



CITY OF
ST. AUGUSTINE
EST. 1565

CITY OF ST. AUGUSTINE PLANNING AND ZONING BOARD
TUESDAY, OCTOBER 7, 2025 - 1:00 PM
ALCAZAR ROOM

1. Roll Call
2. General Public Comments for Items Not on the Agenda
3. Approval of Minutes
 - a) July 16, 2025, Special Meeting Minutes
 - b) August 5, 2025, Regular Meeting Minutes
4. Modification and Approval of Agenda
5. Conservation Overlay Zone Development
 - a) PZB2025-0076 Fremont Latimer - Applicant
c/o Marquis Latimer + Halback, Inc
Carol Bradshaw - Owner
[13 Saragossa St](#)
To approve the removal of a significant tree within Conservation Overlay Zone 3.
 - b) PZB2025-0077 Jessica Beach - Applicant
c/o City of St. Augustine
City of St. Augustine - Owner
[117 Inlet Dr](#)
[124 Inlet Dr](#)
[134 Inlet Dr](#)
[Inlet Dr / PID #213880-0000](#)
To approve the construction of a retaining wall within Conservation Overlay Zones 1 & 2.
6. Variance
 - a) PZB2025-0070 Rebecca Faunce DMD - Applicant
c/o Antigua Orthodontics / Faunce Orthodontics LLC
Faunce Orthodontics LLC - Owner
c/o Antigua Orthodontics / Faunce Orthodontics LLC
[67 S Dixie Hwy](#)
To approve a variance to the side yard setback requirement.

b) PZB2025-0071 George Costin - Applicant & Owner
[Pomar St / PID #208750-0030](#)
To approve a variance to the maximum lot coverage.

c) PZB2025-0073 Elizabeth K Merwin - Applicant & Owner
[168 M L King Ave](#)
To approve a variance request to the front and side yard setback requirements and to increase maximum lot coverage.

7. Use by Exception

a) PZB2025-0065 Tiffany Martin - Applicant
c/o The St. Augustine Birth Collective
Michael Kuc - Owner
c/o Island Home Mortgage, LLC
[906 Anastasia Blvd](#)
To approve a use by exception for an intermediate care facility.

b) PZB2025-0072 Luis Garcia - Applicant
Leland Company's LLC - Owner
[241 San Marco Ave](#)
To approve a use by exception for a business that offers for sale new or used automobiles, trucks, boats and tractors.

8. Rezoning

a) PZB2025-0068 Amy Skinner - Applicant
c/o City of St. Augustine - Property Manager
TIITF - Owner
[SR 312 / PID #162210-0016](#)
[SR 312 / PID #162210-0017](#)
[SR 312 / PID #162210-0020](#)
To recommend a rezoning of approximately 54.67 upland acres to be rezoned from Commercial Medium-Two (CM-2) and Residential General Office A (RGO-A) to Government Use (GU).

9. Other Business

a) Appointment of chair and vice chair.

10. Adjournment

Notices: In accordance with Florida Statute 286.0105: "If any person decides to appeal any decision made by the Historic Architectural Review Board with respect to any matter considered at this scheduled meeting or hearing, the person will need a record of the proceedings, and for such purpose the person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." In accordance with the Americans with Disabilities Act, persons needing a special accommodation to participate in this proceeding should contact the individual or agency sending notice not later than seven days prior to the proceeding at the address given on the notice. Telephone: (904) 825-1007 or 1-800-955-8771 (TDD).

Please note that one or more members of the City Commission or its appointed boards or committees may attend this meeting and participate, however they may not engage in a discussion or debate amongst themselves on any issue that will likely come before their respective elected or appointed body.

The materials prepared and presented are part of the City's ongoing Florida Public Records and Government in the Sunshine compliance, and are not intended to be relied upon or to reach investors or the trading markets.

CITY OF ST. AUGUSTINE

Planning and Zoning Board Special Meeting
July 16, 2025

The Planning and Zoning Board met in session Tuesday, July 16, 2025, at 1:30 p.m. in the Alcazar Room at City Hall. The meeting was called to order by Christina Tucker, Chairperson and the following were present:

1. Roll Call: Christina Tucker, Chairperson
Charles Pappas
Mike Davis
Carl Blow
Matthew Shaffer

Absent Ashleigh Barnes (Excused)
Susan Johns

City Staff: Amy Skinner, Director, Planning & Building Department
Jacob Fredriksson, Planning Manager
Sarah Daugherty, Senior Planner
Richard Buddy Schauand, Building Official
Ray Drechsler, Flood Plain Coordinator
Isabelle Lopez, City Attorney
Michele Fudo, Recording Secretary

2. General Public hearings for Items Not on the Agenda

none

3. Discussion and Recommendation Regarding an Initiative to Develop more Resilient Criteria for Building for Flood Prevention

3.(a). Discussion related to developing criteria in the land development code to incorporate more resilient types of construction and site development techniques in flood prone areas

Amy Skinner introduced the discussion. She summarized the changes to the code language related to lot grading, fill, and flood plains.

Sarah Daugherty gave an overview of the plan so the board would be aware of when the codes would come before the board. She

presented a lot grading flowchart to help determine when commercial or multiunit projects would have to have civic review of the lot grading plan. She advised that there were some new guidelines related to Chapter 28 changes. She then reviewed the Overlay Zone flowchart, which included a different flowchart for Conservation Overlay Zone 2. She continued her review of the changes in Chapter 28-357 of the code. She highlighted that some of the items could be approved by staff and there was a different criterion for an application to be brought to the board. She advised that applicants had to demonstrate the drainage plan for any property to staff and there would be some requirements to build on stem walls in certain situations to maintain proper drainage. She said that fill requirements had been set and described those limits for the board. She went on to highlight Chapter 11 changes.

Ms. Skinner advised that the fill requirements came from the draft created by the

environmental attorney that assisted with the new changes.

3.(b). Public Comment

none

3.(c). Planning and Zoning Board discussion and recommendation

Mr. Davis referenced the section for impact on the flood plain, he asked if this would give the board the ability to stop the construction of retaining walls with fill added to the top. He confirmed that lot coverage would stay the same at seventy percent (ISR). He supported the uniform standard for bulkheads. He asked if there needed to be language for garages that were going to be constructed on fill. He was in favor of having thirty percent of the property that would stay outside flood walls. He asked if there could be a provision in the code that would allow certain homeowners to leave a trench with a drainpipe in the back of the property to alleviate flooding. He verified that the language referencing exceeding requirements for drainage needed to be restated for clarification.

Mr. Blow verified that any lot grading plan needed to be provided by a surveyor or engineer. He continued and clarified the guidelines for swales. He asked for a definition of a green roof and was advised that it would be an actual living roof, he was not able to confirm if it would be accepted by homeowners' insurance. He questioned the practice of diverting drainage from single family homes into the street rather than into wetlands or waters of the state.

Ms. Daugherty said that in neighborhoods without a stormwater plan, the residents were encouraged to continue the current drainage.

Ms. Tucker wanted to know if the board should be confirming that any proposals match or meet existing master drainage plans for neighborhoods.

Mr. Shaffer asked what the responsibility of the board would be in relation to areas like Pelican Reef. He wanted guidance on the issue going forward. He said that the staff had done a great job addressing the problems that the board had faced in the past and thought that the changes would provide more tools for the board to work with.

Ms. Skinner advised that the Water Management District had taken enforcement action with the HOA of Pelican Reef for maintenance of ditches and swales.

Mr. Shaffer asked if the adjustment to the twenty-five-foot buffer for scenic vistas would be determined by staff.

Ms. Lopez said that the regulations would allow for scenic vista within a 25-foot buffer if there was a desire to provide it as a public benefit.

Mr. Pappas said that there was nothing overly restrictive in the plan. He asked that the city be mindful of changes in the neighborhoods that would affect the positive flow of water to the inlet. He thought that in the future there may be a need to add swales on those areas.

Mr. Blow questioned the standards for review regarding the distance language for adjacent salt marshes and the vegetative communities contained therein. He felt that the word nearby should be stricken from the language.

Ms. Lopez advised her suggestion would be to remove the word owners as well as the intent was to protect property. She then advised the board of a new law that did not allow for passage of new code changes that would be more burdensome to the property owners. She asked staff to advise if there was anything in the plan that would be more burdensome, because it could not be done if that was the case. She then polled the panel and determined that there was consensus that the proposed changes would not be more burdensome.

MOTION

MOVED to RECOMMEND the Initiative to Develop more Resilient Criteria for Building for Flood Prevention to the City Commission as it made the process less burdensome for homeowners and staff would review the average size of garages for category one to determine the percentage of fill allowed based on a predetermined percentage and include other items concerning wording as staff had noted. The motion was SECONDED by Mr. Pappas.

VOTE ON MOTION

AYES: Davis, Pappas, Shaffer, Blow, Tucker

NAYES:

MOTION CARRIED UNANIMOUSLY¹

4. Discussion Regarding the Requires Evaluation and Appraisal Report (EAR) of the City's Comprehensive Plan

4.(a). Discussion related to the required evaluation of the city's adopted 2040 Comprehensive Plan

Jacob Fredriksson advised that every seven years the city was required to update the Comprehensive Plan, and he explained the process for the update.

4.(b) Public Comment

none

4.(c). Planning and Zoning Board discussion and recommendation

Ms. Tucker opened the floor to the board for any questions.

Ms. Lopez explained that Comprehensive Plans were a look at what the future could be. She said that today there may be better foresight based on the experience in the

past. She advised that there would have to be an evaluation of changes to be sure that they were not more burdensome and said that she would have to verify if that law applied.

Ms. Skinner said that there had been some small changes to the plan, and she did not anticipate any major changes going forward.

Ms. Lopez said that comprehensive plans were a collection of goals, policies and objectives and sometimes there would be contradictions; however, there was a balance that would be established going forward.

5. Adjournment

Having no further business, Ms. Tucker adjourned the meeting at 3:08 P.M.²

Christina Tucker, Chairperson

¹ Break 2:43 – 2:56

² Transcribed by Michele Fudo

CITY OF ST. AUGUSTINE

Planning and Zoning Board Regular Meeting
August 5, 2025

The Planning and Zoning Board met in formal session Tuesday, August 5, 2025, at 1:00 p.m. in the Alcazar Room at City Hall. The meeting was called to order by Christina Tucker, Chairperson and the following were present:

1. Roll Call: Christina Tucker, Chairperson
Charles Pappas
Mike Davis (Mr. Davis joined the meeting at 2:36 pm)
Carl Blow
Matthew Shaffer

Absent Ashleigh Barnes (Excused)
Susan Johns (Excused)

City Staff: Amy Skinner, Director, Planning & Building Department
Jacob Fredriksson, Planning & Building Planner
Sarah Daugherty, Senior Planner
Isabelle Lopez, City Attorney
Michele Fudo, Recording Secretary

2. General Public hearings for Items Not on the Agenda

none

3. Approval of Minutes

MOTION

Mr. Pappas MOVED to APPROVE the July 1, 2025, 2024 minutes as presented. The motion was SECONDED by Mr. Shaffer and PASSED BY UNANIMOUS VOICE VOTE.

4. Modification and Approval of Agenda

Item 7.a PZB2025-0049 requested a continuance to the September 2, 2025 meeting.

MOTION

Mr. Pappas MOVED to APPROVE the Agenda with the following modification: item 7.a. PZB2025-0049 would be

continued to the September 2, 2025 meeting. The motion was SECONDED by Ms. Tucker and PASSED BY UNANIMOUS VOICE VOTE.

5. Conservation Overlay Zone Development

5. (a) PZB2025-0051 – Ryan Carter c/o Carter Environmental Services – Applicant Nathan Beidle c/o Toll Southeast LP Company, Inc. – Owner PID 134780-0000; 1500 Arapaho Avenue; 1501 Arapaho Avenue

To approve the construction of a dock within Conservation Overlay Zones 1 & 2.

Ms. Daugherty read the staff report and said review of Section 11-29 is the responsibility of the Planning and Zoning Board for the proposed development within Conservation Overlay Zones 1 & 2. This application is for the modification of a dock at 1500 & 1501 Arapaho Drive / PID 134780-0000.

Ryan Carter reviewed the application.

The Board presented their Ex Parte Communication.

8 certified notices were sent, 0 were returned in favor, 0 were returned opposed and 0 had comments.

Public hearing was opened; however, there was no response.

There was consensus with the Board that the criteria had been met for the construction of the dock.

MOTION

Mr. Shaffer MOVED to APPROVE application PZB2025-0051 for the construction of a dock within Conservation Overlay Zones 1 & 2 at 1500 and 1501 Arapaho. The motion was SECONDED by Mr. Pappas.

VOTE ON MOTION:

AYES: Shaffer, Pappas, Blow, Tucker

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

5. (b) PZB2025-0057 – National Park Service – Applicant & Owner 1 S. Castillo Drive

To approve the modification of a seawall within Conservation Overlay Zones 1 & 2.

Ms. Daugherty read the staff report and said review of Section 11-29 is the responsibility of the Planning and Zoning Board for the proposed development within Conservation Overlay Zones 1 & 2. This application is for the modification of an existing seawall at 1 S. Castillo Drive / PID 219910-0000 and 196170-0000.

Gordie Wilson and Jackie Brower reviewed the application.

The Board presented their Ex Parte Communication.

Ms. Tucker reviewed the certified notice responses and emails received for the application.

Public hearing was opened.

Craig Barzso was concerned that there was no mention of the Abbott Tract and the potential for flooding to spill over into that area. He thought there should be a coordinated plan.

Public hearing was closed.

Ms. Brower provided her rebuttal, explaining that there were two National Park Service (NPS) projects running concurrently. She said that the capacity of the water that the land could hold would increase and the grade change was captured within the NPS existing drainage plan. The project was designed to take the water away from the Water Street area.

The Board discussed:

- There would be no pumps at the site at this time, but if needed could be added later
- There would be a delta on the site to allow the water to percolate into the ground
- Previous drainage system had collapsed; however, there was now a working system in place

Louisa Colarro was sworn in for the record and explained that the goal of the new drainage system was designed to continue having the water drain onto the Castillo property.

