18-7-30
District	City of St Augustine (District 452)
Millage Rate	18.72
Acreage	0.340
Homestead	N

[Click Here to Open Cyclomedia Viewer in a New Tab](#)



Owner Information

Owner Name	Dettra Living Trust D: 11-30-2007 100% Dettra Richard P Trustee 0% Dettra Diane V Trustee 0%
Mailing Address	21 BERMUDA RUN WAY SAINT AUGUSTINE, FL 32080-0000

Map



Valuation Information

Assessed Year	2025
Valuation Method	Market
Building Value	\$405,219.00
Extra Features Value	\$284.00
Total Land Value	\$428,400.00
Agricultural (Assessed) Value	\$0.00
Agricultural (Market) Value	\$0.00
Just Market	\$833,903.00
Total Deferred	\$0.00
Assessed Value	\$833,903.00
Total Exemptions	\$0.00
Taxable Value	\$833,903.00

Values listed are from our working tax roll and are subject to change.

Historical Assessment Information

Year	Valuation Method	Building Value	Extra Feature Value	Total Land Value
2024	Market	\$451,971	\$284	\$428,400
2023	Market	\$457,918	\$284	\$428,400
2022	Market	\$400,950	\$674	\$359,856
2021	Market	\$299,729	\$674	\$278,460
2020	Market	\$245,110	\$674	\$251,685
2019	Market	\$199,062	\$674	\$232,942
2018	Market	\$201,865	\$674	\$203,490
2017	Market	\$208,459	\$2,102	\$203,490
2016	Market	\$211,276	\$2,186	\$184,748
2015	Market	\$174,933	\$2,355	\$141,908
2014	Market	\$134,911	\$2,440	\$128,520

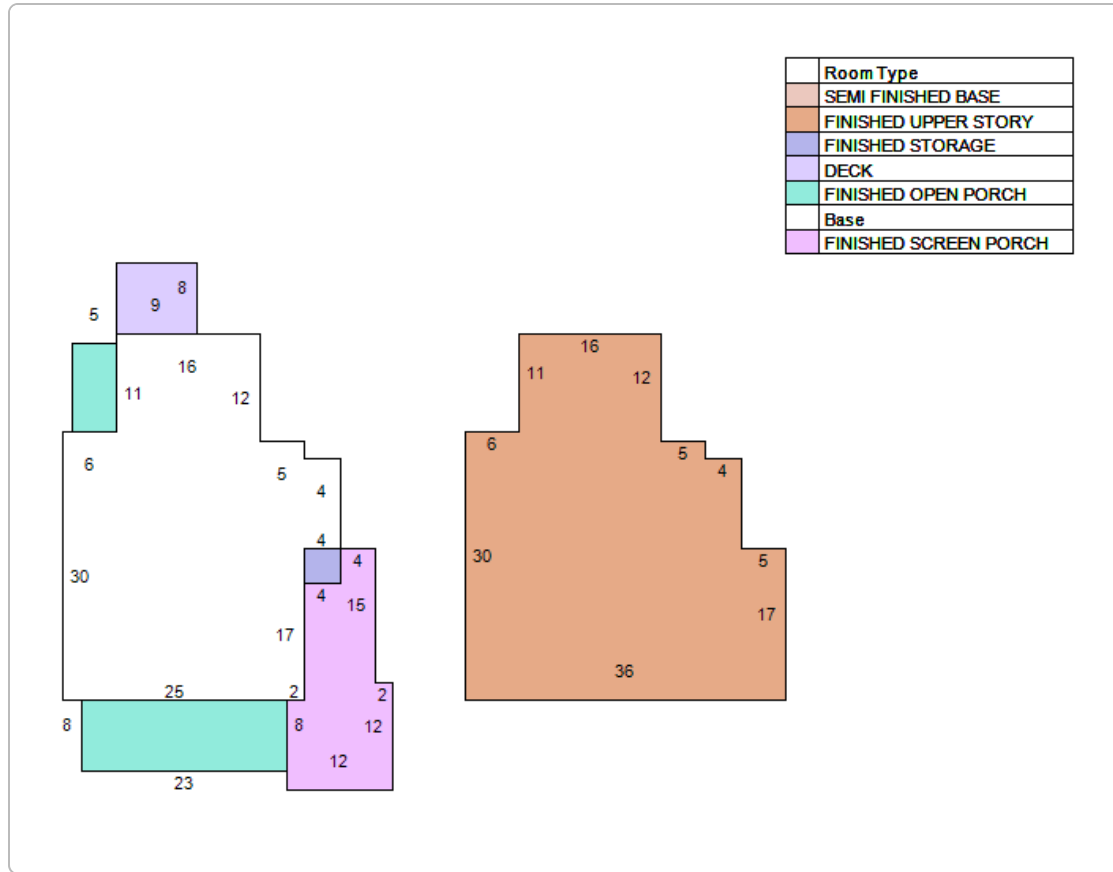
Building Information

Building	1	Roof Cover	Composite Shingle
Building Value	\$405,219	Roof Structure	Gable Hip
Year Built	1915	Interior Flooring	Pine Wood, Ceramic Tile
Actual Area	3227	Interior Wall	Drywall
Conditioned Area	2533	Heating Type	Air Duct
Use	Single Family Residence	Air Conditioning	Central
Style	01	Bedrooms	4
Exterior Wall	Wood	Baths	2

Description	Square Footage
FINISHED SCREEN PORCH	260
BASE AREA	1021
FINISHED OPEN PORCH	50
FINISHED DECK	72
FINISHED STORAGE/UTILITY	16
FINISHED OPEN PORCH	184

Description	Square Footage
FINISHED UPPER STORY	1174
SEMI-FINISHED BASE	450
Total SqFt	3227

Sketch Information



Extra Feature Information

Code Description	Status	Value
Masonry Wall (Mix)		284

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Single Family	102	140	102	EF	\$428,400

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
7/11/2024	7/11/2024	\$885,500.00	WARRANTY DEED	5983	1602	Q	I	MERWIN ANNE	DETTRA LIVING TRUST D: 11-30-2007
4/4/2023	3/29/2023	\$100.00	LIFE ESTATE	5734	1528	U	I	MERWIN ANNE	MERWIN ANNE
6/29/2020	6/5/2020	\$0.00	DEATH CERTIFICATE	4975	1452	U	I	MERWIN BRUCE (DECD)	MERWIN ANNE
	3/24/2010	\$170,000.00	WARRANTY DEED	3299	338	U	I	KLOECKNER BRUCE	MERWIN BRUCE, ANNE
	9/30/2009	\$0.00	LIS PENDENS	3246	918	U	I	US BANK NATIONAL ASSOCIATION	KLOECKNER BRUCE L
	8/8/1995	\$155,000.00	WARRANTY DEED	1122	1573	U	I	HEIRS OF THOMPSON	KLOECKNER BRUCE L
	7/11/1995	\$0.00	ORDER DET HX REAL P	1118	809	U	I	PROBATE 95-294CP	HEIRS OF THOMPSON
	6/29/1995	\$0.00	SUMMARY ORDER ADMIN	1122	1570	U	I	DADE COUNTY PROBATE #76-4949	PROBATE 95-294CP
	6/28/1995	\$0.00	SUMMARY ORDER ADMIN	1118	812	U	I	PROBATE #95-294CP	DADE COUNTY PROBATE #76-4949
	6/28/1995	\$0.00	ORDER DET HX REAL P	1118	352	U	I	PROBATE 95-292CP	PROBATE #95-294CP

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
	6/28/1995	\$0.00	SUMMARY ORDER ADMIN	1118	349	U	I	THOMPSON WM MARTIN SR,PROBATE 95-292CP	PROBATE 95-292CP
	6/28/1995	\$0.00	SUMMARY ORDER ADMIN	1116	796	U	I	THOMPSON MARGARET ELIZABETH ESTATE	THOMPSON WM MARTIN SR,PROBATE 95-292CP
	6/28/1995	\$0.00	ORDER DET HX REAL P	1116	793	U	I	THOMPSON MARGARET ELIZABETH ESTATE	THOMPSON MARGARET ELIZABETH ESTATE

No data available for the following modules: Exemption Information.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.

[User Privacy Policy](#) | [GDPR Privacy Notice](#)
 Last Data Upload: [6/4/2025, 12:09:41 AM](#)

Contact Us



**Attachment 4:
Warranty Deed**

Rec: \$18.50 Doc: \$6198.00 (\$885,450.00)

In, Return and Prepared by:

Carol Lagasse

ESTATE TITLE OF ST. AUGUSTINE, INC.

71 CARRERA STREET

ST AUGUSTINE, FL 32084

as a necessary incident to the fulfillment of conditions
contained in a title insurance commitment issued by it.

Property Appraisers Parcel I.D. (Folio) Number(s):

202210-0000

File No.: 65030

WARRANTY DEED

This Warranty Deed, Made the 11th day of July, 2024, by **ANNE MERWIN**, unmarried whose post office address is:

16 Yorkshire Dr Greenville SC 29615

hereinafter called the "Grantor", to

**RICHARD P. DETTRA AND DIANE V. DETTRA, TRUSTEES OF THE DETTRA LIVING TRUST DATED
NOVEMBER 30, 2007**

**WITH FULL POWER AND AUTHORITY TO PROTECT, CONSERVE, SELL, CONVEY, LEASE, ENCUMBER OR
OTHERWISE MANAGE AND DISPOSE OF CAPTIONED PROPERTY**

whose post office address is: **21 Bermuda Run Way, St. Augustine, FL 32080**, hereinafter called the
"Grantee".

WITNESSETH: That said Grantor, for and in consideration of the sum of **Ten Dollars and No Cents
(\$10.00)** and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants,
bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land
situate in **St Johns** County, Florida, to wit:

LOT 10 AND 11, PLAT OF THE SUBDIVISION OF THE GILBERT ESTATE, IN THE CITY OF SAINT
AUGUSTINE, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN MAP BOOK 1, PAGE
125, OF THE PUBLIC RECORDS OF SAINT JOHNS COUNTY, FLORIDA; SAID GILBERT ESTATE
ALSO KNOWN AS GILBERT HOMESTEAD.

ALSO KNOWN AS:

LOTS 10 AND 11, HOPKINS SUBDIVISION, OF A PART OF BLOCK 46C, ACCORDING TO THE
OFFICIAL MAP OF THE CITY OF SAINT AUGUSTINE DATED JUNE 12, 1923, BEING THE SAME
PROPERTY DESCRIBED IN THOSE DEEDS RECORDED IN DEED BOOK 83, PAGES 409 THROUGH
414 AND DEED BOOK 119, PAGES 101 THROUGH 104, OF THE PUBLIC RECORDS OF SAINT
JOHNS COUNTY, FLORIDA; TOGETHER WITH ALL SEWER PRIVILEGES AT PRESENT BELONGING
TO OR APPERTAINING TO THE ABOVE DESCRIBED PROPERTY AS SET FORTH IN DEED BOOK 10,
PAGE 186, OF THE PUBLIC RECORDS OF SAINT JOHNS COUNTY, FLORIDA.

The property is the homestead of the Grantor(s).

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise
appertaining.

To Have and to Hold, the same in fee simple forever.

And the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to 2023, reservations, restrictions and easements of record, if any.

(The terms "Grantor" and "Grantee" herein shall be construed to include all genders and singular or plural as the context indicates.)

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

SIGNED IN THE PRESENCE OF THE FOLLOWING WITNESSES
TWO SEPARATE DISINTERESTED WITNESSES REQUIRED

Carol A Lagasse
Witness 1 Signature

Anne Merwin
ANNE MERWIN

Witness 1 Printed Name and Post Office Address:

Carol A Lagasse
71 Carrera St.
St. Augustine FL 32084

Tom Rivels
Witness 2 Signature

Witness 2 Printed Name and Post Office Address:

Tom Rivels
303 Perpoise Point Dr.
St. Augustine FL 32084

State of Florida
County of St Johns

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 11th day of July, 2024 by ANNE MERWIN. He/She/They is/are Personally Known OR Produced drivers license(s) as Identification.

Carol A Lagasse
Notary Public Signature (SEAL)

Printed Name:

My Commission Expires: _____

Online Notary (Check Box if acknowledgment done by Online Notarization)



CAROL A. LAGASSE
Notary Public
State of Florida
Comm# HH538205
Expires 7/21/2028

Attachment 5:
Proposed Site Plan at 120 La Quinta
Place



MAVERICK ENGINEERING
 10 WILLOW WINDS PARKWAY
 ST. JOHNS, FLORIDA 32259
 (804) 685-6687



NO.	DATE	REVISIONS
1	08/14/2023	CONCEPTUAL SITE PLAN

CONCEPTUAL SITE PLAN
 120 LA QUINTA
 CITY OF ST. AUGUSTINE
 PREPARED FOR: CLIENT

1
 OF 1



EXISTING LEGEND
 PROPERTY / RIGHT OF WAY

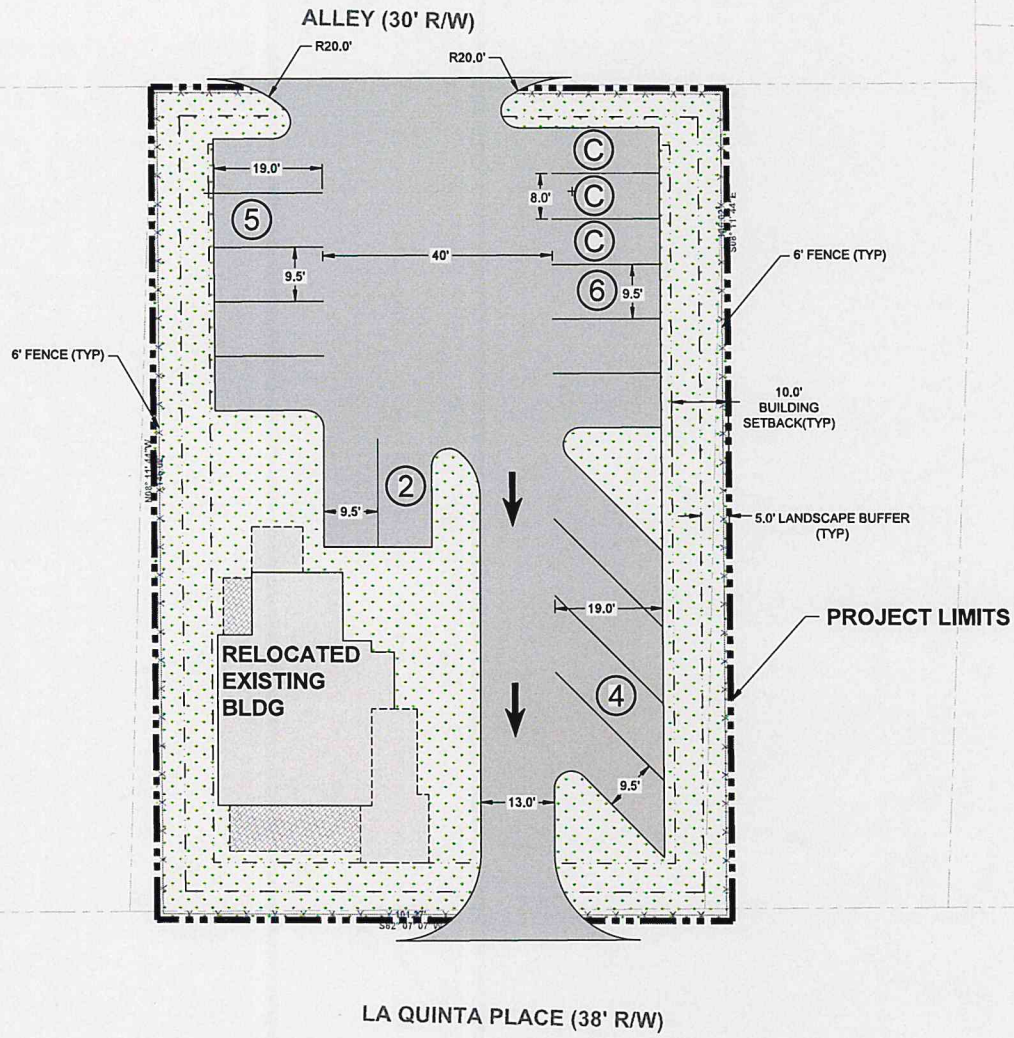
PROPOSED LEGEND
 PROPERTY BOUNDARY
 PROJECT AREA
 BUILDING SETBACK
 LANDSCAPE BUFFER
 EDGE OF PAVEMENT
 6" HEADER CURB
 6" HIGH SOLID MASONRY WALL

HATCH LEGEND	
[Dotted pattern]	PAVEMENT
[Horizontal lines]	CONCRETE
[Blank]	OPEN SPACE

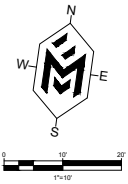
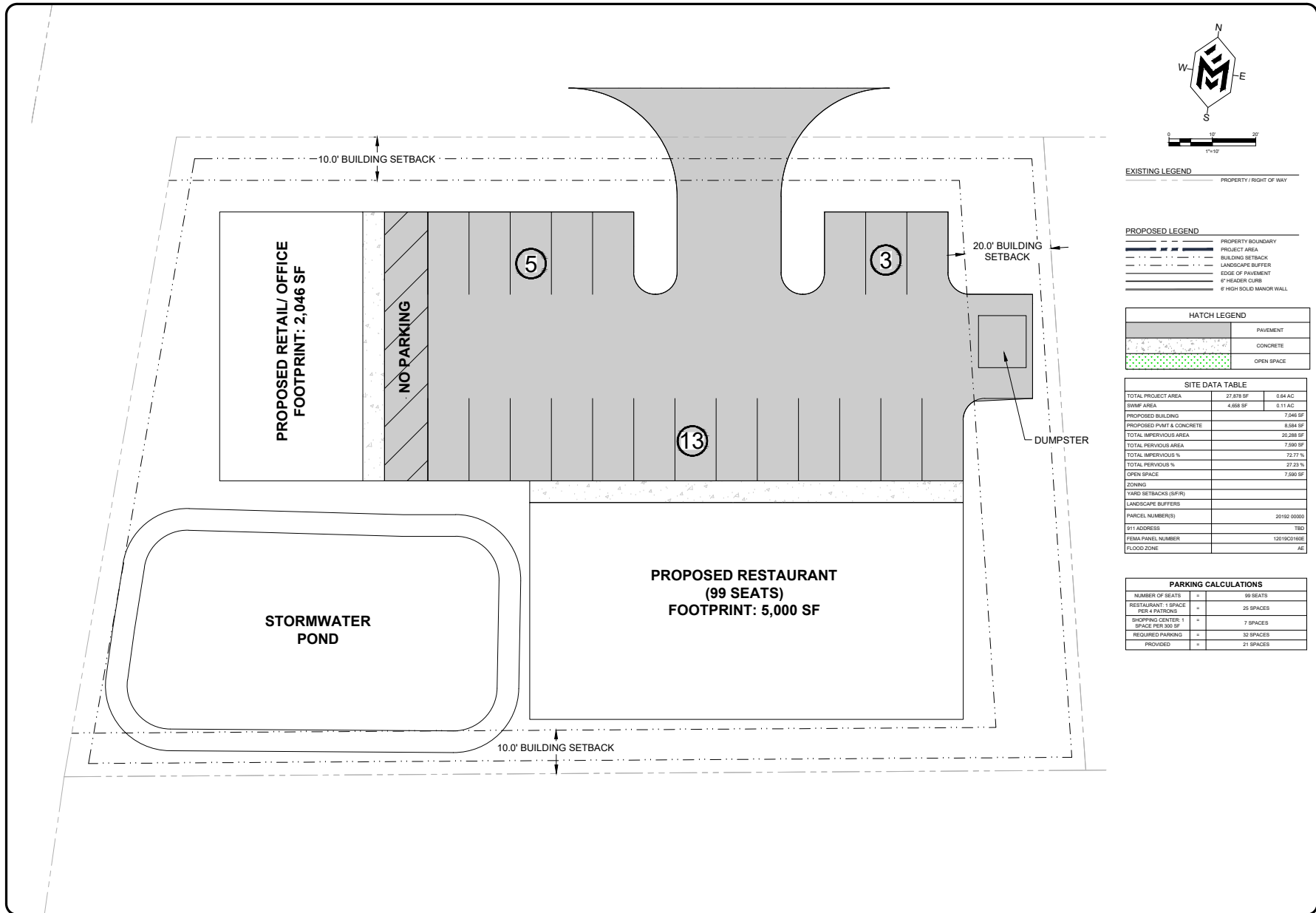
SITE DATA TABLE		
TOTAL PROJECT AREA	14,767 SF	0.34 AC
SWAMP AREA	0 SF	0.00 AC
EXISTING BUILDING		2,532 SF
PROPOSED PAINT & CONCRETE		2,148 SF
TOTAL IMPERVIOUS AREA		4,680 SF
TOTAL PERVIOUS AREA		9,087 SF
TOTAL IMPERVIOUS %		61.41 %
TOTAL PERVIOUS %		34.38 %
OPEN SPACE		8,965 SF
ZONING		CL-1
YARD SETBACKS (SFR)		19MIN, 10' MAXIMUM
LANDSCAPE BUFFERS	CLASS 3, FRONT - 5' SIDE/REAR - 0	
PARCEL NUMBER(S)		20221 00000
R1 ADDRESS		TRD
FEMA PANEL NUMBER		13018C0180E
FLOOD ZONE		AE

PARKING CALCULATIONS		
TOTAL PROVIDED	=	17 SPACES
COMPACT SPACES (27% MAX)	=	3 SPACES
ADA REQUIRED	=	0
ADA PROVIDED	=	0

- NOTES:**
- A 28"-FOOT SOLID MASONRY WALL OR FENCE SHALL BE ERECTED ALONG ALL PROPERTY LINES ADJACENT TO RESIDENTIALLY ZONED PROPERTY.
 - NO SOURCE OF ILLUMINATION FOR SUCH LOTS SHALL BE DIRECTLY VISIBLE FROM ANY WINDOW IN ANY RESIDENCE IN THE RESIDENTIAL DISTRICT.
 - THERE SHALL BE NO MOVEMENT OF ANY VEHICLES ON SUCH LOTS BETWEEN THE HOURS OF 11:00 P.M. AND 7:00 A.M.
 - THERE SHALL BE NO SALES OR SERVICE ACTIVITY OF ANY KIND ON SUCH LOTS.
 - VEHICLES PROHIBITED FROM BEING PARKED IN RESIDENTIAL DISTRICTS BY SECTION 26-218 SHALL NOT BE PERMITTED TO BE PARKED ON SUCH LOTS.
 - ALL PARKING LOTS SHALL BE PAVED WITH ENDOUR-RESISTANT MATERIAL IN ACCORDANCE WITH CITY SPECIFICATIONS (SEE DIVISION 2 OF THIS ARTICLE).