Ms. Daugherty advised that her analysis did not include any drainage

- The slope of the area helped to keep the water flowing to the drain
- The project was estimated to be completed between twelve to eighteen months, possibly less than a year.

- The construction was all landside
- The staging area was on the residential side and the hours for deliveries were limited to late night in the parking lot area
- There would be vibrating monitors in various areas to maintain safety of the fort throughout the construction
- Was the city confident with the drainage since there would be no pumps installed at the beginning of the project

Jessica Beach advised that there had been a significant amount of coordination for this project between the city and the NPS. She said that in the future and because of changes in the area, there may be a need to add pumping stations.

- Clarified that the city did not have any jurisdiction for federal projects; however, part of the project was on city property
- There was a return wall proposed for the northern side of the property that would keep water from going into the adjacent neighborhood
- The funding for this project was in place and had been in place for three years.

MOTION

Mr. Blow MOVED to APPROVE application PZB2025-0057. The motion was SECONDED by Mr. Shaffer.

VOTE ON MOTION:

AYES: Blow, Shaffer, Pappas, Tucker

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

6. Variance

**6. (a) PZB2025-0047 – Huyen Le – Applicant
Phillip Le – Owner
15 Garnett Avenue**

To approve a variance request to the maximum square footage of a guest house and reduce the front and side yard setbacks.

Ms. Daugherty read the staff report and said based on a review of Sec. 28-29 staff finds that the Board may APPROVE the variance requests to reduce the minimum secondary front yard setback along the alley from eight (8) feet to zero (0), reduce the side yard setback from ten (10) feet to three (3) feet, and finally to increase the maximum size of a guest house from five hundred (500) square feet to seven hundred and eighty-six (786) square feet at 15 Garnett Avenue / PID 190070-0000.

Huyen Le and Phillip Le reviewed the application.

The Board presented their Ex Parte Communication.

15 certified notices were sent, 1 was returned in favor, 0 were returned opposed and 0 had comments.

Public hearing was opened; however, there was no response.

The Board discussed:

- Confirmed that the guest house would be in the existing garage with two bedrooms
- This would be used as a short-term rental and there was adequate parking on site
- No full kitchen
- Confirmed that the bedrooms and the bath existed when the applicant purchased the building
- Could not identify a hardship; however, the zoning was CL-2.
- The applicant was trying to make reasonable use; however, did not support going over 500 square feet
- No issue with the setback as the building already existed
- Concerned with the zero-foot setback
- Thought that this was an intensification of the use

MOTION

Mr. Shaffer MOVED to DENY application PZB2025-0047 a variance request to the maximum square footage of a guest house and to reduce the front and side yard setbacks. The motion was SECONDED by Mr. Pappas.

VOTE ON MOTION:

AYES: Shaffer, Pappas, Blow, Tucker

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

**6. (b) PZB2025-0054 – Ken Wieber – Applicant & Owner
143 Oneida Street**

To approve a variance request to the side yard setback requirement.

Ms. Daugherty read the staff report and said based on a review of Sec. 28-29 staff finds that the Board may APPROVE the variance requests to reduce the side yard setback from ten (10) feet to seven point five (7.5) feet at 143 Oneida Street / PID 211590-0000.

Ken Wieber reviewed the application.

The Board presented their Ex Parte Communication.

28 certified notices were sent, 0 were returned in favor, 0 were returned opposed and 0 had comments.

Public hearing was opened.

Michael Sutherland spoke in favor of the variance and said that the renovation was necessary.

Public hearing was closed.


The Board discussed:

Mr. Blow was concerned that the variance stayed with the land and asked how the

motion could be worded to make it only for this application.

Ms. Lopez advised that if the intent was to grant the variance for the application that was before the Board, including the scope of work in the motion would be acceptable.

Mr. Pappas confirmed that the proposal was to add on to the existing building which would push into the setback.

 Mr. Shaffer said that the application had met the criteria for the variance.

MOTION

Mr. Pappas MOVED to APPROVE application PZB2025-0054 a variance request to the side yard setback requirement per this application only to expand the current structure. The motion was SECONDED by Mr. Blow

VOTE ON MOTION:

AYES: Pappas, Blow, Shaffer, Tucker

NAYES: NONE

MOTION CARRIED UNANIMOUSLY¹

7. Use by Exception

**7. (a) PZB2025-0049 – James G. Whitehouse, Esq. – Applicant
Richard Dettra / Dettra Living Trust – Owner
120 La Quinta Place**

To approve a Use by Exception for an off-site parking facility within 400 feet of a commercial use at 115 La Quinta Place.

This application was continued to the September 2, 2025 meeting. See item four.

8. Land Use Plan Amendment & Rezoning

8. (a) PZB2025-0055 – Ricardo Stallings – Applicant

¹ Break 2:23pm – 2:36pm; Mr. Davis joined the meeting

Davis & Debra Gessel – Owner
96 Bruen Street

To recommend a future land use plan map amendment to change the future land use of the East Fifty (50) feet of lots 17, 18, 19, Block Twenty-one (21), Ravenswood, according to the map of New Augustine dated June 1918 from Residential Low Density to Commercial Low Intensity and a compatible rezoning from Residential Single-Family-Two (RS-2) to Commercial Low-One (CL-1).

Mr. Fredriksson read the staff report and said based on Sec. 28-30 staff finds that the Board may make POSITIVE RECOMMENDATIONS to the city commission to amend that future land use plan map to change the future land use of the East Fifty (50) feet of Lots 17, 18, and 19, Block Twenty-One (21), Ravenswood, according to map of New Augustine dated June 1918 from Residential Low Density to Commercial Low Intensity and a compatible rezoning from Residential Single-Family: RS-2 to Commercial Low-One: CL-1.

The Board may also consider a less intense residential land use category, along with a compatible zoning district, that would allow multifamily uses at the same density as the requested land use. This may be more compatible adjacent to the Residential Low-Density area surrounding the property.

The required Board report as part of a potential positive recommendation could include that the Board has studied and considered:

1 The increased diversity of housing types allowed under the Commercial Low Intensity future land use designation assists in the provision of affordable housing which serves as the need and justification for the change.

2 The positive relationship of the proposed amendment and rezoning to the city's general planning program through the 2025 Vision Plan's objective to encourage of infill

development as part of maintaining its authentic character and the observed condition in April 2024 Finding of Necessity Report for the West City Community Redevelopment Area (WCCRA) of the "inadequate and outdated building density patterns" which contributes to the "blight area" finding.

3 This request and proposal's consistency with the comprehensive plan as analyzed, documented, and found above in this report.

The applicant was not present.

MOTION

Ms. Tucker MOVED to place this item at the end of the agenda to give the applicant time to appear. The motion was SECONDED by Mr. Davis and PASSED BY UNANIMOUS VOICE VOTE.

This item was heard after item 8.e.

Ricardo Stallings reviewed the application.

The Board presented their Ex Parte Communication.

Ms. Tucker reviewed the certified notice responses and emails received for the application.

Public hearing was opened.

Melinda Rakoncay said that affordable housing was necessary in the area; however, upzoning the property to a higher density was not the way to accomplish this. She spoke against the application.

Karen Ball said that there was a lot of pedestrian activity, to include children, and the addition of multifamily housing would make the neighborhood more dangerous.

Marta Hahn asked what the need was to change the zoning for this property. She wanted the applicant to clarify the project.

Ann Solomn was concerned that if the zoning was changed for this property, others would follow and the neighborhood would be worse off.

BJ Kalaidi said that 98 Bruen Street was proposed for a split on the lot. She asked if anyone really knew what was going on the lot after the rezoning.

Public hearing was closed.

Mr. Stalling provided his rebuttal and explained that there would be two quadplexes in the proposal.

The Board discussed

Ms. Tucker asked why the ask was for CL-1 zoning when RG would suffice. She said that the proposal for quadplexes was great; however, the proposed CL-1 zoning allowed for so much more than what was being proposed. She felt that there was too much uncertainty to support the application.

Mr. Blow said that it was very rare that the zoning would change to increase the density of the area and there was not enough information provided to support the rezoning.

Mr. Davis pointed out that there was no plan for the project being presented, and while affordable housing was a good plan, there was no plan to show the planned housing. He agreed that there were so many uses when the zoning was changed to CL-1 that there could be problems going forward.

Mr. Pappas agreed with the other comments from the board and said that the property was zoned correctly at this time.

Mr. Shaffer said that if the application was granted it would be inconsistent with objective 6.4 regarding residential categories that were established to preserve predominately residential neighborhoods.

MOTION

Mr. Shaffer MOVED to RECOMMEND AGAINST application PZB2025-0055 at 96 Bruen Street for a future land use plan map amendment to change the future land use of the East Fifty (50) feet of lots 17, 18, 19, Block Twenty-one (21), Ravenswood, according to the map of New Augustine dated June 1918 from Residential Low Density to Commercial Low Intensity. The motion was SECONDED by Mr. Pappas.

VOTE ON MOTION:

AYES: Shaffer, Pappas, Blow, Davis, Tucker

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

MOTION

Mr. Shaffer MOVED to RECOMMEND AGAINST a compatible rezoning from Residential Single-Family-Two (RS-2) to Commercial Low-One (CL-1) for PZB20205-0055 96 Bruen Street.

**8. (b) PZB2025-0056 – Ricardo Stallings – Applicant
David and Debra Gessel – Owner
98 Bruen Street**

To recommend a future land use plan map amendment to change the future land use from Residential Low Density to Commercial Low Intensity and a compatible rezoning from Residential Single-Family-Two (RS-2) to Commercial Low-One (CL-1).

Mr. Fredriksson read the staff report and said based on Sec. 28-30 staff finds that the Board may make POSITIVE RECOMMENDATIONS to the city commission to amend the future land use plan map to change the future land use from Residential Low Density to Commercial Low Intensity and a compatible rezoning from Residential Single-Family-Two: RS-2 to Commercial Low-One: CL-1 for the property at 98 Bruen Street / PID 108420-0000.

The Board may also consider a less intense residential land use category, along with a compatible zoning district, that would allow multifamily uses at the same density as the requested land use. This may be more compatible adjacent to the Residential Low-Density area surrounding this property. The required Board report as part of potential recommendation could include that the Board has studied and considered:

1 The increased diversity of housing types allowed under the Commercial Low Intensity future land use designation assists in the provision of affordable housing which serves as the need and justification for the change.

2 The positive relationship of the proposed amendment and rezoning to the city's general planning program through the 2025 Vision Plan's objective to encourage of infill development as part of maintaining its authentic character and the observed condition in April 2024 Finding of Necessity Report for the West City Community Redevelopment Area (WCCRA) of the "inadequate and outdated building density patterns" which contributes to the "blight area" finding.

3 This request and proposal's consistency with the comprehensive plan as analyzed, documented, and found above in this report.

Ricardo Stalling reviewed the application.

The Board presented their Ex Parte Communication.

Ms. Tucker reviewed the certified notice responses and emails received for the application.

Public hearing was opened.

Melinda Rakoncay said that there were many zoning districts that would allow for affordable housing. She said there was no need to change the zoning for this property as it would likely destabilize the neighborhood.

Marta Hahn said that preservation of the residential aspects of the West City was key, and there was no reason to allow any upzoning for the property.

Ann Solomn was opposed to the rezoning because it would change the neighborhood in a negative way.

Karen Ball did not support the rezoning to CL-2

Public hearing was closed.

The Board discussed

There was consensus with the Board to not support this application for rezoning.

MOTION

Mr. Shaffer MOVED to RECOMMEND AGAINST application PZB2025-0056 at 98 Bruen Street a future land use plan map amendment to change the future land use from Residential Low Density to Commercial Low Intensity. The motion was SECONDED by Ms. Tucker.

VOTE ON MOTION:

AYES: Shaffer, Tucker, Blow, Davis, Pappas

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

MOTION

Mr. Shaffer MOVED to RECOMMEND AGAINST rezoning from Residential Single-Family-Two (RS-2) to Commercial Low-One (CL-1) at 98 Bruen Street. The motion was SECONDED by Ms. Tucker.

VOTE ON MOTION

AYES: Shaffer, Tucker Blow, Pappas, Davis

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

8. (c) PZB2025-0059 – Amy Skinner c/o City of St. Augustine – Applicant

City of St. Augustine – Owner
Florida Avenue / PID 109390-0000; 3
Theodore Street / PID 110430-0000;
Florida Avenue /PID 110440-0000

To recommend a future land use plan map amendment to change the future land use of approximately 2.97 upland acres from Residential Medium Density to Recreation and open Space and a compatible rezoning from Residential General-one (RG-1) to Government Use (GU).

To recommend a future land use plan map amendment to change future land use of approximately 8.42 waterward acres from Open Land (Very low density) to Open Land (Conservation) and a compatible rezoning from Residential General-one (RG-1) to Open Land (OL).

Mr. Fredriksson read the staff report and said based on Sec. 28-30 staff finds that the Board may make POSITIVE RECOMMENDATIONS to the city commission to amend the future land use plan map to change the future land use of approximately 11.39 acres of land, approximately 2.97 upland acres from Residential Medium Density to Recreation and Open Space and approximately 8.42 waterward acres from Open Land (Very Low Density) to Open Land (Conservation).

In addition, staff finds that the Board may make POSITIVE RECOMMENDATIONS to the city commission to rezone the approximately 2.97-acre upland portion from Residential, General-One: RG-1 to a compatible Government Use: GU zoning designation and from Residential, General-One: RG-1 to a compatible Open Land: OL zoning designation for the approximately 8.42-acre waterward portion.

The required Board report as part of a potential positive recommendation could include that the Board has studied and considered:

1 The need and justification for the change stems from the fact that the city now owns the land described above and intends for it to be used for public and conservation purposes.

2 The positive relationship of the proposed amendment and rezoning to the city's general planning program through the 2025 Vision Plan's objective to conserve natural resources and ecosystems as part of enhancing the city's resiliency and the mission of the city's land Conservation Program which is to acquire, improve, and manage lands that protect the City's natural and cultural resources, and improve the community's health and resiliency.

3 This request and proposal's consistency with the comprehensive plan as analyzed, documented, and found above in this report.

Amy Skinner reviewed the application.

The Board presented their Ex Parte Communication.

Ms. Tucker reviewed the certified notice responses and emails received for the application.

Public hearing was opened.

Haley Martineau spoke in support of the application.

Sheila Howard asked if the change in the zoning gave the city the opportunity to change in the future or would this be a permanent change.

Ms. Skinner advised that any future changes would have to come back to the board, and she added that there would also be management plans for the properties.

David Cox and associate (name inaudible) asked if there were already plans in place for the property and would there be any changes for future use for their property.

Ms. Skinner said that these would be passive parks with no further development. She advised that the zoning for adjacent properties would not change.

BJ Kalaidi was supportive of the project and reminded everyone that this was in the West City CRA.

Marta Hahn was in support of the project

Melinda Rakoncay said that this was a zoning change that she fully supported as this was considered down zoning. She said that she would like to see the same for the May Street property.

Public hearing was closed.

The Board discussed

There was consensus with the Board in support of this application.

MOTION

Mr. Davis MOVED to MAKE A POSITIVE RECOMMEND for a future land use plan map amendment to change the future land use of approximately 2.97 upland acres from Residential Medium Density to Recreation and Open Space and approximately 8.42 waterward acres from Open Land (Very low density) to Open Land (Conservation) for application PZB2025-0059. The motion was SECONDED by Mr. Pappas.

VOTE ON MOTION:

AYES: Davis, Pappas, Shaffer, Blow, Tucker

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

MOTION

Mr. Davis MOVED to MAKE A POSITIVE RECOMMENDATION to the City Commission to rezone approximately 2.97 upland acres from RG-1 to a compatible Government Use (GU) zoning

and for 8.42 waterward acres from Residential General-one (RG-1) to Open Land (OL) for application PZB2025-0059. The motion was SECONDED by Mr. Pappas.

VOTE ON MOTION:

AYES: Davis, Pappas, Shaffer, Blow, Tucker

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

8. (d) PZB2025-0060 – Amy Skinner c/o City of St. Augustine – Applicant City of St. Augustine – Owner Florida Avenue/ PID 107790-0010 and Julia Street / PID 107790-0110

To recommend a future land use plan map amendment to change the future land use of approximately 4.26 upland acres from Residential Medium Density to Recreation and Open Space and a compatible rezoning of approximately 2.53 acres from Residential General-two (RG-2) to Government Use (GU) also including a rezoning of approximately 1.28 acres from Open Land (OL) to Government Use (GU).

To recommend a future land use plan map amendment to change the future land use of approximately 2.31 waterward acres from Open Land (Very low density) to Open Land (Conservation).

To recommend the assigning of approximately 0.33 acres of former city right-of-way a zoning designation of Government Use (GU) and approximately 0.12 of former city right-of-way a zoning designation of Open Land (OL).

Mr. Fredriksson read the staff report and said based on Sec. 28-30 staff finds that the Board may make POSITIVE RECOMMENDATIONS to the city commission to amend the future land use plan map to change the future land use of approximately 6.57 acres of land, approximately 4.26 upland acres from

Residential Medium Density to Recreation and Open Space and approximately 2.31 waterward acres from Open Land (Very Low Density) to Open Land (Conservation).

In addition, staff finds that the Board may make POSITIVE RECOMMENDATIONS to the city commission to rezone the approximately 2.53-acre upland portion from Residential, General-Two: RG-2 to a compatible Government Use: GU zoning designation, assign the approximately 0.33 acre undesignated portion of uplands a Government Use: GU zoning designation, and assign the approximately 0.121 acre undesignated portion of waterward property an Open Land: OL zoning designation.

The required Board report as part of a potential positive recommendation could include that the Board has studied and considered:

- 1 The need and justification for the change stems from the fact that the city now owns the land described above and intends for it to be used for public and conservation purposes.
- 2 The positive relationship of the proposed amendment and rezoning to the city's general planning program through the 2025 Vision Plan's objective to conserve natural resources and ecosystems as part of enhancing the city's resiliency and the mission of the city's land Conservation Program which is to acquire, improve, and manage lands that protect the City's natural and cultural resources, and improve the community's health and resiliency.
- 3 This request and proposal's consistency with the comprehensive plan as analyzed, documented, and found above in this report.

Amy Skinner reviewed the application.

The Board presented their Ex Parte Communication.

38 certified notices were sent, 0 were returned in favor, 1 was returned opposed and 1 had comments.

Public hearing was opened.

Marta Hahn supported this application and thanked the Board for their work.

Ann Solomn felt great gratitude to the city for the work that had gone on in this project.

Public hearing was closed.

The Board discussed

There was consensus with the Board in support of this application

Mr. Shaffer asked for clarification of Government Use and what would be allowed.

Ms. Skinner explained what Government Use (GU) involved.

MOTION

Ms. Tucker MOVED to MAKE A POSITIVE RECOMMENDATION to the City Commission to amend the future land use plan map to change the future land use of approximately 6.57 acres; approximately 4.26 upland acres from Residential Medium Density to Recreation and Open Space and approximately 2.31 waterward acres from Open Land (Very low density) to Open Land (Conservation) for application PZB2025-0060. The motion was SECONDED by Mr. Shaffer

VOTE ON MOTION:

AYES: Tucker, Shaffer, Blow, Pappas, Davis

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

MOTION

Ms. Tucker MOVED to MAKE A POSITIVE RECOMMENDATION to the City Commission for application PZB2025-0060 to rezone approximately 2.53 acres upland portion from Residential General Two (RG-2) to a compatible Government

Use (GU) to zoning designation assign approximately .33 acres undesignated portion of uplands a Government Use (GU) zoning designation and assign approximately .12 acre undesignated portion of waterward property an Open Land (OL). The motion was **SECONDED** by Mr. Shaffer.

VOTE ON MOTION:

AYES: Tucker, Shaffer, Blow, Pappas, Davis

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

8. (e) PZB2025-0061 – Amy Skinner c/o City of St. Augustine – Applicant City of St. Augustine – Owner 18 Smith Street / PID 103520-0000; 14 Smith Street / PID 103530-0000; 10 Smith Street / PID 103540-0000; Evergreen Avenue / PID 103470-0000; Evergreen Avenue / PID 103480-0000; Evergreen Avenue / PID 103490-0000

To recommend a future land use plan map amendment to change the future land use of approximately 1.77 upland acres from Residential Medium Density to Recreation and Open Space and a compatible rezoning from Residential General-one (RG-1) to Government Use (GU).

To recommend a future land use plan map amendment to change the future land use of approximately 1.07 waterward acres from Open Land (Very low density) to Open Land (Conservation) and a compatible rezoning from Residential General-one (RG-1) to Open Land (OL)

Mr. Fredriksson read the staff report and said based on Sec. 28-30 staff finds that the Board may make POSITIVE RECOMMENDATIONS to the city commission to amend the future land use plan map to change the future land use of approximately 2.47 acres of land, approximately 1.4 acres upland acres from Residential Medium Density to Conservation

Open Space and approximately 1.07 waterward acres from Open Land (Very Low Density) to Open Land (Conservation).

In addition, staff finds that the Board may make POSITIVE RECOMMENDATIONS to the city commission to rezone the approximately 1.4-acre upland portion from Residential, General-One: RG-1 to a compatible Government Use: GU zoning designation and from Residential, General-One: RG-1 to a compatible Open Land: OL zoning designation for the approximately 1.07-acre waterward portion.

The required Board report as part of a potential positive recommendation could include that the Board has studied and considered:

- 1 The need and justification for the change stems from the fact that the city now owns the land described above and intends for it to be used for public and conservation purposes.
- 2 The positive relationship of the proposed amendment and rezoning to the city's general planning program through the 2025 Vision Plan's objective to conserve natural resources and ecosystems as part of enhancing the city's resiliency and the mission of the city's land Conservation Program which is to acquire, improve, and manage lands that protect the City's natural and cultural resources, and improve the community's health and resiliency.
- 3 This request and proposal's consistency with the comprehensive plan as analyzed, documented, and found above in this report.

Amy Skinner reviewed the application.

The Board presented their Ex Parte Communication.

22 certified notices were sent, 0 were returned in favor, 0 were returned opposed and 0 had comments.

Public hearing was opened.

Marta Hahn said that the seller had understood the desire of the city to protect this area, and she was pleased to see it happening.

Michelle Burgis said that she was appreciative of what the city was doing with this property.

Alexander Rukosh said he lived in the neighborhood and told the board that he also appreciated the city purchasing the property for conservation. He asked if there was a possibility of using the recreation zoning to add a kayak ramp.

Ms. Skinner advised that the city would be working on a management plan for this area.

Public hearing was closed.

The Board discussed

The Board had consensus for support of the application.

MOTION

Ms. Tucker MOVED to MAKE A POSITIVE RECOMMENDATION to the city commission to amend the future land use map to change the future land use of approximately 2.47 acres of land approximately 1.4 upland acres from residential medium density to recreation and open space and approximately 1.07 waterward acres from Open Land (Very Low Density) to Open Land Conservation for application PZB2025-0061. The motion was SECONDED by Mr. Shaffer.

VOTE ON MOTION:

AYES: Tucker, Shaffer, Blow, Pappas, Davis

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

MOTION

Ms. Tucker MOVED TO MAKE A POSITIVE RECOMMENDATION to the city commission to rezone approximately 1.4 acres upland portion from Residential General 1 (RG-1) to compatible Government Use (GU) zoning designation and from Residential General One (RG-1) to a compatible Open Land (OL) zoning designation for the approximately 1.07-acre waterward portion. The motion was SECONDED by Mr. Shaffer.

VOTE ON MOTION

AYES: Tucker, Shaffer, Blow, Pappas, Davis

NAYES: NONE

MOTION CARRIED UNANIMOUSLY

9. Other Business

none

10. Adjournment

Having no further business, Ms. Tucker adjourned the meeting at 4:09 P.M.²

Christina Tucker, Chairperson

² Transcribed by Michele Fudo



Planning and Zoning Board

Planning Division Staff Report
 Planning and Building Department

Public Hearing Date	Agenda Item	Application Number
October 7, 2025	5.a.	PZB2025-0076
Request	Address	Parcel ID
Conservation Overlay Zone Development	13 Saragossa Street	205550-0000

Site & Background Information

Applicant: Fremont Latimer, RLA
 c/o Marquis Latimer + Halback, Inc.

Owner: Carol Bradshaw

Property Class:
 (St. Johns County
 Property Appraiser) 0100 – Single Family

**Future Land Use
 Designation:** [Residential Low Density](#)

Zoning Designation: [Residential Single-Family-One: RS-1](#)

Acreage: 0.13

Neighborhood: Flagler Model Land

Archaeological Zone: N/A

Request Summary

This is a request for [Conservation Overlay Zone \(COZ\) development](#) for the removal of one (1) significant tree within [COZ 3](#) at 13 Saragossa Street. The approval of this application would allow for the removal of a sixteen (16) inch dbh Southern Red Cedar tree as part of structural repairs.

Staff Analysis

Consistency with the City of St. Augustine's Comprehensive Plan 2040

Comprehensive Plan Element	Goal, Policy, or Objective	Staff Analysis
Future Land Use		
Historic Preservation		
Conservation and Coastal Management	<p>CCM Objective 2.6</p> <p>The City shall commit to preservation of community trees and the urban forest to improve air quality, community health, quality of life, aesthetics, and energy conservation.</p>	<p>The applicant is proposing to replace the removed Southern Red Cedar tree with two new Southern Red Cedar trees and is consistent with CCM Objective 2.6.</p>
	<p>CCM Policy 1.1.3</p> <p>b. Require vegetative and landscape buffers, and where appropriate, street trees along transportation corridors to buffer land uses;</p>	<p>The applicant is proposing to keep two trees along the street which is consistent with CCM Policy 1.1.3</p>
Recreation and Open Space		
Transportation and Mobility		
Housing		
Infrastructure		

Review of Applicable City of St. Augustine Code of Ordinances

The planning and zoning board is [authorized to impose limitations](#) in the nature and manner of construction and/or use so as to avoid damage to adjacent salt marshes and the vegetative communities contained therein, to eliminate any harm to the animal, fish or shellfish contained therein, to avoid blocking or disrupting vistas and scenic opportunities, and to enhance those vistas and scenic opportunities which are determined to benefit the public as a whole.

Review of (Sec. 11-29(d)(1))

Removal of significant trees shall be [reviewed by the Planning and Zoning Board](#), all significant trees removed shall be replaced in accordance with the requirements of [Chapter 25](#). The planning and zoning board is authorized to impose limitations on the nature and manner of construction and/or so as to avoid alteration of surface water hydrology which would increase the flood hazard potential and to [minimize the impact on existing trees and native vegetation](#). In determining whether or not a permit required by this section should be issued, the PZB shall [consider and base all decisions on the following](#):

- a. The condition of the tree with respect to disease, insect attack, danger of falling, proximity to existing or proposed structures and interferences with utility services.

The applicant is proposing to remove a sixteen (16) inch diameter at breast height (DBH) Southern Red Cedar (*Juniperus silicola*). The arborist report did not list the condition of the tree. However, the applicant needs to repair the foundation of the home near the tree. According to the arborist report this repair would require approximately fifty (50) percent of the root system to be severed. The disruption to the root system would destabilize the tree and increase the likelihood of failure in high wind or a storm event. The arborist report further elaborated that the proximity of the tree to the structure, sidewalk, and driveway make keeping the tree a safety concern. The arborist report recommended removal of the tree.

- b. The necessity of removing a tree to construct proposed improvements in order to allow reasonable economic use of the property.

The pilings of the single-family home at 13 Saragossa Street are damaged by the root system of the Southern Red Cedar. Repairing the foundation of the home requires the roots to be pruned to the extent that the stability of the tree will be compromised causing safety concerns.