Attachment 6:
Proposed Site Plan at 115 La Quinta
Place



EXISTING LEGEND

PROPERTY / RIGHT OF WAY

PROPOSED LEGEND

- PROPERTY BOUNDARY
- PROJECT AREA
- BUILDING SETBACK
- LANDSCAPE BUFFER
- EDGE OF PAVEMENT
- 6" HEADER CURB
- 8" HIGH SOLID MAJOR WALL

HATCH LEGEND

[Pattern]	PAVEMENT
[Pattern]	CONCRETE
[Pattern]	OPEN SPACE

SITE DATA TABLE

TOTAL PROJECT AREA	27,878 SF	0.64 AC
SWAMP AREA	4,658 SF	0.11 AC
PROPOSED BUILDING	7,046 SF	
PROPOSED PAVT & CONCRETE	8,584 SF	
TOTAL IMPERVIOUS AREA	20,288 SF	
TOTAL PERVIOUS AREA	7,590 SF	
TOTAL IMPERVIOUS %	72.7 %	
TOTAL PERVIOUS %	27.3 %	
OPEN SPACE	7,590 SF	
ZONING		
LAND SETBACKS (BPR)		
LANDSCAPE BUFFERS		
PARCEL NUMBER(S)	20192 00000	
811 ADDRESS	TRD	
FEMA PANEL NUMBER	12019C01000E	
FLOOD ZONE	AE	

PARKING CALCULATIONS

NUMBER OF SEATS	=	99 SEATS
RESTAURANT 1 SPACE PER 4 PATRONS	=	25 SPACES
SHOPPING CENTER 1 SPACE PER 300 SF	=	7 SPACES
REQUIRED PARKING	=	32 SPACES
PROVIDED	=	21 SPACES

MAVERICK ENGINEERING
10 WILLOW WINDS PARKWAY
ST. JOHNS, FLORIDA 32259
(904) 655-6887

CONCEPTUAL SITE PLAN - 7

120 LA QUINTA
CITY OF ST. AUGUSTINE

1
OF 1

REVISIONS

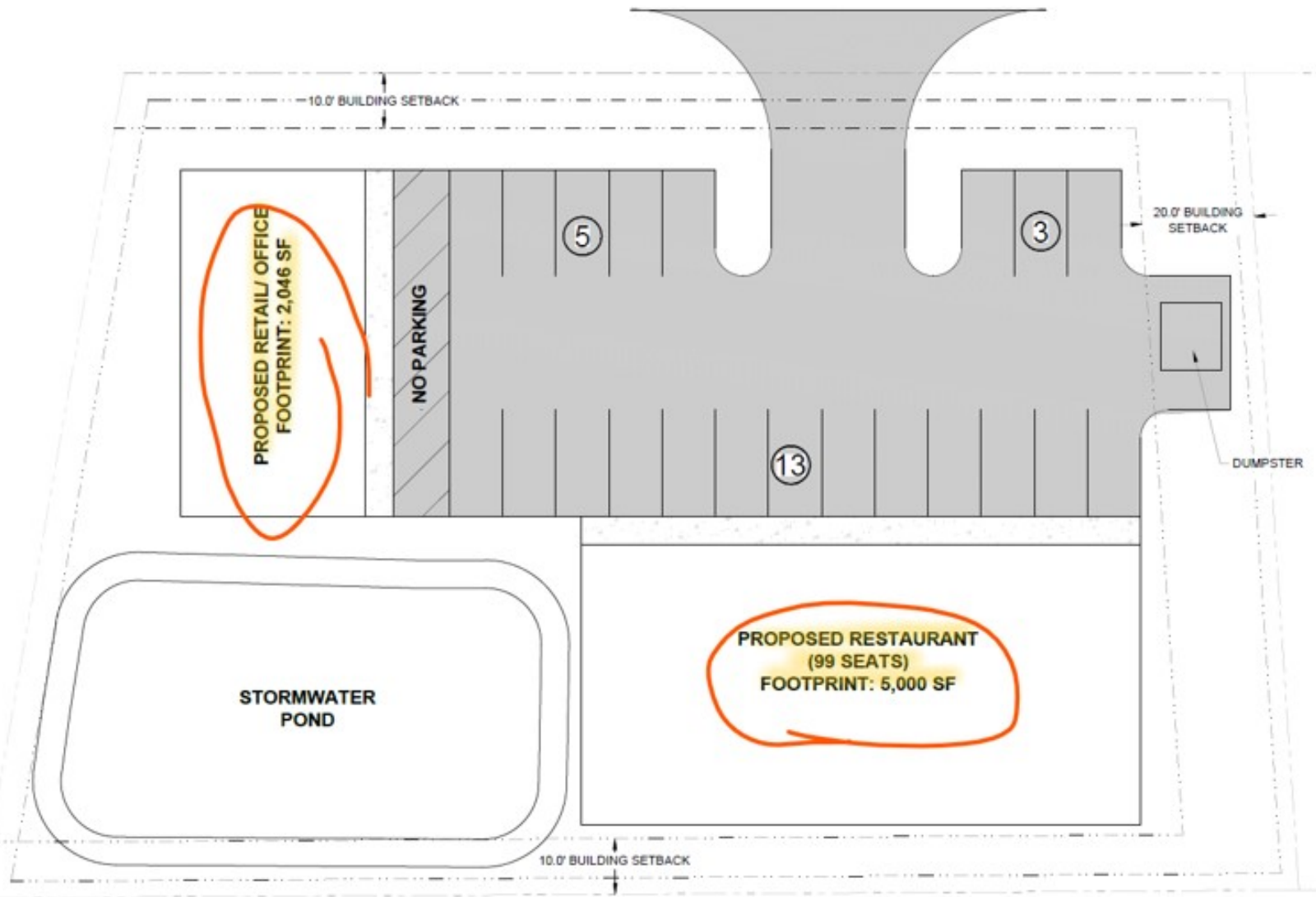
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

DRAWN BY: JMS
DESIGN BY: JWC
CHECKED BY: JWC
DATE: 03-14-2025
PROJECT #: 2108

PREPARED FOR: CLIENT

Attachment 7:
Additional Applicant Provided Material

115 La Quinta – USES ALLOWED BY RIGHT



EXISTING LEGEND

- PROPERTY RIGHT OF WAY

PROPOSED LEGEND

- PROPERTY BOUNDARY
- PROJECT AREA
- BUILDING SETBACK
- LANDSCAPE BUFFER
- EDGE OF PAVEMENT
- 8" HEADER CURB
- 6" HIGH SOLID MANNER WALL

HATCH LEGEND

[Hatched Pattern]	PAVEMENT
[Dotted Pattern]	CONCRETE
[Green Dotted Pattern]	OPEN SPACE








SITE DATA TABLE

TOTAL PROJECT AREA	37,476 SF	0.86 AC
LOBBY AREA	4,686 SF	0.11 AC
PROPOSED BUILDING		7,586 SF
PROPOSED PAVT & CONCRETE		0.94 AC
TOTAL IMPERVIOUS AREA		20,286 SF
TOTAL IMPERVIOUS %		54.16 %
TOTAL PERVIOUS %		45.84 %
OPEN SPACE		7,586 SF
SOILS		
YARD SETBACKS (SF)		
LANDSCAPE BUFFERS		
PARCEL NUMBER(S)		20140 0000
811 ADDRESS		115
FORMA PLAN NUMBER		120100000
FLOOD ZONE		X3




PARKING CALCULATIONS

NUMBER OF SEATS	=	99 SEATS
RESTAURANT: 1 SPACE PER 4 SEATING	=	25 SPACES
SHOPPING CENTER: 1 SPACE PER 300 SF	=	7 SPACES
REQUIRED PARKING	=	32 SPACES
PROVIDED	=	31 SPACES

PROPOSED LEGEND

	PROPERTY BOUNDARY
	PROJECT AREA
	BUILDING SETBACK
	LANDSCAPE BUFFER
	EDGE OF PAVEMENT
	6" HEADER CURB
	6' HIGH SOLID MAJOR WALL

HATCH LEGEND

	PAVEMENT
	CONCRETE
	OPEN SPACE

SITE DATA TABLE

TOTAL PROJECT AREA	27,878 SF	0.64 AC
SWMF AREA	4,658 SF	0.11 AC
PROPOSED BUILDING	7,046 SF	
PROPOSED PVMT & CONCRETE	8,584 SF	
TOTAL IMPERVIOUS AREA	20,288 SF	
TOTAL PERVIOUS AREA	7,590 SF	
TOTAL IMPERVIOUS %	72.77 %	
TOTAL PERVIOUS %	27.23 %	
OPEN SPACE	7,590 SF	
ZONING		
YARD SETBACKS (S/F/R)		
LANDSCAPE BUFFERS		
PARCEL NUMBER(S)	20192 00000	
911 ADDRESS	TBD	
FEMA PANEL NUMBER	12019CD160E	
FLOOD ZONE	AE	

PARKING CALCULATIONS

NUMBER OF SEATS	-	99 SEATS
RESTAURANT: 1 SPACE PER 4 PATRONS	-	25 SPACES
SHOPPING CENTER: 1 SPACE PER 300 SF	-	7 SPACES
REQUIRED PARKING	-	32 SPACES
PROVIDED	-	21 SPACES

REVISIONS

#	DATE	DESCRIPTION
#	#####	###
#	#####	###
#	#####	###
#	#####	###

DRAWING BY: MS
DESIGN BY: JWC
CHECKED BY: JWC
DATE: 03-04-2025

BUILDING
 SETBACK

DUMPSTER



One Twenty
Three Burger
House

Solla-Carcaba
Cigar Factory

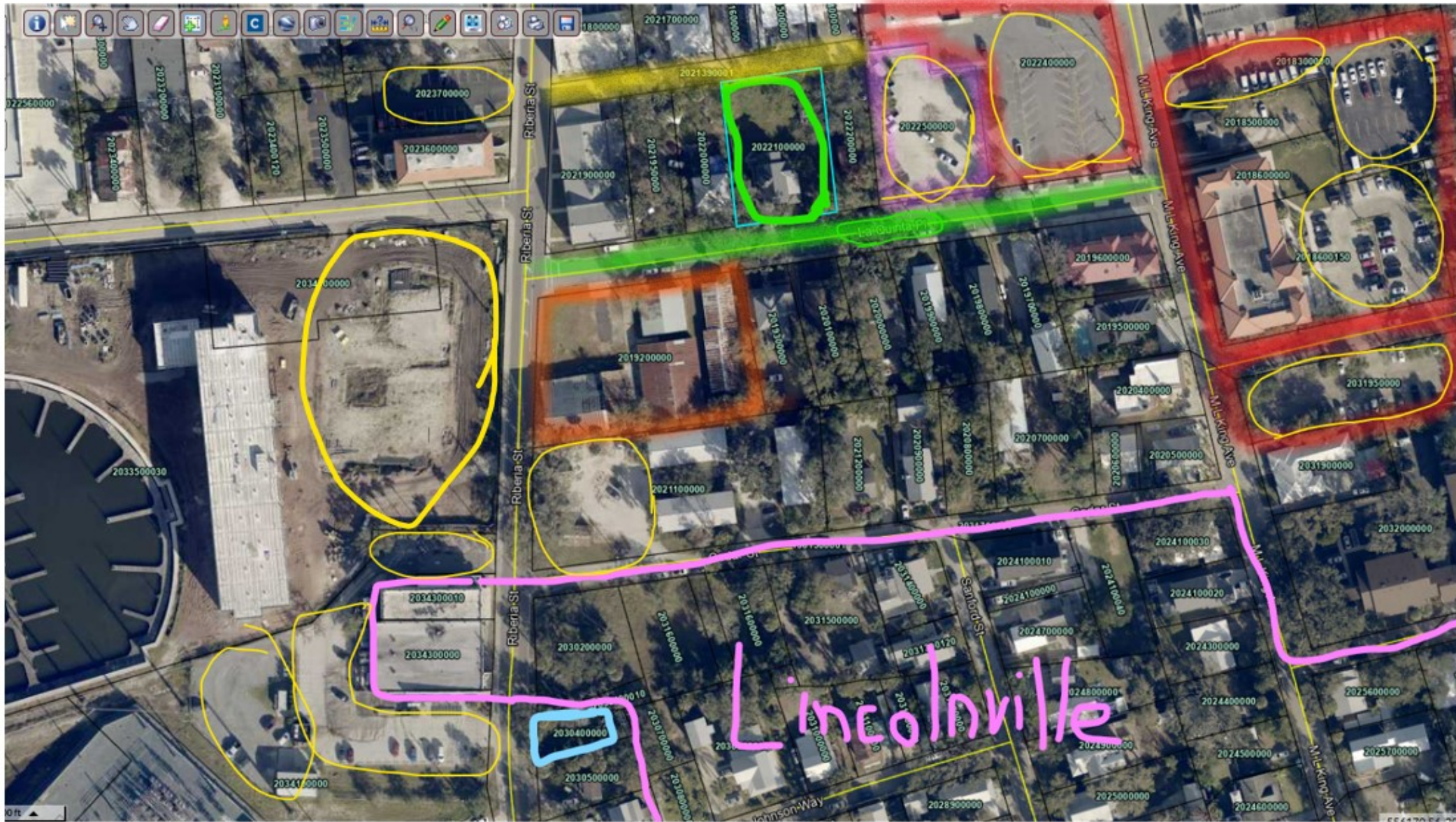
Visit Saint
Augustine

120 La Quinta Pl
Saint Augustine, Florida, 32084

US Post

100 ft

PERMITTED - "PARKING LOTS"



(2) *Permitted accessory uses and structures:*

- a. See [section 28-348](#).
- b. Parking lots complying with [section 28-347\(3\)](#).