- c. The relief of the land where the tree is located and the effect removal of the tree would have on erosion, soil moisture retention, diversion, increased or decreased flow of surface waters and the city master drainage plan or similar plan adopted by the city commission.

The removal of the cedar tree in an established and mature yard should not cause erosion issues or increase the flow of surface waters.

- d. The number and density of trees existing in the neighborhood on improved or unimproved property. The planning and building division shall also be guided by the effect removal of a tree would have on property values in the neighborhood where the property is located and on other vegetation in the neighborhood.

The application indicates the presence of five (5) trees at 13 Saragossa Street.

- **The applicant is proposing to REMOVE three (3) trees in total, two (2) Camphor trees and one (1) significant sixteen (16) inch dbh Southern Red Cedar tree.**
 - o **Camphor trees are defined in the City's Code as invasive species; permits are not required for the removal of invasive trees, and they are preferred to be removed.**
- **This application indicates the PRESERVATION of two (2) significant trees, a thirty-eight (38) inch dbh Laurel Oak and a twenty-three (23) inch dbh Cedar tree.**
- **The applicant is proposing that two (2) Southern Red Cedar trees be planted for MITIGATION.**

The applicant's proposal will preserve the existing tree canopy, enhance the beauty of the neighborhood, and help mitigate noise and air pollution by retaining two (2) significant trees along the front and side property lines and planting two (2) new cedar trees.

- e. Whether the tree has been designated a significant tree.

The application for Saragossa Street includes the removal of one (1) significant tree, a sixteen (16) inch DBH cedar tree while retaining two significant trees, a thirty-eight (38) DBH Laurel Oak and a twenty-three (23) inch DBH cedar tree.

- f. Impact upon the urban and natural environment, including:

1. Ground and surface water stabilization.
2. Water quality and aquifer recharge.
3. Ecological impacts.
4. Noise pollution.
5. Air movement.
6. Air quality.
7. Wildlife habitat.

The applicant's proposal to retain two (2) trees along the front and street side property lines and planting of two (2) new cedar trees will help to maintain the tree canopy, contribute to the beauty of the neighborhood, and abate noise and air pollution.

- g. The ease with which the property owner or agent can alter or revise the proposed development or improvements to accommodate existing trees, including the tree or trees proposed to be removed.

The significant cedar tree proposed to be removed is recommended for removal by a certified arborist to repair the foundation of the single-family home at 13 Saragossa Street.

Review of Sec. 25-56. – Tree removal and replacement.

(g) Relocation and replacement. As condition to the granting of a permit, the property owner or agent will be required to relocate the tree being removed or required to replace the tree being removed with a tree somewhere within the site. Native vegetation shall be replaced with native vegetation. Shade trees must be replaced by shade trees. Understory and palm trees may be replaced by any type tree. Replacement shade trees shall be a minimum of ten (10) feet high and understory trees shall be a minimum of ten (10) feet high when planted. Each Southern Red Cedar tree (juniperus silicicola) removed shall be replaced with a minimum of two (2) Southern Red Cedars of such a size and quality as shall be determined by the city building official to be assured of such Southern Red Cedars' continued viability and growth. The property owner or agent shall also be required to replace the relocated or replacement tree should same die within three (3) years from date of planting.

The applicant is not required to replace the invasive trees removed. However, the Southern Red Cedar tree is required to be replaced with a minimum of two (2) Southern Red Cedars. The applicant is proposing to plant two (2) Southern Red Cedar Trees which is consistent with Chapter 25.

Staff Recommendation

Review of Section 11-29 is the responsibility of the Planning and Zoning Board for the proposed development within Conservation Overlay Zone 3. The specific request for Conservation Overlay Zone 3 development is for the removal of one (1) significant tree at 13 Saragossa Street / PID 205550-0000.

Attachments

1. Site Maps & Photos
2. Application
3. St. Johns County Property Appraiser Report
4. Supplemental Information
5. Arborist Report

Staff Report prepared by:



Sarah Daugherty
Senior Planner
Planning and Building Department

**Attachment 1:
Site Maps
and Photos**



Elevation Map

City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
 This map is for reference only. Data provided are derived from multiple sources with varying levels of accuracy. The City of St. Augustine disclaims all responsibility for the accuracy or completeness of the data shown hereon.

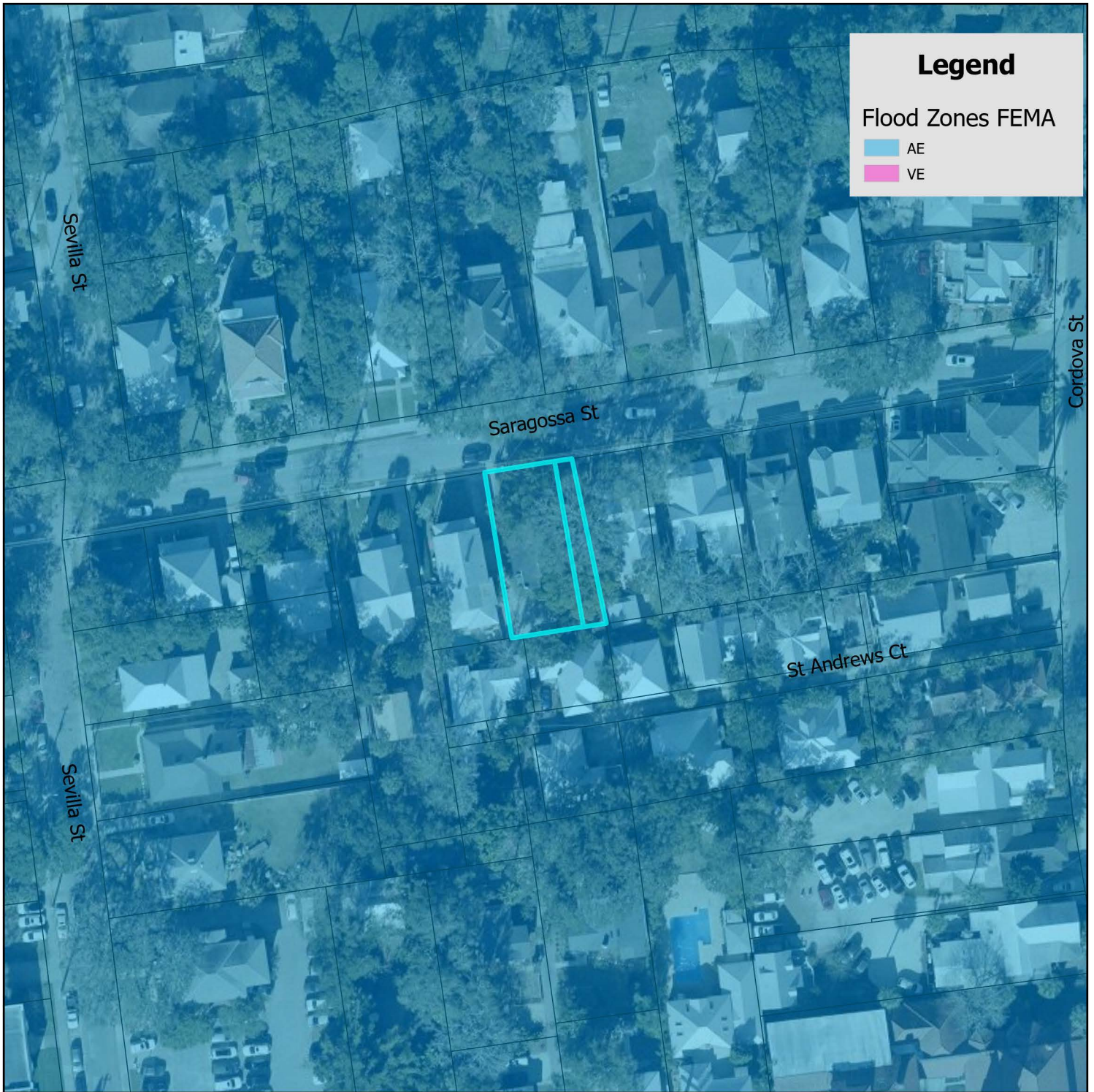
2025



0 0.01 0.01 Miles

0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



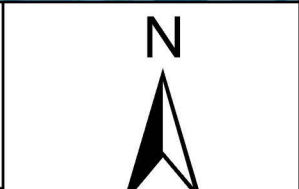
Legend

Flood Zones FEMA

- AE
- VE



FEMA Flood Zone Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

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2025

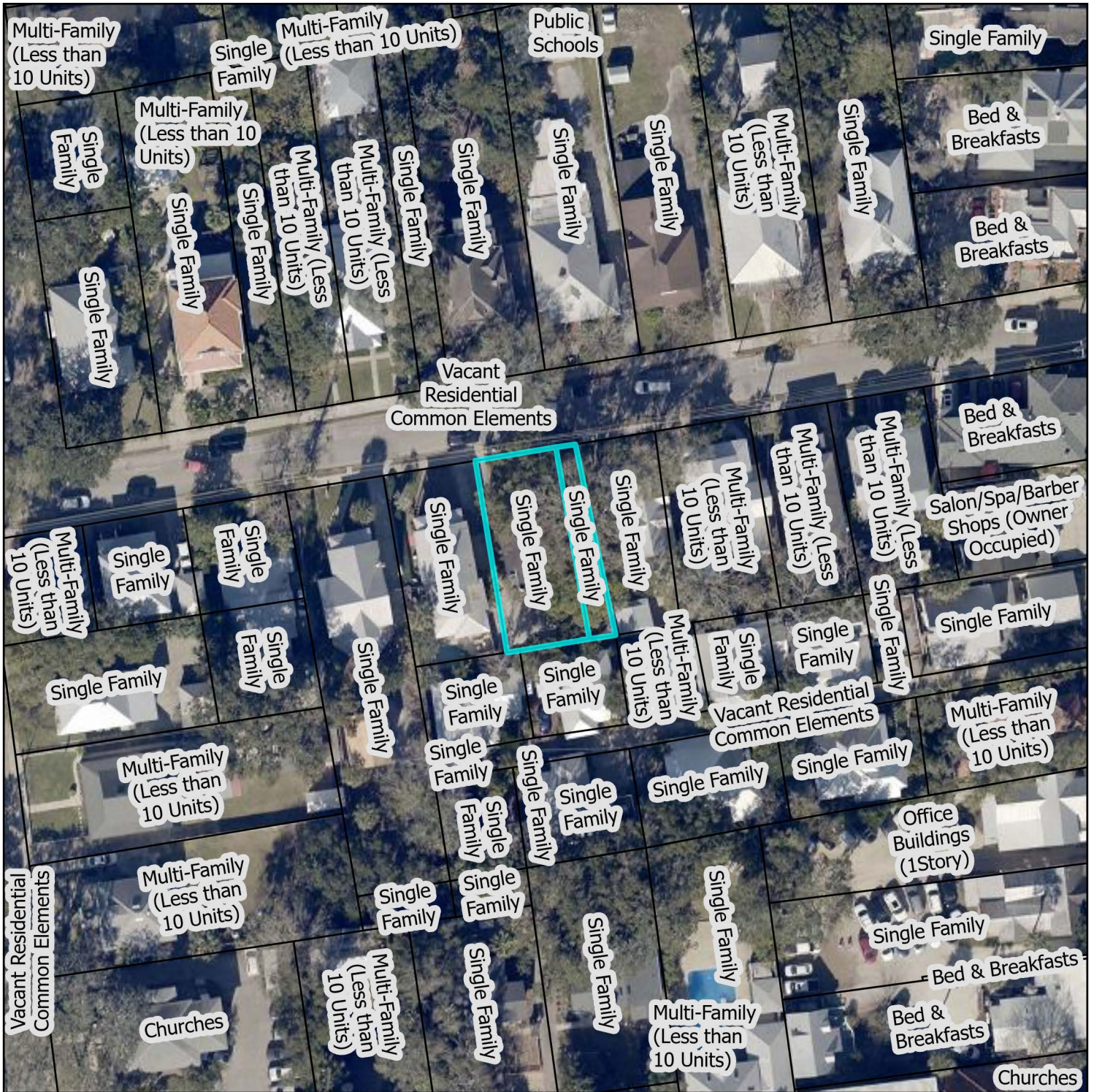


Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

13 Saragossa Street



12/18/2022



St. Johns County Property Appraiser Use Classification Map



City of St. Augustine
Planning, Zoning, & Building Department
P.O. Box 210, St. Augustine, FL 32085
Phone: (904) 825-1065