PERMITTED - "PARKING LOTS"

(3) *Permissible uses by exception:*

- a. Hotel/motel, maximum of thirty (30) units.
- b. Plant nursery.
- c. Sale of alcoholic beverages with alcoholic content not more than fourteen (14) percent for consumption, either on the premises or off the premises.
- d. Wholesaling from sample stocks only, provided no manufacturing or storage for distribution is permitted on the premises.
- e. Medical/dental clinic, intermediate care facility.
- f. Uses and structures as for RG-1 ([section 28-163](#)).
- g. Indoor movie theatres.
- h. Commercial recreational or entertainment facilities in completely enclosed building such as billiard parlor, bowling alley, swimming pool, skating rink, dance hall and similar uses.
- i. Building trades contractor not requiring outside storage, nor the use of any vehicle in excess of one-ton capacity, nor any machinery, ditching machines, tractors, bulldozers or other heavy construction equipment.
- j. Micropigmentation clinic.
- k. Craft alcohol industry, limited to alcohol by volume (ABV) not to exceed fourteen (14) percent, such as but not limited to, beer and wine. Wholesaling from sample stocks only, provided no manufacturing or storage for distribution is permitted on the premises.

SECTION 28-347(3) - "PARKING LOTS" REQUIREMENTS TO BE MET

(3) *Parking lots.* Off-street parking lots shall be a permissible use by exception in all districts where such lots are within four hundred (400) feet of premises requiring off-street parking; such lots in residential districts shall also conform to the following:

- a. A six-foot solid masonry wall or fence shall be erected along all property lines adjunct to residentially zoned property.
- b. No source of illumination for such lots shall be directly visible from any window in any residence in the residential district.
- c. There shall be no movement of any vehicles on such lots between the hours of 11:00 p.m. and 7:00 a.m.
- d. There shall be no sales or service activity of any kind on such lots.
- e. Vehicles prohibited from being parked in residential districts by [section 28-336](#) shall not be permitted to be parked on such lot.
- f. All parking lots shall be paved with erosion-resistant material in accordance with city specifications (see division 2 of this article).

In addition to the permissible uses by exception listed in the schedule of district regulations, (article III), the following uses shall be permissible by exception in the districts indicated; and, unless specific provision is made otherwise in the grant of exception, such uses, whether permitted or permissible by exception, shall conform to all supplementary regulations listed under such use:

- (1) *Home occupations and home office, private.* Home occupations and Home office, private shall have the same meaning and comply with the same criteria as home-based businesses pursuant to F.S. § 559.955, as may be amended from time to time.
- (2) *Day nurseries.* Day nurseries, including kindergartens and child care centers, but excluding child care homes, shall be a permissible use by exception in all residential districts, except RS-1, subject to all of the following conditions:
 - a. Indoor usable space shall consist of space available for indoor play, classrooms, activity areas or map areas, and shall not be less than twenty (20) square feet per child.
 - b. Outdoor play areas shall be enclosed by a fence or wall of at least four (4) feet in height and such area shall not be less than forty-five (45) square feet per child and shall contain sufficient space for use by fifty (50) percent of the maximum enrollment at one time.
 - c. All facilities, operation and maintenance shall meet all applicable city or state regulations for such use.
 - d. An application for exception, where required, shall state the maximum number of children to be accommodated; and in no case shall the number of children approved in the grant of exception be exceeded.
 - e. A site plan shall be submitted indicating designated indoor and outdoor space, fences or walls, vehicular ingress and egress, off-street parking areas, and loading and unloading areas. The site plan shall be approved with the exception and shall be maintained according to the plan as long as the use exists.
- (3) *Parking lots.* Off-street parking lots shall be a permissible use by exception in all districts where such lots are within four hundred (400) feet of premises requiring off-street parking; such lots in residential districts shall also conform to the following:
 - a. A six-foot solid masonry wall or fence shall be erected along all property lines adjunct to residentially zoned property.
 - b. No source of illumination for such lots shall be directly visible from any window in any residence in the residential district.
 - c. There shall be no movement of any vehicles on such lots between the hours of 11:00 p.m. and 7:00 a.m.
 - d. There shall be no sales or service activity of any kind on such lots.
 - e. Vehicles prohibited from being parked in residential districts by [section 28-336](#) shall not be permitted to be parked on such lot.
 - f. All parking lots shall be paved with erosion-resistant material in accordance with city specifications (see division 2 of this article).



Planning and Zoning Board

Planning Division Staff Report
 Planning and Building Department

Public Hearing Date	Agenda Item	Application Number
July 1, 2025	8.a	PZB2025-0046
Request	Address	Parcel ID
Land Use Plan Amendment, Rezoning, & Variance	241 W King Street	111560-0010 [LINK TO ST. JOHNS COUNTY PROPERTY APPRAISER'S WEBSITE]

Site & Background Information

Applicant & Owner	Amy Skinner c/o City of St. Augustine
Property Class: (St. Johns County Property Appraiser)	8900 – Municipally Owned
Future Land Use Designation:	Commercial Medium Intensity
Zoning Designation:	Commercial Medium-Two: CM-2 [LINK TO DISTRICT REGULATIONS]
Acreage:	0.14
Neighborhood:	Oyster Creek
Archaeological Zone:	N/A

Request Summary

This application is a request to amend the City’s Comprehensive Plan Land Use map, rezone the property, and eliminate minimum off-street parking requirements at 241 W King Street.

The requested land use designation amendment is to change the existing Commercial Medium Intensity to Public and to rezone from Commercial Medium-Two: CM-2 to Government Use: GU.

These requests are justified through the city’s aim to build a new archaeology building.

Staff Analysis of Request and Consistency with the City of St. Augustine’s Comprehensive Plan 2040

Goal, Policy, or Objective	Staff Analysis
Future Land Use Element [LINK TO DOCUMENT]	
<p>Objective 6.8</p> <p>Public and Institutional Use Categories: The public and Institutional land use category is established for publicly owned parcels, and privately owned institutional uses.</p>	<p>The Public land use category is in place for publicly owned parcels to have a specific land use designation.</p>
<p>Policy 6.8.1</p> <p>Public</p> <p>It is the intent of this district that certain lands, which are owned by federal, state or local government or are associated with the government and are used for a purpose which is particularly and peculiarly related to governmental functions, shall be designated Public.</p> <p>The density and intensity will adhere to the most restrictive adjacent land use designation.</p>	<p>The Public land use designation is for properties that are owned by a local government and also used for governmental functions such as a fire station.</p>
<p>Policy 6.8.1.1</p> <p>The City shall initiate a land use plan amendment after purchase and/or development by the government entity. (Adopted June 2011, Ord. No. 2011-02)</p>	<p>This city policy requires a land use plan amendment after the purchase of a property by a government entity.</p>
Historic Preservation Element [LINK TO DOCUMENT]	
Conservation and Coastal Management Element [LINK TO DOCUMENT]	
Recreation and Open Space Element [LINK TO DOCUMENT]	

Transportation and Mobility Element [LINK TO DOCUMENT]	
<p>Policy 1.4.8</p> <p>Future development or redevelopment shall make provisions for safe, convenient on-site traffic flow, adequate parking shall be provided and designed so as not to be a detriment to pedestrian, bicycle and circulator or transit access</p>	<p>The variance request component, elimination of minimum requirements for off-street parking, of this application is consistent with the city’s policy for future development to provide adequate parking as it is provided on the adjacent city-owned property.</p>
Housing Element [LINK TO DOCUMENT]	
Infrastructure Element [LINK TO DOCUMENT]	

Staff Analysis of Request and Applicable Sections from the City of St. Augustine’s Code of Ordinances

Sec. 28-29. – Zoning exceptions, variances and appeals. [[LINK TO CODE SECTION](#)]

The Planning and Zoning Board may grant a variance only under circumstances where practical difficulty or unnecessary hardship is so substantial, serious and compelling that relaxation of the general restrictions should be granted. No variance shall be granted unless the applicant shall show and the board shall find that:

- a. The particular property, because of size, shape, topography or other physical conditions, suffers singular disadvantage through the operation of this section, which disadvantage does not apply to other properties in the vicinity; and
The property at 241 W King Street is a very small piece of property. This property is also constrained by the existing storm water pond behind it and the existing right-of-way/driveway into the city’s existing Public Works Compound.
- b. Because of this disadvantage, the owner is unable to make reasonable use of the affected property; and
The proposed use of the property is a new city archaeology building with two (2) offices, collections storage, meeting rooms and a community meeting space. The small size of the property proves to be a disadvantage with the development of this high level of use, streetscape enhancement, and new public space.
- c. This disadvantage does not exist because of conditions created by the owner or applicant; and
These conditions were not created by the city as this property was recently acquired by the city with these conditions existing prior to purchasing it.
- d. Grant of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this section.
Granting this variance request will allow the construction of this building, which will positively contribute to the community and make use of off-street parking provided in a city-owned lot in front of and behind 253 W King Street.

Sec. 28-373. – Required off-street parking. [[LINK TO CODE SECTION](#)]

(d) *Minimum spaces required:*

	Use	1 Space Per Gross Floor Area (Sq. Ft.)	1 Space Per Rates Patron Capacity	Units, Seats, Rooms, Spaces	Special Requirements
(43)	Public service				1 per employee plus 1 per stored company vehicle

The proposed archaeology building is required by city code to provide a minimum of five (5) off-street, on-site automobile parking spaces.

Staff Recommendation

Historically staff does not make recommendations concerning amendments to the City’s Future Land Use Map or rezoning requests. Based on Sec. 28-30 of the City’s Code, the Board is tasked with making recommendations to the city commission which shall show that the Board has studied and considered:

- (1) The need and justification for the change.
- (2) The relationship of the proposed amendment or rezoning to the city's general planning program and such comprehensive plans as may from time to time be adopted by the city commission.
- (3) Consistency with the comprehensive plan.

Based on a review of Sec. 28-29 staff finds that the Board may **APPROVE** the variance request to eliminate the minimum requirements for off-street parking at 241 W King Street / PID 111560-0010.

Attachments

1. Site Maps & Photos
2. Application
3. St. Johns County Property Appraiser Report
4. Conceptual Site Plan
5. Conceptual Building Plans

Staff Report prepared by:

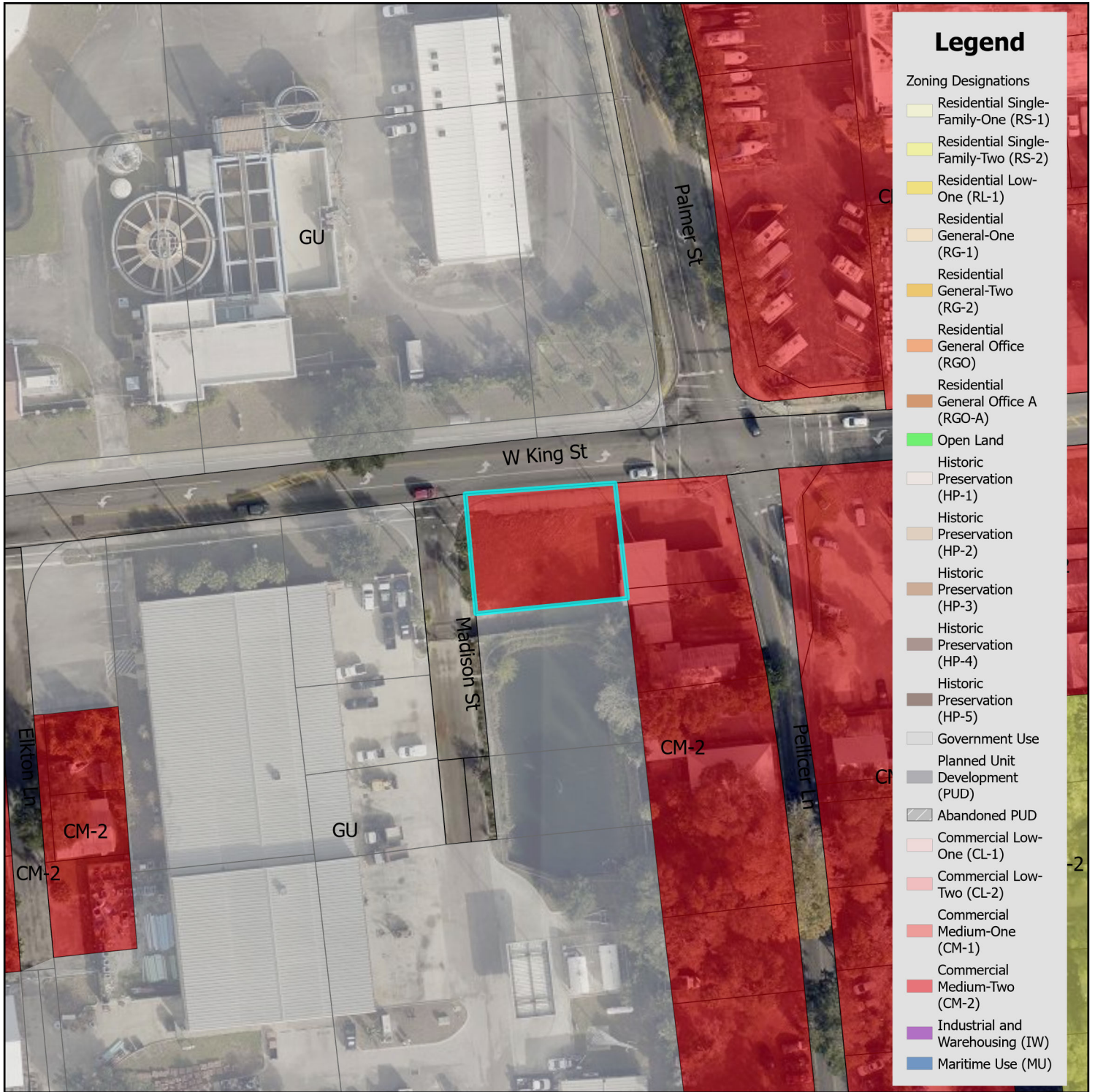
Jacob Fredriksson, CNU-A
Planning Manager
Planning and Building Department

**Attachment 1:
Site Maps & Photos**

241 W King Street



12/09/2024



Zoning Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

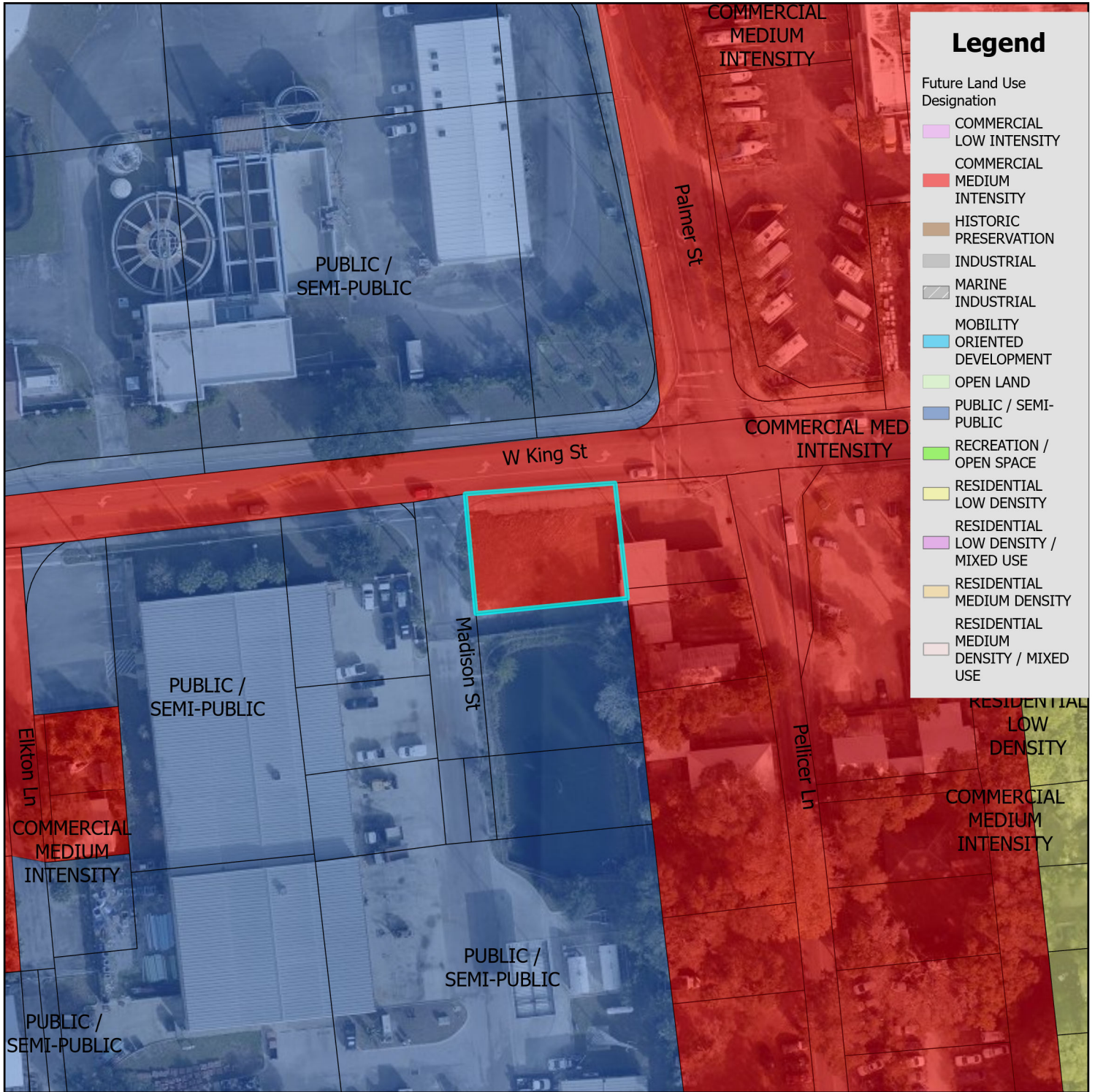
DISCLAIMER
 This map is for reference only. Data provided are derived from multiple sources with varying levels of accuracy. The City of St. Augustine disclaims all responsibility for the accuracy or completeness of the data shown herein.

2025

0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Legend

Future Land Use Designation

- COMMERCIAL LOW INTENSITY
- COMMERCIAL MEDIUM INTENSITY
- HISTORIC PRESERVATION
- INDUSTRIAL
- MARINE INDUSTRIAL
- MOBILITY
- ORIENTED DEVELOPMENT
- OPEN LAND
- PUBLIC / SEMI-PUBLIC
- RECREATION / OPEN SPACE
- RESIDENTIAL LOW DENSITY
- RESIDENTIAL LOW DENSITY / MIXED USE
- RESIDENTIAL MEDIUM DENSITY
- RESIDENTIAL MEDIUM DENSITY / MIXED USE



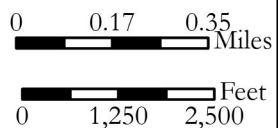
Future Land Use Map



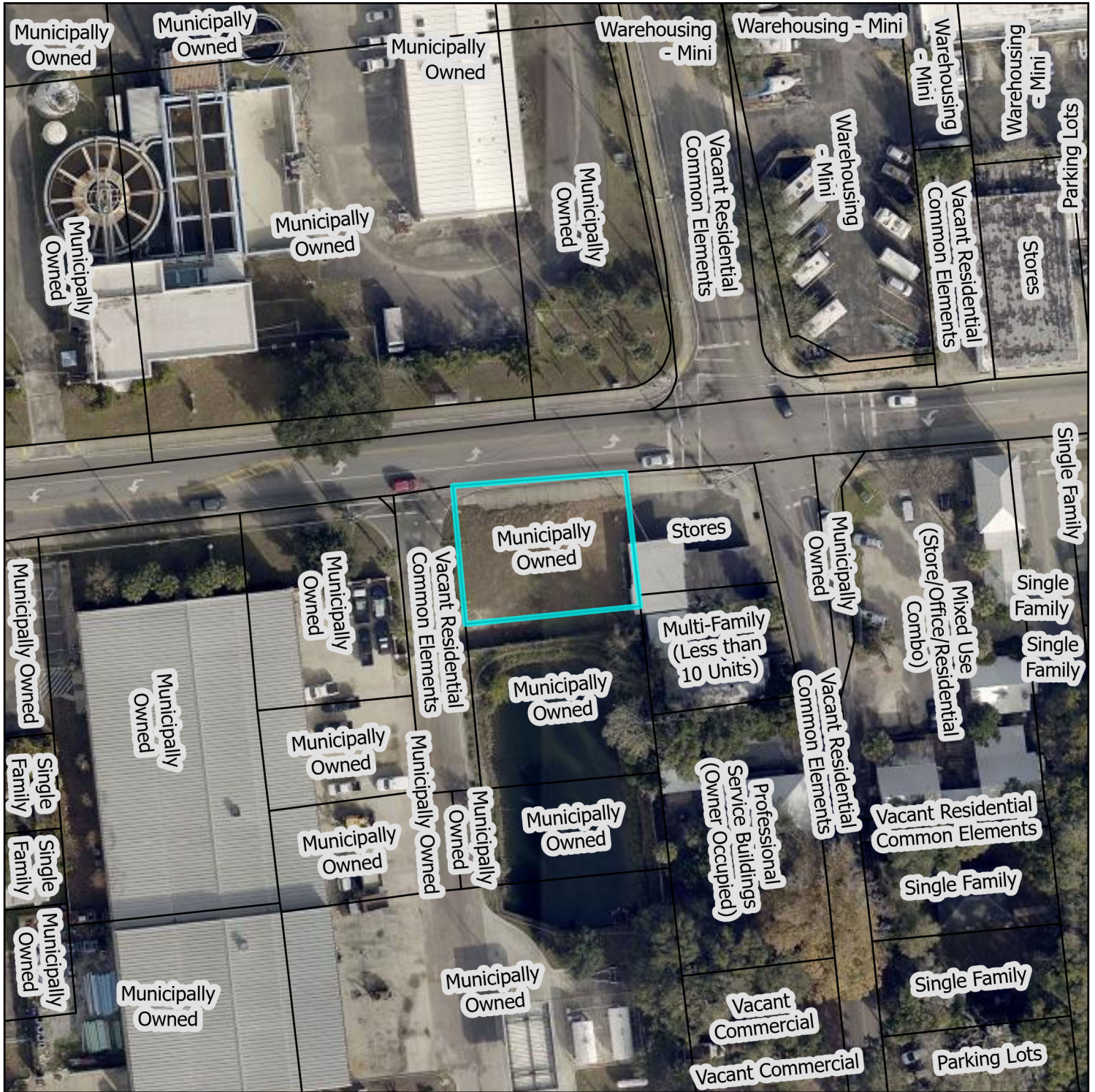
City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
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2025



Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



St. Johns County Property Appraiser Use Classification Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