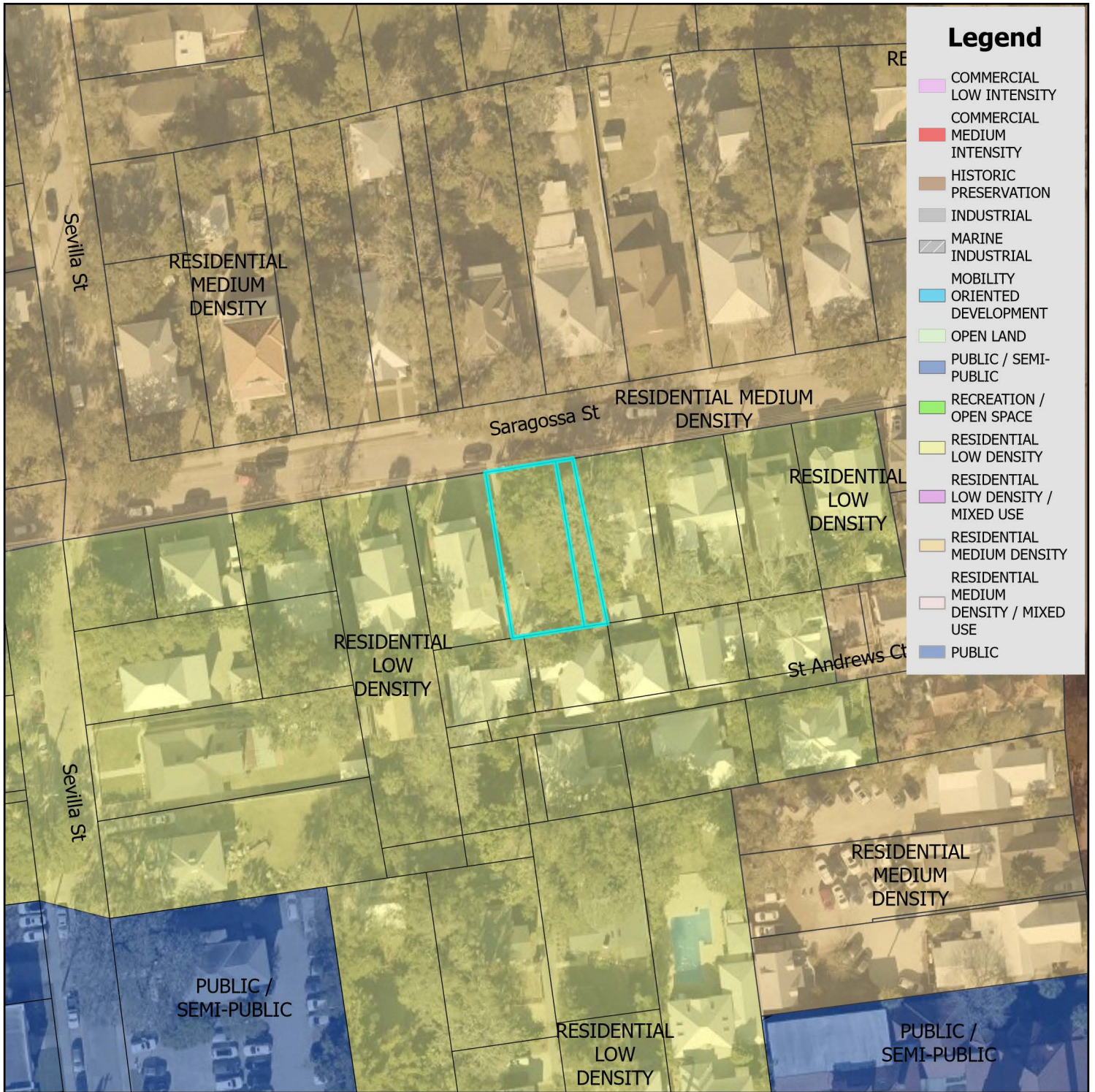
DISCLAIMER
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2025

0 0.01 0.01 Miles

0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Future Land Use Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

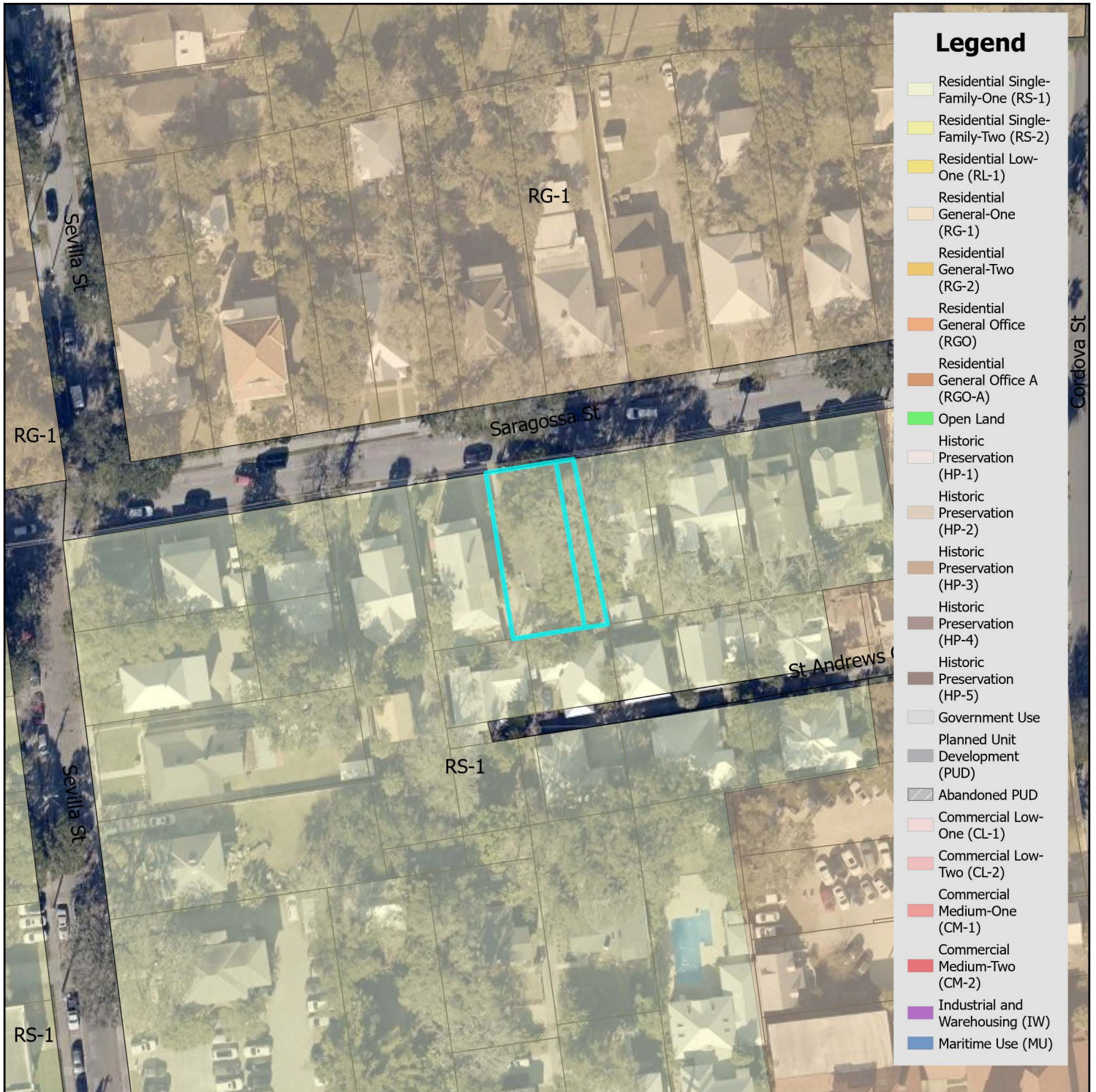
DISCLAIMER
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2025

0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Zoning Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
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2025



Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

Attachment 2: Application



**CITY OF ST AUGUSTINE
APPLICATION TO PLANNING AND ZONING BOARD**

Application Fee: _____ (plus advertising costs) Project Number: _____

Receipt Number: _____ Meeting Date: _____

Advertising Costs: \$ _____ Paid On: _____ Receipt Number: _____

1. NAME OF APPLICANT: Fremont Latimer, RLA Contact Number: 904.588.5389

Business (if applicable): Marquis Latimer + Halback, Inc.

Address: 34 Cordova Street, Suite A City: St. Augustine State: FL Zip: 32084

E-Mail Address: fremont@halback.com

2. NAME OF PROPERTY OWNER: Carol Bradshaw Contact Number: 904.219.0409

Business (if applicable): _____

Address: 13 Saragossa City: St. Augustine State: FL Zip: 32084

E-Mail Address: dbradshaw@bradshaw-niles.com

3. LEGAL DESCRIPTION OF PROJECT PROPERTY:

Lot: 19 Block: k

Subdivision: _____ Parcel Number: 2055500000

4. PROJECT STREET ADDRESS: 13 Saragossa Street, St. Augustine, FL 32084

5. SPECIFIC PROPOSED USE: Residential

6. ACTION REQUESTED:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Conservation Zone Development | <input type="checkbox"/> Appeal of Staff Determination |
| <input type="checkbox"/> Exception | <input type="checkbox"/> Land Use Plan Amendment |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Other: _____ | |

7. DESCRIPTION OF ACTION REQUESTED: Removal of a 16" Southern Red Cedar as part of structural repairs

8. JUSTIFICATION FOR ACTION REQUESTED: The tree roots are heaving the pilings located ~30"

from the trunk of the tree. If the roots are pruned in order to repair the foundation, the
stability of the tree will be compromised.

9. IF APPLYING FOR A VARIANCE, PLEASE COMPLETE THE FOLLOWING AND EXPLAIN THE SITUATION FULLY ALONG WITH PROVIDING DOCUMENTATION:

- (a) Does the property because of size, shape, topography or other physical conditions, suffer singular disadvantage, which disadvantage does not apply to other properties in the vicinity: _____

- (b) Can you establish that this disadvantage causes the owner to be unable to make reasonable use of the affected property: _____

- (c) Can you establish that this disadvantage does not exist because of conditions created by the owner or applicant: _____

- (d) Can you establish that granting of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this Section: _____

10. PREVIOUS APPLICATIONS:

Has any application been submitted to the Planning & Zoning Board concerning any part of the subject property within the past year?

Yes No If yes, please give date and final disposition below.

11. AGREEMENT:

In filing this application, I understand that it becomes a part of Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

Application must be signed by both applicant and property owner if different. Letter of authorization must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of either property owner or applicant.

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

IMPORTANT NOTICE: When the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the Board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the Board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the Code.

Signature of Applicant

08.26.25

Date

Signature of Property Owner

Sept. 3, 2025

Date

04/18/2019



Owner's Authorization For Agent

Fremont Latimer is/are hereby authorized TO ACT ON BEHALF OF Carol Bradshaw, the owner(s) of those lands described within the attached application, or described within the previously filed Application number: _____, and as described in the attached deed or other such proof of ownership as may be required, in applying to the City of St. Augustine's Planning & Zoning Board, located at: 13 Saragossa Street, St. Augustine, FL 32084

BY: Carol Bradshaw
Signature of Owner
Carol Bradshaw
Print Name of Owner
904.219.0409
Telephone Number

State of Florida

County of St. Johns

Signed and sworn before me on this 4th day of September, 2025

By Carol Bradshaw

Identification verified:

Oath sworn: Yes No



Notary Signature: Brad Burrell

My Commission expires: 8/6/2029



**CITY OF ST. AUGUSTINE
DEVELOPMENT PERMIT APPLICANT WAIVER**

The applicant acknowledges and agrees to waive the limitation of three requests for additional information by the City of St. Augustine, pursuant to Chapter 166.033, Florida Statutes.

The applicant acknowledges and agrees that the City offers weekly Friday Review development review meetings, as well as, department specific applicant meetings with its reviewing staff at any point in the application process to attempt to resolve outstanding issues. The applicant is responsible for scheduling any requested meetings with City staff directly.

The applicant acknowledges and agrees that if after three unresolved submittals the applicant elects to proceed with final approval or denial proceedings, the applicant must request so in writing to the City.

Fremont Latimer, RLA

Print name of applicant

Signature of applicant

08.26.25

Date

PZB APPLICATION FEE SCHEDULE

Planning and Zoning Board fees are set by Resolution 2021-38 as follows:

Description of Work	Fee Amount
Rezoning: small scale	\$300.00 + ads & notices
Rezoning: large scale	\$1,000.00 + ads & notices
Land Use Plan Amendment: small scale	\$400.00 + ads & notices
Land Use Plan Amendment: large scale	\$1,400.00 + ads & notices
Planned Unit Development	\$400.00 or \$35.00/acre, whichever is greater, \$1,400 max + ads & notices
Zoning Variance	\$350.00 + ads & notices
Zoning Exception	\$250.00 + ads & notices
Conservation Overlay Zone Development	\$165.00 + ads & notices
Significant Tree Removal or Appeal of Tree Removal Permit Denial	\$165.00 + ads & notices
Appeal of Staff Determination	\$200.00 + ads & notices
Application to Amend Zoning Code	\$600.00 + ads & notices
Subdivision Plat Review	\$275.00 + ads, notices & additional associated costs

"Note: The cost of newspaper advertisement and all notices to surrounding property owners will be assessed by the city, paid by the city and reimbursed by the applicant. All advertising costs must be paid prior to issuance of a development permit.

The applicant shall reimburse the City the mailing cost for all notices and for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing."

If a Credit Card Authorization Form is used for the payment of fees, the City will maintain the form and automatically charge additional advertising and noticing fees, once determined, to the credit-card account submitted.

By signing below, I acknowledge responsibility for both the initial application fee and any subsequent costs associated with legal advertising and/or noticing and understand that permits associated with my application may not be issued until such fees are paid.

I authorize the Planning and Building Department to maintain my payment information until a final cost for advertising and/or noticing is determined and charged. If a payment method other than Credit Card Authorization Form is used, I understand that I will be sent an invoice for the costs of advertising/noticing which must be paid prior to the issuance of any development permit related to my application. I am aware that I can request a copy of these fees and my receipt from Building Department Staff.

13 Saragossa Street; St. Augustine, FL 32084

Project Address: _____

Fremont Latimer

Applicant's Name: _____ Applicant's Signature: Fremont Latimer

Carol Bradshaw

Owner's Name: _____ Owner's Signature: Carol Lopez Bradshaw

**Attachment 3:
St. Johns County
Property Appraiser
Report**

St. Johns County, FL

Apply for Exemptions

Apply for Exemptions

Homestead Compliance

This form is not a Homestead Exemption application. To apply online for homestead and related exemptions, please click [here](#).