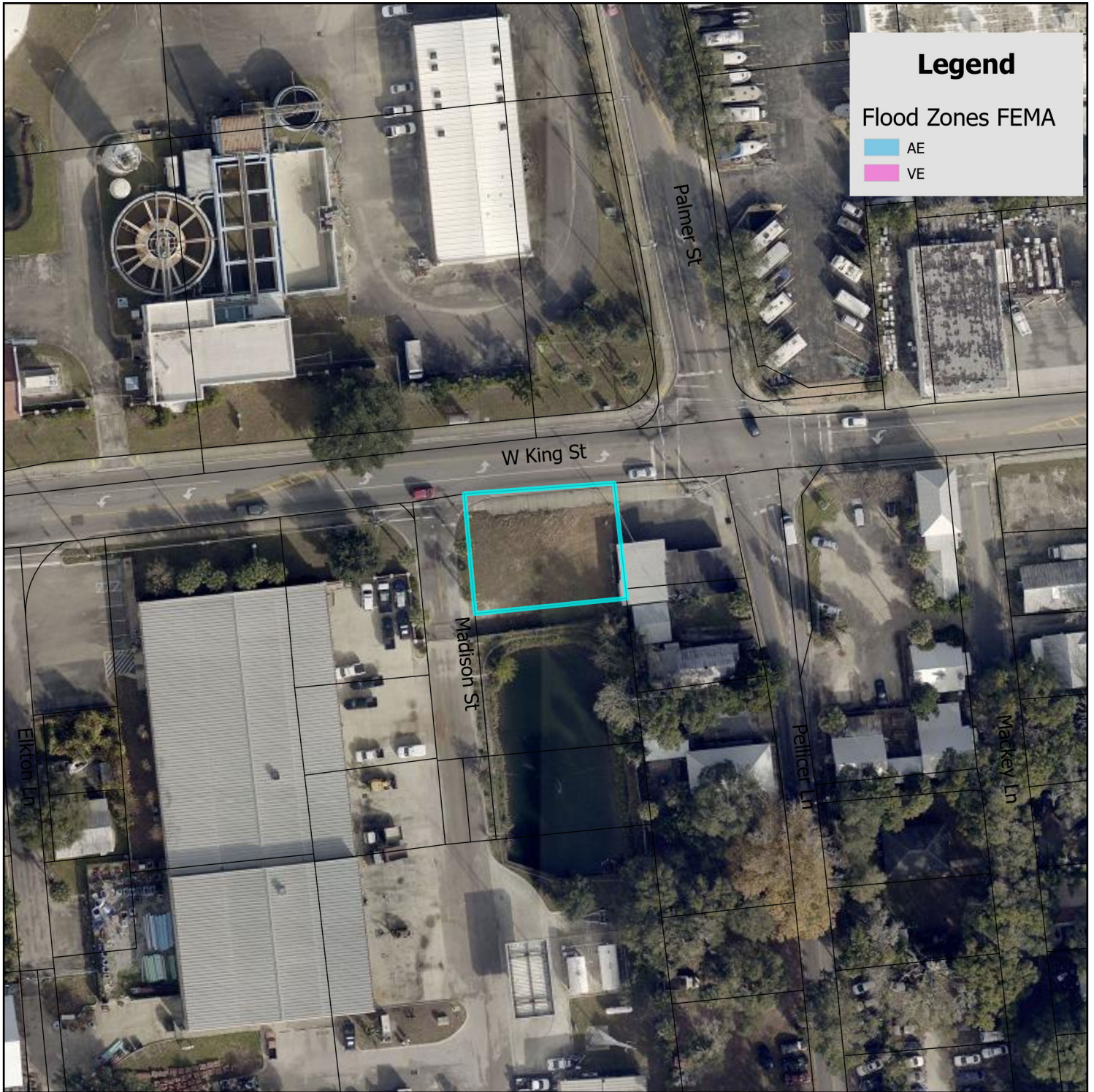
DISCLAIMER
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2025

0 0.01 0.01 Miles

0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Legend

Flood Zones FEMA

- AE
- VE



FEMA Flood Zone Map

City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

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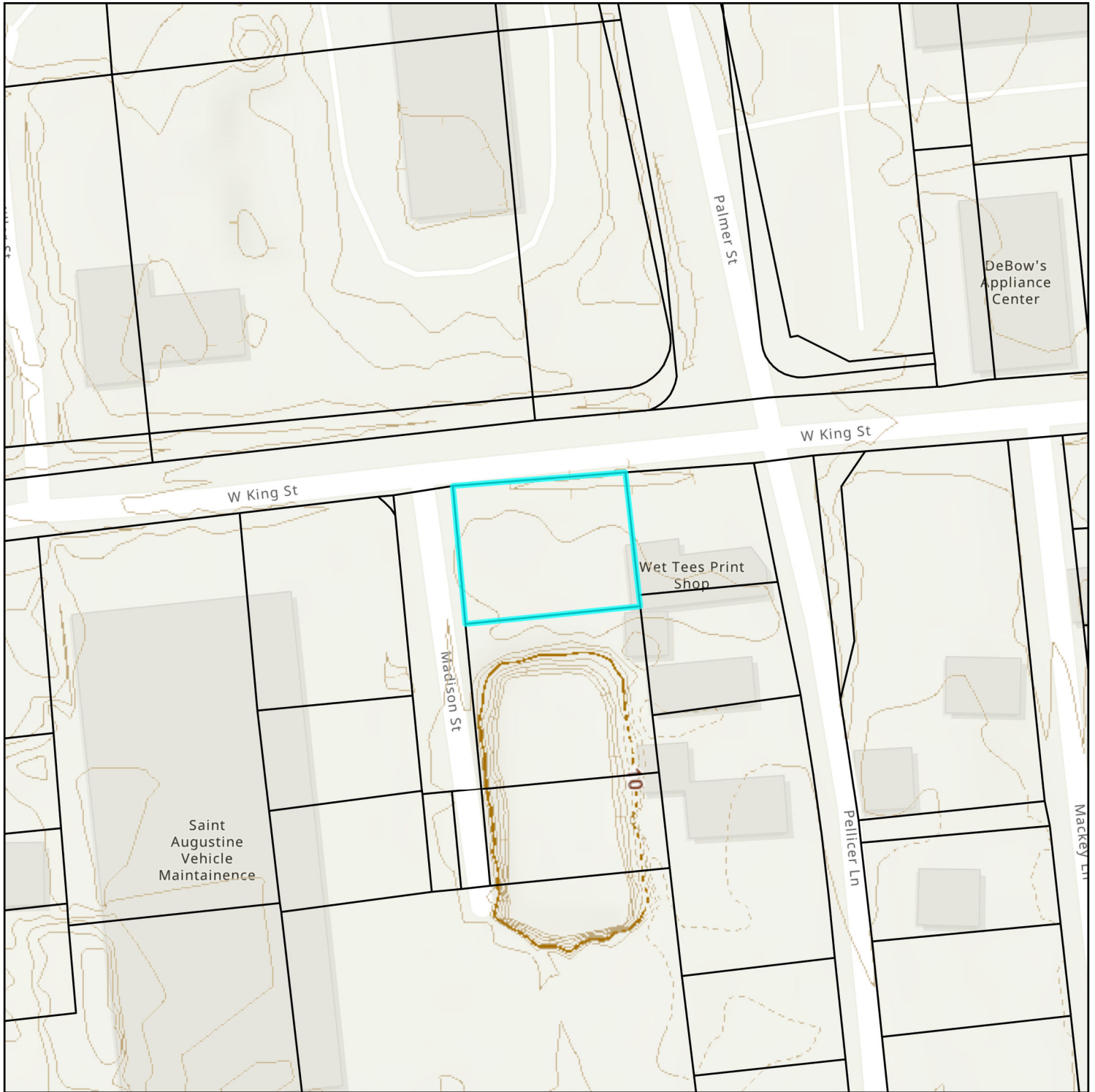
2025



0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Elevation Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
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2025

0 0.01 0.01 Miles

0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

Attachment 2: Application



**CITY OF ST AUGUSTINE
APPLICATION TO PLANNING AND ZONING BOARD**

Application Fee: _____ (plus advertising costs) Project Number: _____

Receipt Number: _____ Meeting Date: _____

Advertising Costs: \$ _____ Paid On: _____ Receipt Number: _____

1. NAME OF APPLICANT: _____ Contact Number: _____

Business (if applicable): _____

Address: _____ City: _____ State: _____ Zip: _____

E-Mail Address: _____

2. NAME OF PROPERTY OWNER: _____ Contact Number: _____

Business (if applicable): _____

Address: _____ City: _____ State: _____ Zip: _____

E-Mail Address: _____

3. LEGAL DESCRIPTION OF PROJECT PROPERTY:

Lot: _____ Block: _____

Subdivision: _____ Parcel Number: _____

4. PROJECT STREET ADDRESS: _____

5. SPECIFIC PROPOSED USE: _____

6. ACTION REQUESTED:

Conservation Zone Development Appeal of Staff Determination

Exception Land Use Plan Amendment

Variance Rezoning

Other: _____

7. DESCRIPTION OF ACTION REQUESTED: _____

8. JUSTIFICATION FOR ACTION REQUESTED: _____

9. IF APPLYING FOR A VARIANCE, PLEASE COMPLETE THE FOLLOWING AND EXPLAIN THE SITUATION FULLY ALONG WITH PROVIDING DOCUMENTATION:

- (a) Does the property because of size, shape, topography or other physical conditions, suffer singular disadvantage, which disadvantage does not apply to other properties in the vicinity: _____

- (b) Can you establish that this disadvantage causes the owner to be unable to make reasonable use of the affected property: _____

- (c) Can you establish that this disadvantage does not exist because of conditions created by the owner or applicant: _____

- (d) Can you establish that granting of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this Section: _____

10. PREVIOUS APPLICATIONS:

Has any application been submitted to the Planning & Zoning Board concerning any part of the subject property within the past year?

Yes No If yes, please give date and final disposition below.

11. AGREEMENT:

In filing this application, I understand that it becomes a part of Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

Application must be signed by both applicant and property owner if different. Letter of authorization must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of either property owner or applicant.

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

IMPORTANT NOTICE: When the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the Board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the Board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the Code.

Signature of Applicant Date

Signature of Property Owner Date



**CITY OF ST. AUGUSTINE
DEVELOPMENT PERMIT APPLICANT WAIVER**

The applicant acknowledges and agrees to waive the limitation of three requests for additional information by the City of St. Augustine, pursuant to Chapter 166.033, Florida Statutes.

The applicant acknowledges and agrees that the City offers weekly Friday Review development review meetings, as well as, department specific applicant meetings with its reviewing staff at any point in the application process to attempt to resolve outstanding issues. The applicant is responsible for scheduling any requested meetings with City staff directly.

The applicant acknowledges and agrees that if after three unresolved submittals the applicant elects to proceed with final approval or denial proceedings, the applicant must request so in writing to the City.

Print name of applicant

Signature of applicant

Date

PZB APPLICATION FEE SCHEDULE

Planning and Zoning Board fees are set by Resolution 2021-38 as follows:

Description of Work	Fee Amount
Rezoning: small scale	\$300.00 + ads & notices
Rezoning: large scale	\$1,000.00 + ads & notices
Land Use Plan Amendment: small scale	\$400.00 + ads & notices
Land Use Plan Amendment: large scale	\$1,400.00 + ads & notices
Planned Unit Development	\$400.00 or \$35.00/acre, whichever is greater, \$1,400 max + ads & notices
Zoning Variance	\$350.00 + ads & notices
Zoning Exception	\$250.00 + ads & notices
Conservation Overlay Zone Development	\$165.00 + ads & notices
Significant Tree Removal or Appeal of Tree Removal Permit Denial	\$165.00 + ads & notices
Appeal of Staff Determination	\$200.00 + ads & notices
Application to Amend Zoning Code	\$600.00 + ads & notices
Subdivision Plat Review	\$275.00 + ads, notices & additional associated costs

“Note: The cost of newspaper advertisement and all notices to surrounding property owners will be assessed by the city, paid by the city and reimbursed by the applicant. All advertising costs must be paid prior to issuance of a development permit.

The applicant shall reimburse the City the mailing cost for all notices and for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing.”

If a Credit Card Authorization Form is used for the payment of fees, the City will maintain the form and automatically charge additional advertising and noticing fees, once determined, to the credit-card account submitted.

By signing below, I acknowledge responsibility for both the initial application fee and any subsequent costs associated with legal advertising and/or noticing and understand that permits associated with my application may not be issued until such fees are paid.

I authorize the Planning and Building Department to maintain my payment information until a final cost for advertising and/or noticing is determined and charged. If a payment method other than Credit Card Authorization Form is used, I understand that I will be sent an invoice for the costs of advertising/noticing which must be paid prior to the issuance of any development permit related to my application. I am aware that I can request a copy of these fees and my receipt from Building Department Staff.

Project Address: 241 West Hwy St

Amy Skinner

Applicant's Name: _____ Applicant's Signature: 

Owner's Name: _____ Owner's Signature: _____

Attachment 3:
St. Johns County Property Appraiser
Report

St. Johns County, FL

Apply for Exemptions

Apply for Exemptions

Homestead Compliance

This form is not a Homestead Exemption application. To apply online for homestead and related exemptions, please click [here](#).

Homestead Compliance

Sales Questionnaire Form

If you are a new owner of this property, please click here to submit a Sales Questionnaire

Sales Questionnaire

2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID 1115600010
 Location Address 241 W KING ST
 SAINT AUGUSTINE 32084-0000
 Neighborhood West King St (COM) (487.01)
 Tax Description* DANCY TRACT N70FT OF LOT 1 BLK 9 OR5971/63
 *The Description above is not to be used on legal documents.
 Property Use Code Municipally Owned (8900)
 Subdivision Dancy Tract of New Augustine Subdivision
 Sec/Twp/Rng 41-7-29
 District City of St Augustine (District 452)
 Millage Rate 18.72
 Acreage 0.140
 Homestead N

[Click Here to Open Cyclomedia Viewer in a New Tab](#)



Owner Information

Owner Name [City Of St Augustine](#) 100%
 Mailing Address PO BOX 210
 SAINT AUGUSTINE, FL 32085-0000

Exemption Information

Exemption Type	Status	Amount
City		\$113,400

Map



Valuation Information

Assessed Year	2025
Valuation Method	Market
Building Value	\$0.00
Extra Features Value	\$0.00
Total Land Value	\$113,400.00
Agricultural (Assessed) Value	\$0.00
Agricultural (Market) Value	\$0.00
Just Market	\$113,400.00
Total Deferred	\$0.00
Assessed Value	\$113,400.00
Total Exemptions	\$113,400.00
Taxable Value	\$0.00

Values listed are from our working tax roll and are subject to change.

Historical Assessment Information

Year	Valuation Method	Building Value	Extra Feature Value	Total Land Value
2024	Market	\$0	\$0	\$113,400
2023	Market	\$0	\$0	\$94,500
2022	Market	\$0	\$0	\$69,300
2021	Market	\$0	\$0	\$69,300
2020	Market	\$0	\$0	\$50,400
2019	Market	\$34,184	\$0	\$31,500
2018	Market	\$27,154	\$0	\$23,625
2017	Market	\$24,905	\$0	\$23,625
2016	Market	\$32,554	\$0	\$23,625
2015	Market	\$32,554	\$0	\$23,625
2014	Market	\$30,639	\$0	\$23,625

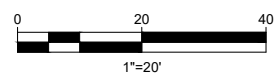
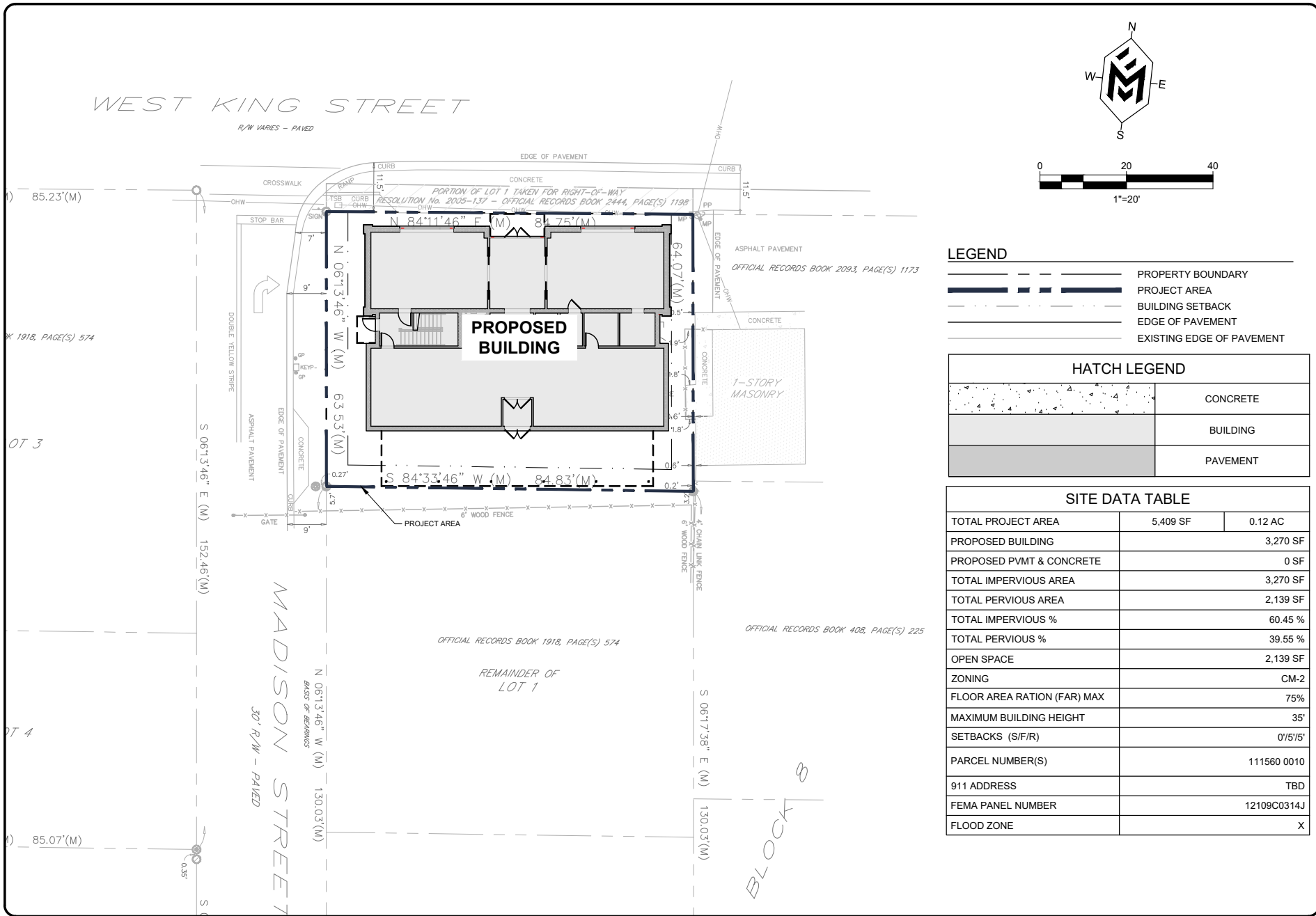
Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Municipally Owned	90	70	6300	SF	\$113,400

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
6/19/2024	6/14/2024	\$140,000.00	WARRANTY DEED	5971	63	U	V	241 W KING ST LLC	CITY OF ST AUGUSTINE
9/9/2020	9/9/2020	\$85,000.00	WARRANTY DEED	5037	1537	Q	V	MORUCCI MICHAEL	241 W KING ST LLC
11/21/2018	11/21/2018	\$81,129.00	WARRANTY DEED	4644	258	Q	I	LINCOLNVILLE PROPERTIES LLC	MORUCCI MICHAEL
9/24/2018	9/24/2018	\$65,000.00	WARRANTY DEED	4615	1768	Q	I	PEEPLES WILLIAM & MALINDA	LINCOLNVILLE PROPERTIES LLC
	5/2/2002	\$60,000.00	WARRANTY DEED	1754	1260	Q	I	COLBERT JAMES L & DAISY S	PEEPLES WILLIAM & MALINDA

Attachment 4:
Conceptual Site Plan



LEGEND

- PROPERTY BOUNDARY
- PROJECT AREA
- BUILDING SETBACK
- EDGE OF PAVEMENT
- EXISTING EDGE OF PAVEMENT

HATCH LEGEND	
	CONCRETE
	BUILDING
	PAVEMENT

SITE DATA TABLE

TOTAL PROJECT AREA	5,409 SF	0.12 AC
PROPOSED BUILDING	3,270 SF	
PROPOSED PVMT & CONCRETE	0 SF	
TOTAL IMPERVIOUS AREA	3,270 SF	
TOTAL PERVIOUS AREA	2,139 SF	
TOTAL IMPERVIOUS %	60.45 %	
TOTAL PERVIOUS %	39.55 %	
OPEN SPACE	2,139 SF	
ZONING	CM-2	
FLOOR AREA RATION (FAR) MAX	75%	
MAXIMUM BUILDING HEIGHT	35'	
SETBACKS (SIF/R)	0'/5'/5'	
PARCEL NUMBER(S)	111560 0010	
911 ADDRESS	TBD	
FEMA PANEL NUMBER	12109C0314J	
FLOOD ZONE	X	

MAVERICK ENGINEERING
10 WILLOW WINDS PARKWAY
ST. JOHNS, FLORIDA 32259
(904) 655-6887

REVISIONS	
#	DESCRIPTION

CONCEPT PLAN

COSA ARCHEOLOGY OFFICE
ST. JOHNS COUNTY, FL

PREPARED FOR: CLIENT

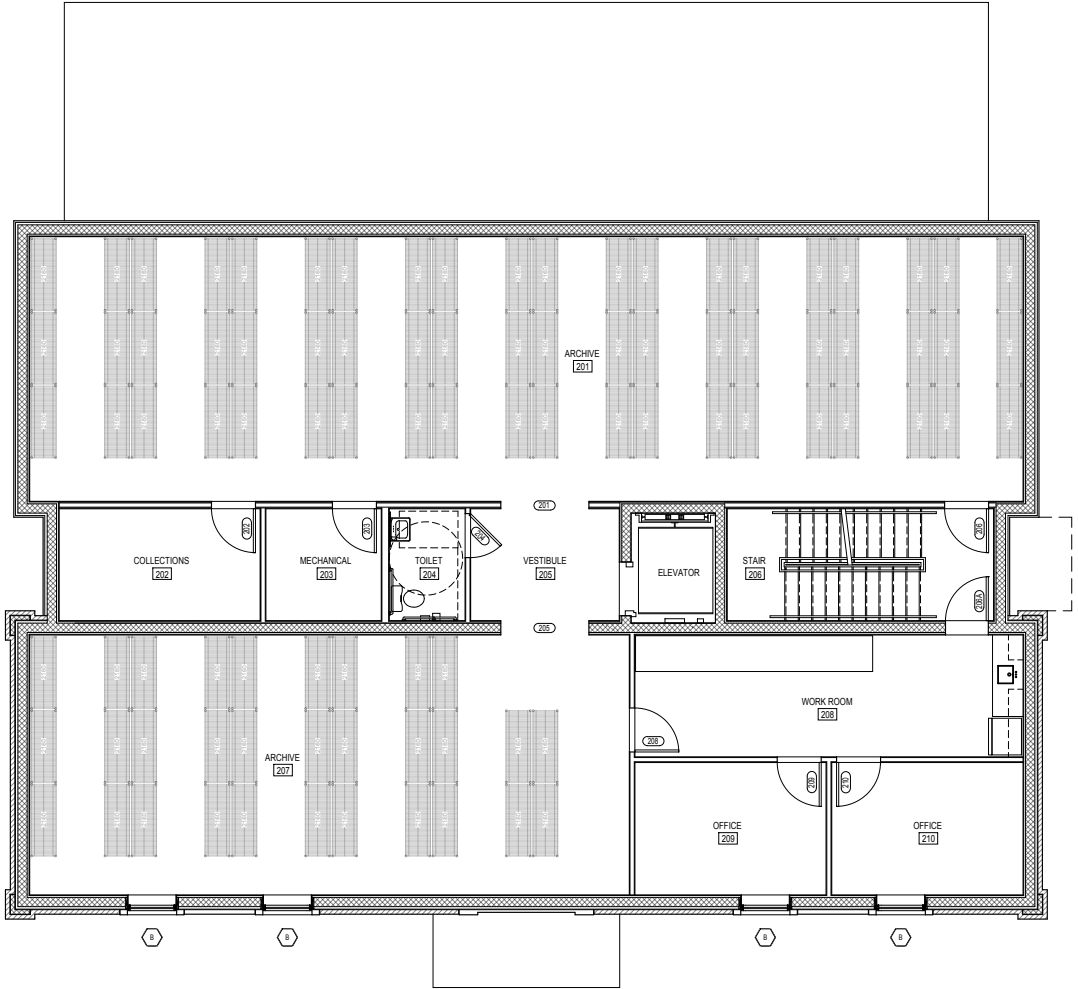
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OF 1