Homestead Compliance

2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID 2055500000
Location 13 SARAGOSSA ST
Address SAINT AUGUSTINE 32084-0000
Neighborhood Model Land/City (610.3)
Tax Description* MODEL LAND CO SUB CITY W6FT OF LOT 18 & E45FT OF LOT 19
 BLK K DB129/6 OR1089/1241 &1111/1602 &1606(L/A) &1172/476
**The Description above is not to be used on legal documents.*
Property Use Code Single Family (0100)
Subdivision Model Land Company Subdivision
Sec/Twp/Rng 18-7-30
District City of St Augustine (District 452)
Millage Rate 18.72
Acreage 0.130
Homestead Y

[Click Here to Open Cyclomedia Viewer in a New Tab](#)



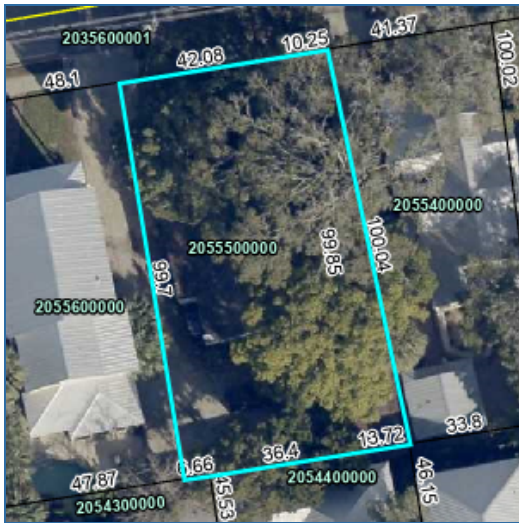
Owner Information

Owner Name Bradshaw Carol Lopez 100%
Mailing Address 13 SARAGOSSA ST
 SAINT AUGUSTINE, FL 32084-3623

Exemption Information

Exemption Type	Status	Amount
Homestead Band		25722
Homestead		25000

Map



Valuation Information

Assessed Year	2025
Building Value	\$162,830.00
Extra Features Value	\$6,750.00
Total Land Value	\$185,640.00
Agricultural (Assessed) Value	\$0.00
Agricultural (Market) Value	\$0.00
Just Market	\$355,220.00
Total Deferred	\$243,099.00
Assessed Value	\$112,121.00
Total Exemptions	\$50,722.00
Taxable Value	\$61,399.00

Values listed are from our working tax roll and are subject to change. Exemption and taxable values shown reflect County-level assessment.

Historical Assessment Information

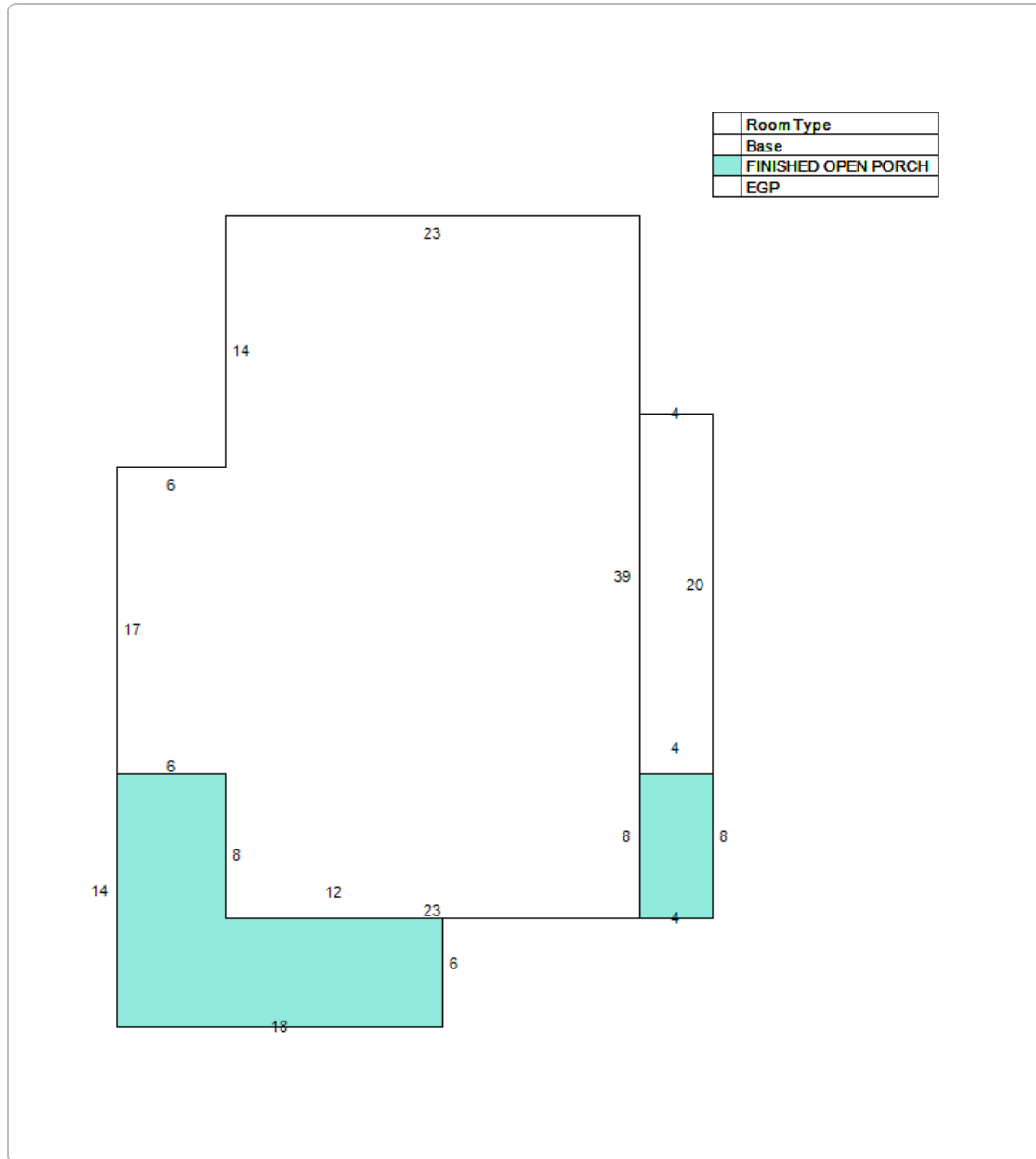
Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value
2024	159655	7020	185640	0
2023	165465	2160	185640	0
2022	137078	2553	155938	0
2021	94719	2553	132268	0
2020	99602	2553	132268	0
2019	78493	2553	132268	0
2018	54707	2553	132268	0
2017	57086	2553	132268	0
2016	52724	2553	114865	0
2015	49103	2553	104422	0
2014	43316	2553	104422	0

Building Information

Building	1	Roof Cover	Composite Shingle
Building Value	\$162,830	Roof Structure	Gable Hip
Year Built	1884	Interior Flooring	Pine Wood
Actual Area	1267	Interior Wall	Drywall
Conditioned Area	999	Heating Type	Forced Air
Use	Single Family Residence	Air Conditioning	Window
Style	01	Bedrooms	2
Exterior Wall	Wood	Baths	1

Description	Square Footage
BASE AREA	999
FINISHED OPEN PORCH	32
UNFINISHED ENCLOSED PORCH	80
FINISHED OPEN PORCH	156
Total SqFt	1267

Sketch Information



Extra Feature Information

Code Description	Status	Value
Garage - Low (Mix)		6750

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Single Family	51	100	51	EF	\$185,640

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
	5/8/1996	\$100.00	WARRANTY DEED	1172	476	U	I	LOPEZ ALBERT J ESTATE	BRADSHAW CAROL LOPEZ
	5/13/1995	\$0.00	OTHER INSTRUMENT	1111	1606	U	I	LOPEZ ALBERT J,DIED 5/13/95	LOPEZ ALBERT J ESTATE
	5/13/1995	\$0.00	WILL	1111	1602	U	I	LOPEZ ALBERT J,DIED 5/13/95	LOPEZ ALBERT J,DIED 5/13/95
	1/2/1995	\$100.00	QUIT CLAIM DEED	1089	1241	U	I	LOPEZ ALBERT J,EDITH	LOPEZ ALBERT J,DIED 5/13/95

No data available for the following modules: Sales Questionnaire Form.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.

| [User Privacy Policy](#) | [GDPR Privacy Notice](#)
[Last Data Upload: 9/8/2025, 10:04:34 AM](#)

Contact Us

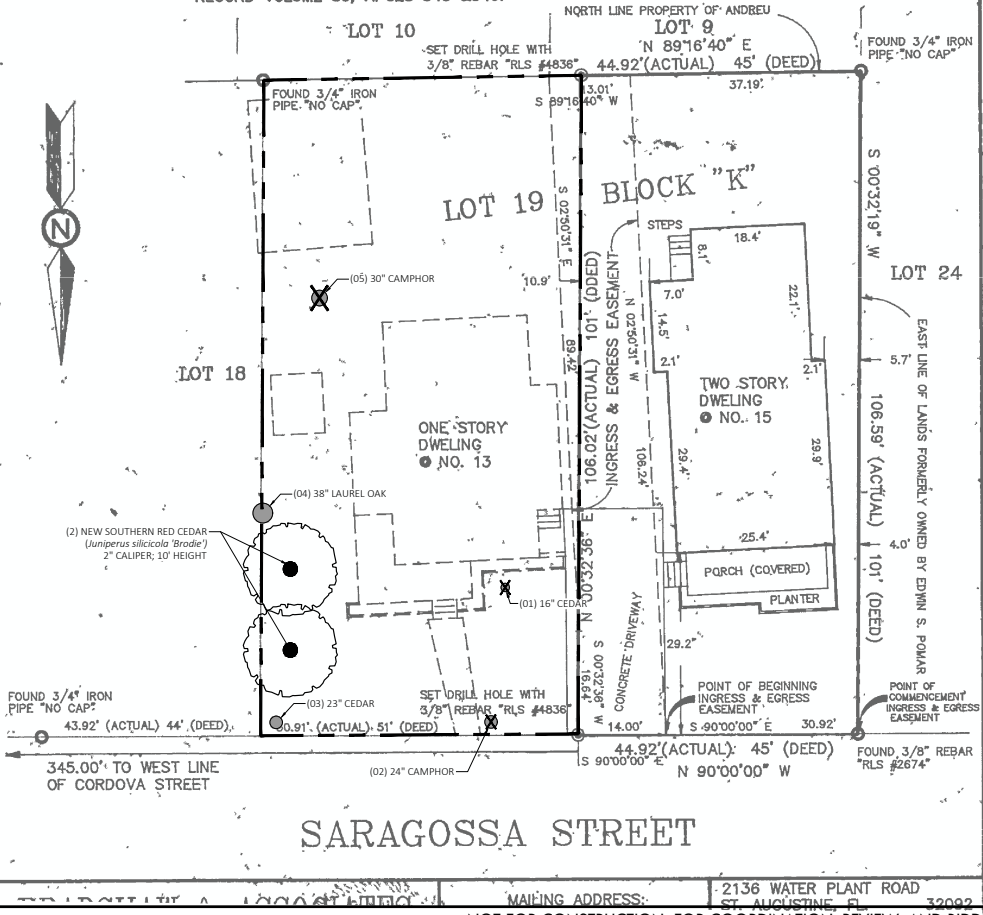
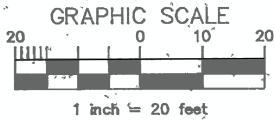


**Attachment 4:
Supplemental
Information**

NOT FOR CONSTRUCTION; FOR COORDINATION, REVIEW, AND BIDDING PURPOSES ONLY.

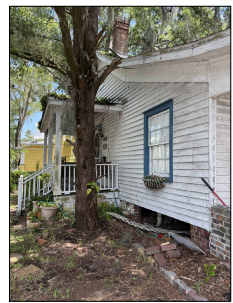
OFFICIAL MAP OF THE CITY OF ST. AUGUSTINE, FLORIDA, DATED JUNE 12, 1928, AND FILED WITH THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR ST. JOHNS COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCE AT THE NORTHWEST CORNER OF SAID LOT 19, SAID POINT ALSO LYING ON THE EAST LINE OF THOSE LANDS FORMERLY OWNED BY EDWIN S. POMAR AND BEING ON THE SOUTH RIGHT-OF-WAY LINE OF SARAGOSSA STREET; THENCE SOUTH 90°-00'-00" EAST, ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID SARAGOSSA STREET, 30.92 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 90°-00'-00" EAST, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 14.00 FEET; THENCE SOUTH 00°-32'-36" WEST, 16.64 FEET; THENCE SOUTH 02°-05'-31" EAST, 89.42 TO A POINT ON THE NORTH LINE OF THOSE LANDS FORMERLY KNOWN AS THE PROPERTY OF ANDREU; THENCE SOUTH 89°-16'-40" WEST, ALONG SAID NORTH LINE, 13.01 FEET; THENCE NORTH 02°-05'-31" WEST, 106.24 FEET TO THE POINT OF BEGINNING.

- GENERAL NOTES:
 1.) THIS IS A BOUNDARY SURVEY.
 2.) THIS IS A SPECIAL PURPOSE SKETCH TO DEPICT THE ABOVE LEGAL DESCRIPTION.
 3.) BEARINGS ARE BASED ON THE SOUTH RIGHT-OF-WAY LINE OF SARAGOSSA ST. ASSUMED AS BEING S 90°-00'-00" E.
 4.) LEGAL DESCRIPTION AS PER OFFICIAL RECORD VOLUME '80, APGS 545 & 546.



TREE REMOVAL/PRESERVATION NOTES

1. AN INSPECTION OF THE TREES ON SITE WAS CONDUCTED BY FREMONT LATIMER, ISA CERTIFIED ARBORIST #FL5480A, ON SEPTEMBER 3, 2025
2. TREES WITH NOTED DEFECTS WERE EVALUATED BY A VISUAL INSPECTION FROM THE GROUND TO IDENTIFY STRUCTURAL DEFECTS AND GENERAL HEALTH. THIS REPORT DOES NOT CONSTITUTE AS A RISK ANALYSIS.
3. NOTE THAT TREES WERE IDENTIFIED, MEASURED, AND FIELD LOCATED BY THE ARBORIST AND LOCATIONS ARE APPROXIMATE AND DO NOT CONSTITUTE AS A SURVEY.



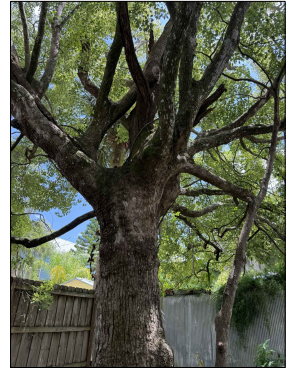
TREE #01 - 16" RED CEDAR

1. THE ROOT SYSTEM IS HEAVING THE BRICK FOUNDATION PILES.
2. GIVEN THE PROXIMITY OF THE TREE TO THE STRUCTURE AND THE LEAN OF THE TREE; ROOT PRUNING IS NOT PRACTICAL.



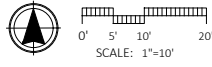
TREE #02 - 24" CAMPHOR

1. THE CAMPHOR SPECIES IS CATEGORY 1 INVASIVE PER THE FLORIDA INVASIVE PLANT SPECIES COUNCIL.
2. THERE IS A LARGE AMOUNT OF DEADWOOD DECAY IN APPROXIMATELY 25% OF THE BASAL TRUNK.



TREE #05 - 30" CAMPHOR

1. THE CAMPHOR SPECIES IS CATEGORY 1 INVASIVE PER THE FLORIDA INVASIVE PLANT SPECIES COUNCIL.
2. THERE IS A LARGE AMOUNT OF DEADWOOD DECAY IN PRESENT ON LARGE SCAFFOLD LIMBS AS WELL AS ON THE TRUNK. THE COLUMN OF DECAY IS LIKELY CONTIGUOUS THROUGHOUT THE TRUNK.



ML+H
 Marquis Latimer + Holbeck, Inc.
 95 Cordova Street, Suite A
 St. Augustine, FL 32084
 PH 904.825.6747
 www.ml+h.com
 LA6667110 Qualifier

LANDSCAPE ARCHITECT OF RECORD
 License: Manual, FLA 164667110

DRAWN BY: INTALS

BRADSHAW RESIDENCE
 13 SARAGOSSA STREET, ST. AUGUSTINE, FL

TREE REMOVAL PLAN

REV	DESCRIPTION	DATE
F2B REVIEW		09/29/25
F2B REVIEW		09/03/25

SIZE: ANGL D
 PRIME PROJECT #: ML+H PROJECT #: ...
 DRAWING NO. **L-1.1**

NOT FOR CONSTRUCTION; FOR COORDINATION, REVIEW, AND BIDDING PURPOSES ONLY.

Attachment 5:
Arborist Report

ARBORIST FIELD REPORT

Project: 25.22.0 – Bradshaw Residence
 Re: Arborist Review of Cedar Tree
 Date + location: August 5, 2025 – 13 Saragossa Street
 Weather: Weather was 89 degrees with 4.79 inches of rain in the last week
 Report file by: Fremont Latimer, RLA, ISA Certified Arborist FL5480A

GENERAL NOTES

The property owner is in the process of repairing their historic home at 13 Saragossa Street in St. Augustine, Florida. After noting damage to the brick piling at the NW corner of the house, he requested that I review the adjacent Cedar tree to see if the piling could be repaired without damaging the tree.

REVIEW OF PROGRESS

A level 2 visual inspection was conducted from the ground. The subject tree is **Southern Red Cedar (*Juniperus silicola*)** measuring **16" in diameter at breast height (DBH)**. There were no notable defects on the trunk or canopy. Some deadwood is visible on the lower portion of the trunk where it has been pruned away from the building, but there are no signs of decay into the trunk. There is a pronounced lean to the north away from the building, with **the base of the tree approximately 30" from the structure**. There are surface roots and it appears that they have **lifted the adjacent brick piling** and the CMU structure beneath the stairway.

The repair of the building foundation requires a compacted and level surface. In order to achieve that, **approximately 50% of the root system will be severed and/or compromised within 30" of the base**. This will destabilize the tree and increase the likelihood of failure in a high wind or storm event. Given the proximity of the structure, the sidewalk, and driveway; there will be **multiple targets that could be impacted in the case of failure**. In this case, the tree is located too close to the foundation to effectively repair the damage, and **removal is recommended**.

ITEMS OF NOTE

No.	Description	Photo
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1	The tree is located at the front of the house at 13 Saragossa Street	
---	--	--



2 The subject cedar is visible against the house.



No. Description

Photo

3 A closer view of the trunk looking west



No. Description

Photo

4 A view of the foundation. The lifting of the brick piling is visible.



No. Description

Photo

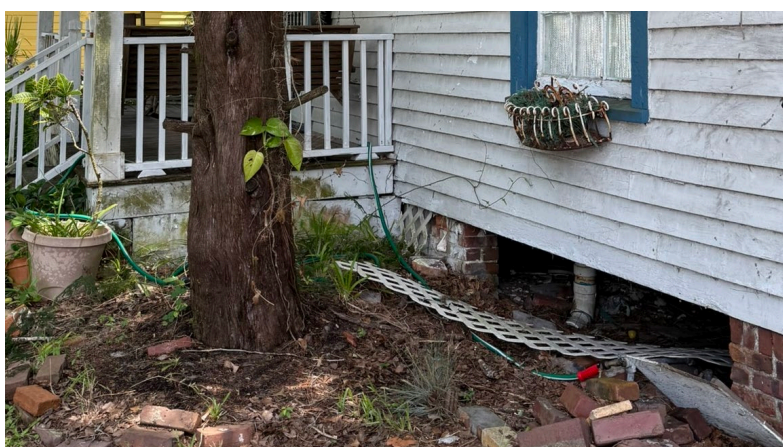
5 A view of the foundation and trunk.



No. Description

Photo

6 A view of the foundation and trunk.





Planning and Zoning Board

Planning Division Staff Report
 Planning and Building Department

Public Hearing Date	Agenda Item	Application Number
October 7, 2025	5.b.	PZB2025-077
Request	Address	Parcel ID
Conservation Overlay Zone Development	117 Inlet Drive	213919-0010
	124 Inlet Drive	215370-0000
	134 Inlet Drive	215400-0000
	Inlet Drive	213880-0000

Site & Background Information

Applicant: Jessica Beach
 c/o City of St. Augustine

Owner:	Richard and Tracey Hardy 117 Inlet Drive PID 213919-0010	Robert R. Thousands, Jr. 124 Inlet Drive PID 215370-0000	Vincent and Lynnes Roberts 134 Inlet Drive PID 215400-0000	City of St. Augustine Inlet Drive PID 213880-0000
Property Class: (St. Johns County Property Appraiser)	0100 – Single Family			8900 – Municipally Owned
Future Land Use Designation(s):	Residential Medium Density & Residential Low Density	Residential Low Density		
Zoning Designation(s):	Residential General-One (RG-1) & Residential Single-Family-One (RS-1)		Residential Single-Family-One (RS-1)	
Acreage:	1.18	1.14	0.71	18.72
Neighborhood:	North Davis Shores			
Archaeological Zone:	N/A			

Request Summary

This is a request for [Conservation Overlay Zone \(COZ\) development](#) to construct a retaining wall including a living shoreline element and stormwater upgrades in [COZ 1&2](#) at 117, 124, 134 Inlet Drive and Inlet Drive / PID 213880-0000. The approval of this application would allow for the construction of six hundred and ninety-two (692) linear feet of precast concrete segmented block retaining wall landward of the existing wall. The new retaining wall will connect to an existing bulkhead at 117 Inlet Drive on the south and at 151 Inlet Drive to the north. The retaining wall will be higher in elevation than the existing wall to match the elevations of the connecting bulkheads. Rip-rap and a living shoreline element will be included with oyster gabions and reef balls. Lastly two existing curb inlets will be replaced to increase stormwater, improve maintenance access, and provide tide check valves. The goal of this project is to provide a higher level of flood protection for a portion of Inlet Drive, a critical road in the North Davis Shores neighborhood.

Staff Analysis

Consistency with the City of St. Augustine’s Comprehensive Plan 2040

Goal, Policy, or Objective	Staff Analysis
Future Land Use Element [LINK TO DOCUMENT]	
<p>Goal 8 Preserving Sense of Place</p> <p>The City will promote its historic urban character, preserve its unique residential neighborhoods, and support adjacent, compact commercial areas, as well as, protect its natural, environmentally sensitive marsh and riverine environs, and significant tree canopy to preserve its sense of place that promotes the city’s authentic character.</p> <p>The planning goals related to preserving a sense of place for the City are to:</p> <ul style="list-style-type: none"> • Preserve the small town urban character while promoting a balance of economic activity; • Prevent urban sprawl by encouraging compatible infill and redevelopment within the city limits; • Provide continued opportunity for diverse forms of residential and commercial projects; • Create a preservation program that protects the historic Town Plan and promotes responsible tourism; • Provide protection of natural resources and ecological systems; • Reduce automobile trips in and through the downtown by promoting the City’s mobility plan and alternative forms of transportation that work to protect the environment, reduce congestion, provide residents with 	<p>The proposed living shoreline element is consistent with this city goal, and its planning goal of providing protection of natural resources and ecological systems through the enhancement of vegetation, sedimentation, and oyster recruitment within the salt marsh – an important ecological community.</p> <p>The proposed retaining wall is consistent with this city goal, and its planning goal of protecting vital infrastructure from coastal flooding threats, both current impacts as well as future impacts from sea level rise.</p>

<p>a higher quality of life, and, neighborhoods with greater livability, and promote local businesses;</p> <ul style="list-style-type: none"> • Provide a variety of housing types to support residents of diverse ages, incomes, family sizes, and lifestyles; • Create predictability and efficiency in planning and in the provision of infrastructure; • Recognize and preserve the historic skyline; • Balance livability and economic pressures; and • Proactively recognize increasing threats of sea level rise on the City’s character and livability. 	
Historic Preservation Element [LINK TO DOCUMENT]	
Conservation and Coastal Management Element [LINK TO DOCUMENT]	
<p>Policy 2.1.3</p> <p>Applications for development in any of the Conservation Overlay Zones shall be evaluated according to the following criteria:</p> <p>(12) Impact of development on vistas and scenic opportunities by linear feet, height, mass and percent of site.</p>	<p>The proposed elevation is consistent with this city policy as it will match the elevation of adjacent seawalls and should not impact vistas or scenic opportunities.</p>
<p>Policy 1.8.6</p> <p>Removal, encroachment and alteration of wetlands pursuant to the “no net loss” requirements of the City Comprehensive Plan, and shall be in compliance with the following:</p> <ol style="list-style-type: none"> 1. Appropriate justification for the proposed alteration is provided to the City; 2. Adequate mitigation of any adverse hydrological and physical alterations is provided in accordance with the requirements of the agencies claiming jurisdiction over the wetland; 3. Setbacks shall be 25 feet. Setbacks of less than 25 feet must be consistent with the Conservation Overlay Zone development section of the Comprehensive Plan; The following activities are permitted in wetland setback areas provided: <ol style="list-style-type: none"> a) Construction of boardwalks/catwalks, docks, for direct access to water bodies; construction of wildlife management shelters; discharge structures from upland developments; utility crossings; foot bridges; observation decks and similar structures not requiring dredging and/or filling for their placement and maintenance; 	<p>This proposed project is consistent with this city policy as the proposed retaining wall be placed landward of the jurisdictional wetland and existing wall. Work within the wetlands will be to remove rubble to encourage vegetative growth as well as to provide substrate to increase oyster recruitment and to encourage sediment accretion.</p> <p>The applicant has provided justification for the modification: to provide increased flood protection for a portion of Inlet Drive.</p> <p>The City has minimized any wetland impacts and has coordinated and received appropriate permitting with the FDEP and ACOE.</p>

<p>The City shall include in its land development regulations provisions for mandatory site plan review for all development proposed in State jurisdictional wetlands. The regulations include appropriate standards for mitigation of adverse impacts to wetlands values and the provision that reasonable use of property, restoration of the disturbed wetlands and/or creation of new wetlands will be required in accordance with the rules and criteria of FDEP and SJRWMD.</p>	
<p style="text-align: center;">Recreation and Open Space Element [LINK TO DOCUMENT]</p>	
<p style="text-align: center;">Transportation and Mobility Element [LINK TO DOCUMENT]</p>	
<p style="text-align: center;">Housing Element [LINK TO DOCUMENT]</p>	
<p style="text-align: center;">Infrastructure Element [LINK TO DOCUMENT]</p>	

Review of Applicable City of St. Augustine Code of Ordinances

The Planning and Zoning Board [shall review all applications for development in COZ 1 and 2](#). Permits for structures and uses located within Conservation Overlay Zone 1 shall be issued only for such structures and uses which have received permits under provisions of applicable federal and state regulations and will be issued only for those structures and related uses such as fishing piers and catwalks, boardwalks, boat docks, boathouses, boat ramps, marinas, and marine railways, as well as dredging and filling, which are determined to be to the benefit of the public as a whole and which are determined as having no significant negative impact on natural systems, by either individual or cumulative effect. The planning and zoning board is [authorized to impose limitations](#) in the nature and manner of construction and/or use so as to avoid damage to adjacent salt marshes and the vegetative communities contained therein, to eliminate any harm to the animal, fish or shellfish contained therein, to avoid blocking or disrupting vistas and scenic opportunities, and to enhance those vistas and scenic opportunities which are determined to benefit the public as a whole.

Activities within Conservation Overlay Zone 1 are limited to uses that are a benefit to the public as a whole. The purpose of the project is to provide higher levels of flood protection to a portion of Inlet Drive a critical road within the North Davis Shores neighborhood. The activities with COZ1 include the removal of rubble to allow for the natural recruitment of native vegetation, the installation of reef balls to reduce wave energy along the shoreline and to install oyster gabions to assist with the dissipation of wave energy as well to increase accretion of sediments and oyster recruitment.

Applications for development in Conservation Overlay Zones shall be [evaluated according to the following criteria](#):

- (1) Site specific conditions.
- (2) The site's relationship to adjacent properties, bodies of water and surrounding conservation zones.
- (3) Natural and proposed drainage patterns.
- (4) Effect of point and nonpoint discharge in the marine environment.
- (5) Proposed soil stabilization and erosion control methods.
- (6) Impact on floodplain.
- (7) Impact of development on vegetative and animal communities.