**Attachment 5:
Conceptual Building Plans**

·X—●

-MHO



Architect:
 Sarah Ryan Architect, LLC
 201 Owens Ave
 St Augustine FL 32080
 904.547.9430

Owner:
 CITY OF ST. AUGUSTINE

Contractor:

Structural Engineer
 SWANSON STRUCTURAL, INC.
 201 Owens Ave
 St Augustine FL 32080
 904-685-8806

MEP Engineer
 Powell & Hinkle Engineering
 1409 Kingsley Ave # 12A
 Orange Park FL 32073
 904.264.5370

**DR. SUE A. MIDDLETON
 ARCHEOLOGY CENTER**
 241 WEST KING STREET
 ST. AUGUSTINE FL 32084

No.	Date	Description
1	08/18/24	SCHEMATIC DESIGN
2	08/20/24	PERMIT REVIEW

Scale AS NOTED

Sheet title
SECOND FLOOR PLAN

Sheet Number **A102**

**NOT FOR
 CONSTRUCTION**

SECOND FLOOR PLAN

1/4"=1'-0" 1



Architect:
 Sarah Ryan Architect, LLC
 201 Owens Ave
 St Augustine FL 32080
 904.547.9430

Owner:
 CITY OF ST. AUGUSTINE

Contractor:

Structural Engineer
 SWANSON STRUCTURAL, INC.
 201 Owens Ave
 St Augustine FL 32080
 904-685-8806

MEP Engineer
 Powell & Hinkle Engineering
 1409 Kingsley Ave # 12A
 Orange Park FL 32073
 904.264.5370

**DR. SUE A. MIDDLETON
 ARCHEOLOGY CENTER**
 241 WEST KING STREET
 ST. AUGUSTINE FL 32084

No.	Date	Description
1	08/18/24	SCHEMATIC DESIGN
2	08/20/24	FINAL REVIEW

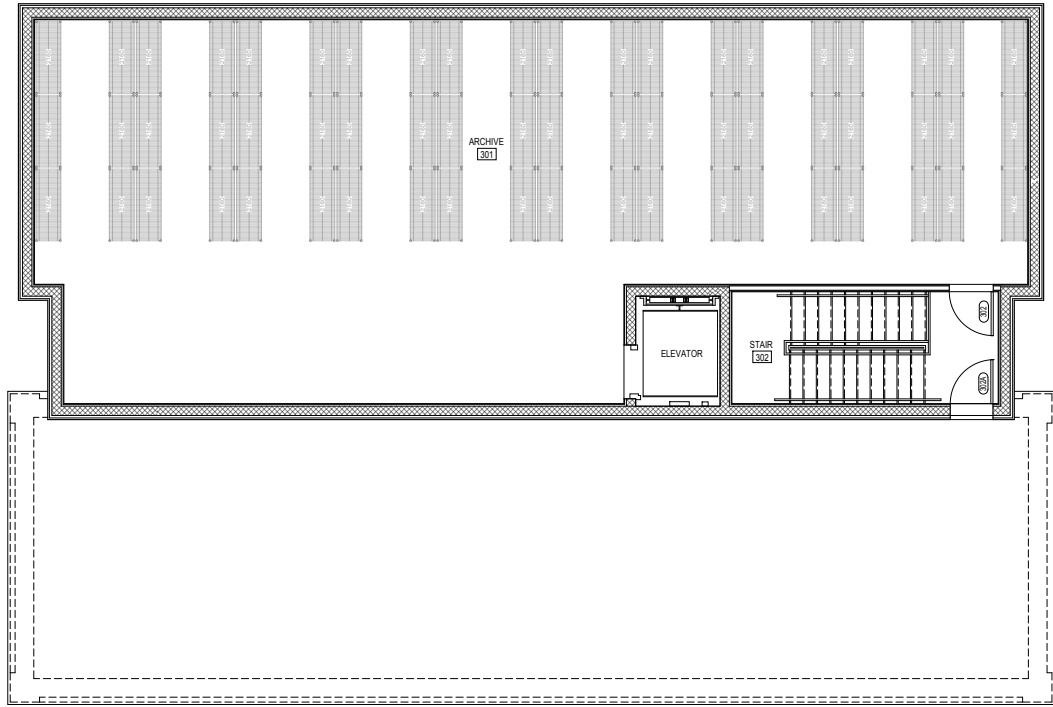
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Sheet title

**THIRD FLOOR
 AND LOWER
 ROOF PLANS**

Sheet Number **A103**

**NOT FOR
 CONSTRUCTION**



THIRD FLOOR PLAN

1/4"=1'-0" 2



Architect:
 Sarah Ryan Architect, LLC
 201 Owens Ave
 St Augustine FL 32080
 904.547.9430

Owner:
 CITY OF ST. AUGUSTINE

Contractor:

Structural Engineer
 SWANSON STRUCTURAL, INC.
 201 Owens Ave
 St Augustine FL 32080
 904-685-8806

MEP Engineer
 Powell & Hinkle Engineering
 1409 Kingsley Ave # 12A
 Orange Park FL 32073
 904.264.5370

DR. SUE A. MIDDLETON
 ARCHEOLOGY CENTER
 241 WEST KING STREET
 ST. AUGUSTINE FL 32084

No.	Date	Description
1	08/18/24	SCHEMATIC DESIGN
2	04/22/25	FINAL REVIEW

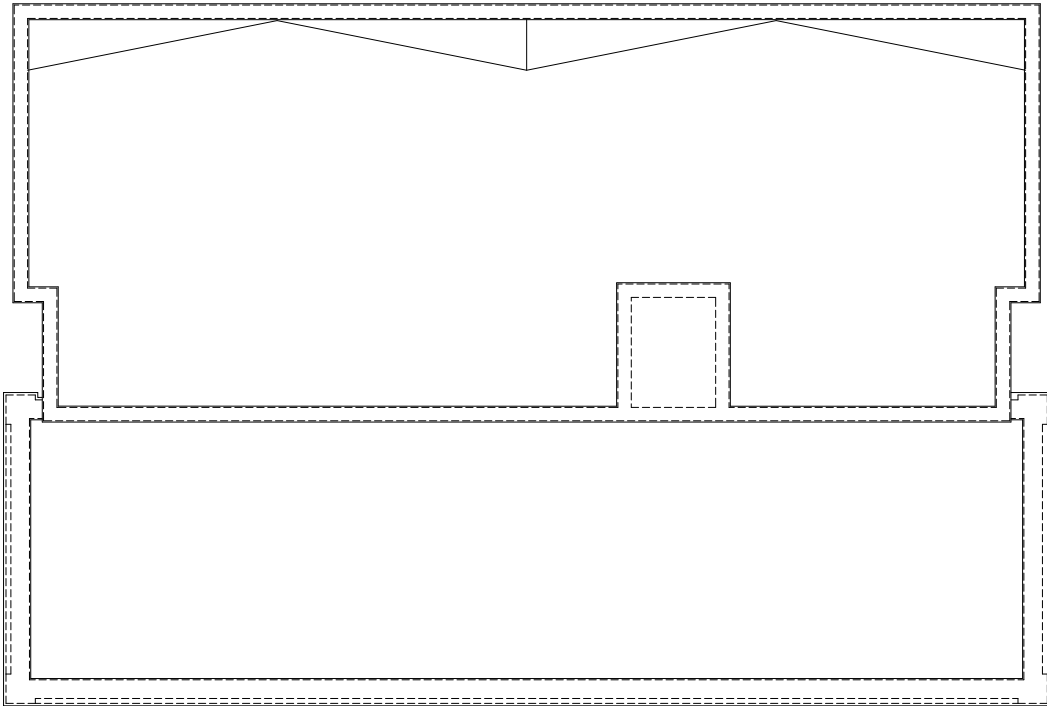
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Sheet title

UPPER ROOF
 PLAN AND
 DETAILS

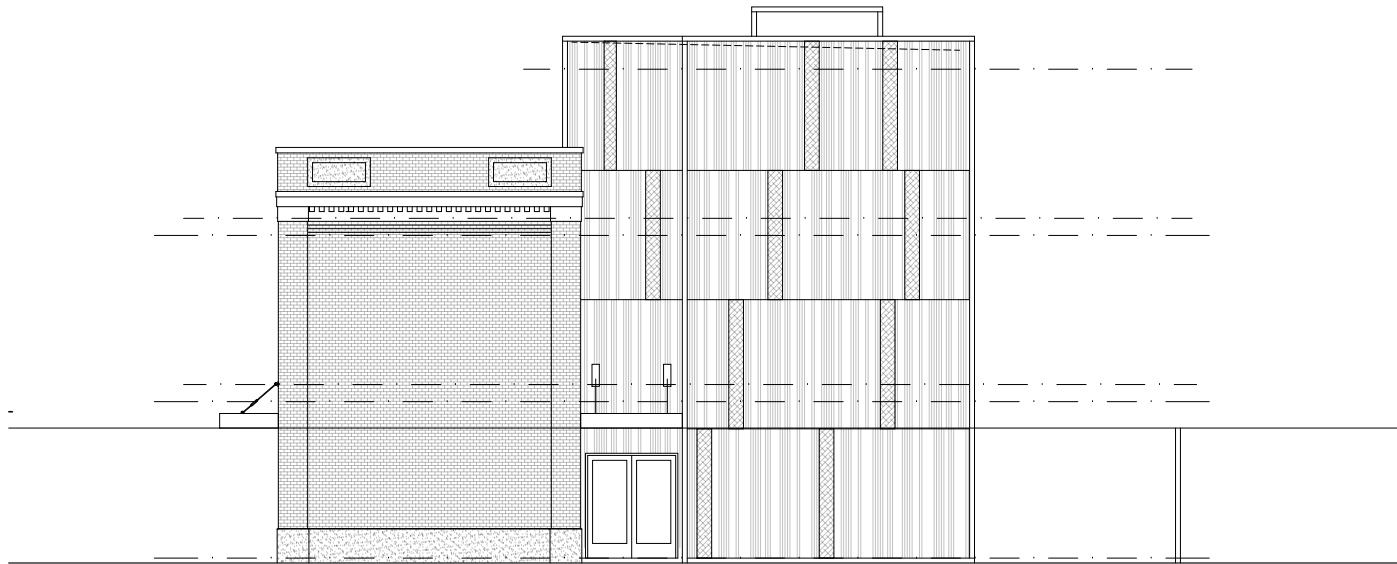
Sheet Number A104

NOT FOR
 CONSTRUCTION



UPPER ROOF PLAN

1/4"=1'-0" 1



WEST (RIGHT SIDE) ELEVATION

1/4"=1'-0" 1



NORTH (FRONT) ELEVATION

1/4"=1'-0" 2



Architect:
Sarah Ryan Architect, LLC
201 Owens Ave
St Augustine FL 32080
904.547.9430

Owner:
CITY OF ST. AUGUSTINE

Contractor:

Structural Engineer
SWANSON STRUCTURAL, INC.
201 Owens Ave
St Augustine FL 32080
904-685-8806

MEP Engineer
Powell & Hinkle Engineering
1409 Kingsley Ave # 12A
Orange Park FL 32073
904-264-5370

DR. SUE A. MIDDLETON
ARCHEOLOGY CENTER
241 WEST KING STREET
ST. AUGUSTINE FL 32084

No.	Date	Description
1	08/18/24	SCHEMATIC DESIGN
2	04/22/25	FINAL REVIEW

Scale AS NOTED

Sheet title

NORTH AND
WEST
ELEVATIONS

Sheet Number A201

NOT FOR
CONSTRUCTION