- (8) Potential for contaminated drainage, storage of pollutants and the use of poisonous chemicals and materials.
- (9) Effect of shade on vegetation and shellfish.
- (10) Effect of boat wake and boat traffic on manatees, vegetation, shellfish and wildlife, as well as shoreline erosion.
- (11) Impact of development on shoreline by linear feet and percent of site.
- (12) Impact of development on vistas and scenic opportunities by linear feet, height, mass and percent of site.
- (13) Existing amounts of native plants and proposed retention and use of native plants for landscape and open space purposes.
- (14) Impact of development on plant and animal habitat and potential loss in acres and percent of site.
- (15) Impact of development on water quality. Water quality objectives will be presumed to have been met if runoff water is routed to a surface water management system permitted by the St. Johns River Water Management District or to a treatment facility that is equivalent to the water quality treatment criteria (water retention/detention) of the water management district. (An engineer or landscape architect licensed in the State of Florida is required to certify that the treatment facility is equivalent to the district's criteria.)
- (16) Impact of development on shellfish and on commercial and sport fish and waterfowl.
- (17) Specific conditions applicable to docks. In addition to the considerations listed in subsections (1) through (16) herein, no boathouse, roofed structure or wall shall be constructed on any dock. This section shall not prohibit the use of bumpers or similar structures built at or near the water line and below deck elevation to protect the dock from damage caused by moored vessels. The deck of any private boat dock shall not exceed ~~six (6)~~ eight (8) feet in height above mean high water. Boatlifts mounted on docks, or constructed on or adjacent to a dock, shall be limited to a capacity of twelve thousand (12,000) pounds or less. All boatlifts shall be low profile boatlifts or no profile boatlifts, and no boats in excess of thirty-two (32) feet in length shall be allowed on a boatlift. In addition, the maximum height, excluding masts, antennas and other non-occupiable features, of a boat suspended in a boatlift shall not exceed ~~six (6)~~ eight (8) feet above the gunwale (gunnel); whereby, the gunwale (gunnel) is defined as the upper edge of the side of the ship or boat. A low-profile boatlift is a boatlift for a single watercraft in which no part of the boatlift shall exceed three (3) feet above the deck. A no profile boatlift is a boatlift for a single watercraft in which no part of the boatlift shall protrude above the deck.

Staff Analysis of Applicable Criteria (Sec. 11-29(c))

(1) Site specific location

The site consists of approximately 700 feet of shoreline with a narrow strip of uplands and an existing block wall in disrepair. The applicant is proposing to construct six hundred and ninety-two (692) linear feet of precast concrete segmented block retaining wall landward of the existing wall with living shorelines features waterward of the replacement and upgrade two curb inlets. The project area contains parcels with four different property owners.

(2) The site's relationship to adjacent properties, bodies of water and surrounding conservation zones.

The project site contains 700 feet of shoreline along Salt Run in North Davis Shores and is within Conservation Overlay Zones 1, and 2. The wall and rip rap will mainly be within COZ2 while the living shoreline portion will be within COZ1.

(3) Natural and proposed drainage patterns.

The application states:

Approximately 10 to 15 feet east of the Inlet Drive curb line is a ridge or high point. West of the ridge drains into the street curb line. East of the ridge drains into Salt Run. When the water in Salt Run rise[s] during storms to an elevation above 5.5, Inlet Drive floods. The elevation of the proposed wall at elevation of 8.75 matching the elevation of the seawalls at either end of the project will reduce ... flooding[.]

(4) Effect of point and nonpoint discharge in the marine environment.

The improvements to the stormwater elements do not appear to include water quality projects. However, the living shoreline portion of the project should have water quality benefits. The application states:

Inlet drive collects rainwater in inlets that discharge directly into Salt Run through an existing 18 inch corrugated metal pipe that will be replaced as part of this project. The replacement of the culvert will not change the existing point and non-point discharge.

(5) Proposed soil stabilization and erosion control methods.

The Inlet Drive Shoreline Resiliency Design permit plans outline details for erosion and sediment controls and maintenance and inspection procedures. The applicant stated that sod and other landscaping will be installed between the new wall and Inlet Drive curb to stabilize the soil and prevent erosion.

(6) Impact on floodplain.

The property contains two flood zones AE-1% Annual BFE 8.0 NAVD88 and AE-1% Annual BFE 9.0 NAVD88. The proposed retaining wall will be an elevation of 8.75 feet NAVD88 while the existing wall is an elevation of 4.5 feet NAVD88. Placing the new retaining wall landward of the existing wall minimizes flood plain impacts while protecting critical transportation infrastructure from flooding.

(7) Impact of development on vegetative and animal communities.

Most of the project will be on the upland portion of the site that is currently mowed ROW and will be returned to sod. Activities within the wetland portion of the site are designed to enhance vegetation, sedimentation and oyster recruitment with a positive impact on vegetative and animal communities.

(8) Potential for contaminated drainage, storage of pollutants and the use of poisonous chemicals and materials.

The application states the project will not generate any additional contamination, pollutants, or poisonous chemicals.

(9) Effect of shade on vegetation and shellfish.

Most of the project will be on the upland portion of the site that is currently mowed ROW and will be returned to sod. Activities within the wetland portion of the site are designed to enhance vegetation, sedimentation and oyster recruitment with a positive impact on vegetative and animal communities.

(10) Effect of boat wake and boat traffic on manatees, vegetation, shellfish and wildlife, as well as shoreline erosion.

N/A

(11) Impact of development on shoreline by linear feet and percent of site.

The site has approximately seven hundred (700) feet of shoreline located along Salt Run with an existing wall at an elevation of 4.5 feet NAVD88. The project will add an additional retaining wall landward of the existing wall at an elevation of 8.75 feet NAVD88. The project will include the entire 700 feet of improvements at 100 percent of the shoreline.

(12) Impact of development on vistas and scenic opportunities by linear feet, height, mass and percent of site.

The site has approximately seven hundred (700) feet of shoreline located along Salt Run with an existing wall at an elevation of 4.5 feet NAVD88. The project will add an additional retaining wall landward of the existing wall at an elevation of 8.75 feet NAVD88. The project will include the entire 700 feet of improvements at 100 percent of the shoreline. The new retaining wall will be 4.25 feet higher over the entirety of the site. However, the existing ground elevations where the new retaining wall will be installed is on average 5.9 feet NAVD88. The physical height of the wall is on average three feet. The average road elevation is 5.5 feet NAVD88. The vista may be impacted by the wall, but the impact should be minimal.

(13) Existing amounts of native plants and proposed retention and use of native plants for landscape and open space purposes.

Most of the project will be on the upland portion of the site that is currently mowed ROW and will be returned to sod. Activities within the wetland portion of the site are designed to enhance vegetation, sedimentation and oyster recruitment with a positive impact on vegetative and animal communities.

(14) Impact of development on plant and animal habitat and potential loss in acres and percent of site.

Most of the project will be on the upland portion of the site that is currently mowed ROW and will be returned to sod. Activities within the wetland portion of the site are designed to enhance vegetation, sedimentation and oyster recruitment with a positive impact on vegetative and animal communities.

(15) Impact of development on water quality. Water quality objectives will be presumed to have been met if runoff water is routed to a surface water management system permitted by the St. Johns River Water Management District or to a treatment facility that is equivalent to the water quality treatment criteria (water retention/detention) of the water management district. (An engineer or landscape architect licensed in the State of Florida is required to certify that the treatment facility is equivalent to the district's criteria.)

The improvements to the stormwater elements do not appear to include water quality projects. However, the living shoreline portion of the project should have water quality benefits.

(16) Impact of development on shellfish and on commercial and sport fish and waterfowl.

The living shoreline component of this project should have beneficial effects to shellfish and fish and waterfowl habitat.

*(17) Specific conditions applicable to docks. In addition to the considerations listed in subsections (1) through (16) herein, no boathouse, roofed structure or wall shall be constructed on any dock. This section shall not prohibit the use of bumpers or similar structures built at or near the water line and below deck elevation to protect the dock from damage caused by moored vessels. The deck of any private boat dock shall not exceed **six (6) eight (8)** feet in height above mean high water. Boatlifts mounted on docks, or constructed on or adjacent to a dock, shall be limited to a capacity of twelve thousand (12,000) pounds or less. All boatlifts shall be low profile boatlifts or no profile boatlifts, and no boats in excess of thirty-two (32) feet in length shall be allowed on a boatlift. In addition, the maximum height, excluding masts, antennas and other non-occupiable features, of a boat suspended*

in a boatlift shall not exceed ~~six (6)~~ eight (8) feet above the gunwale (gunnel); whereby, the gunwale (gunnel) is defined as the upper edge of the side of the ship or boat. A low-profile boatlift is a boatlift for a single watercraft in which no part of the boatlift shall exceed three (3) feet above the deck. A no profile boatlift is a boatlift for a single watercraft in which no part of the boatlift shall protrude above the deck.

N/A

Staff Recommendations

Review of Section 11-29 is the responsibility of the Planning and Zoning Board for the proposed development within Conservation Overlay Zone 1 & 2. This application is for the construction of a retaining wall living shoreline element, and stormwater upgrades at 117, 124, 134 Inlet Drive and Inlet Drive / PID 213880-0000.

Attachments

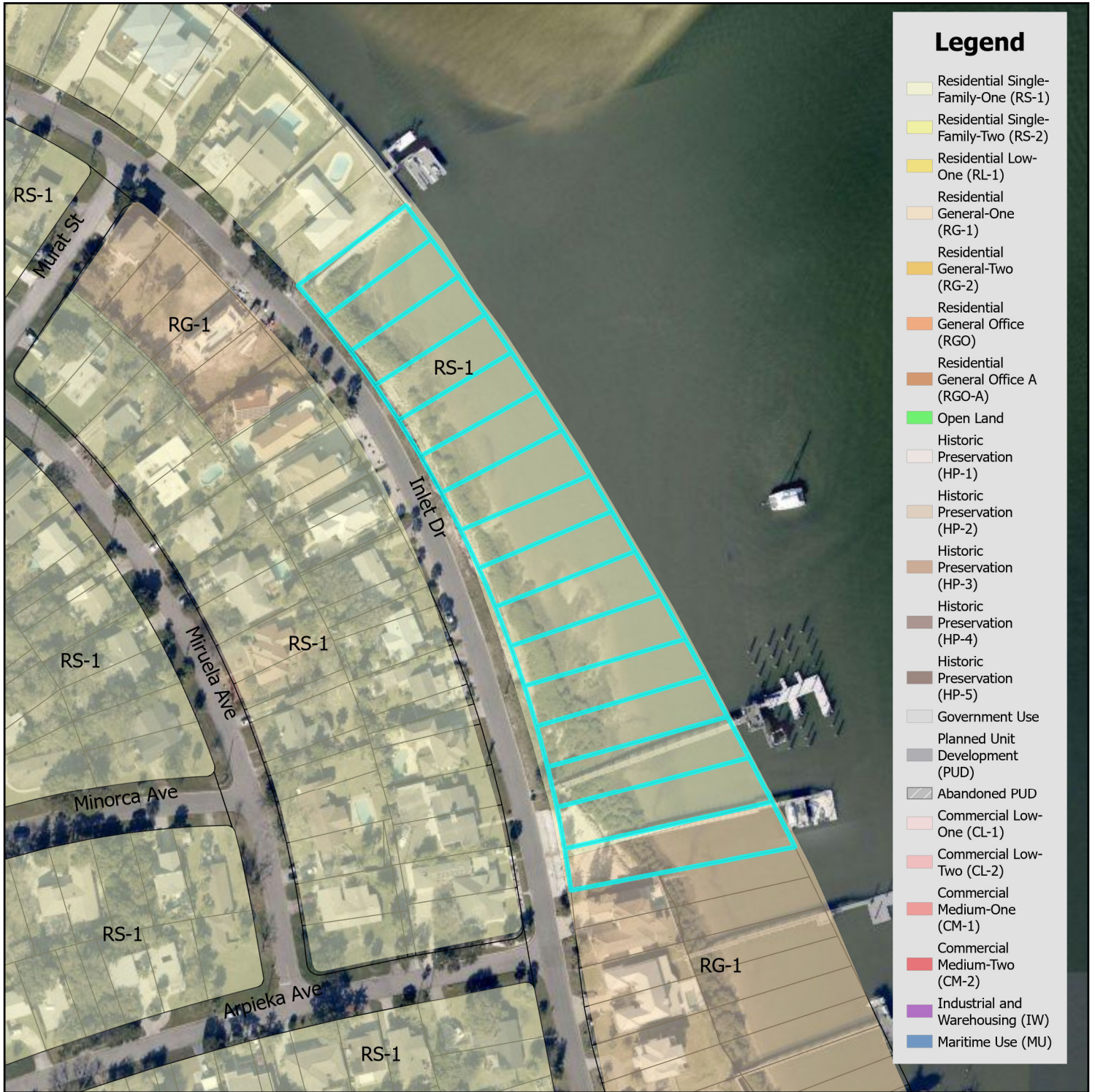
1. Site Maps & Photos
2. Application
3. St. Johns County Property Appraiser Report
4. Permit Plans
5. Historical Review
6. ACOE Permit
7. Easements

Staff Report prepared by:



Sarah Daugherty
Senior Planner
Planning and Building Department

**Attachment 1:
Site Maps & Photos**



Legend

- Residential Single-Family-One (RS-1)
- Residential Single-Family-Two (RS-2)
- Residential Low-One (RL-1)
- Residential General-One (RG-1)
- Residential General-Two (RG-2)
- Residential General Office (RGO)
- Residential General Office A (RGO-A)
- Open Land
- Historic Preservation (HP-1)
- Historic Preservation (HP-2)
- Historic Preservation (HP-3)
- Historic Preservation (HP-4)
- Historic Preservation (HP-5)
- Government Use
- Planned Unit Development (PUD)
- Abandoned PUD
- Commercial Low-One (CL-1)
- Commercial Low-Two (CL-2)
- Commercial Medium-One (CM-1)
- Commercial Medium-Two (CM-2)
- Industrial and Warehousing (IW)
- Maritime Use (MU)



Zoning Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

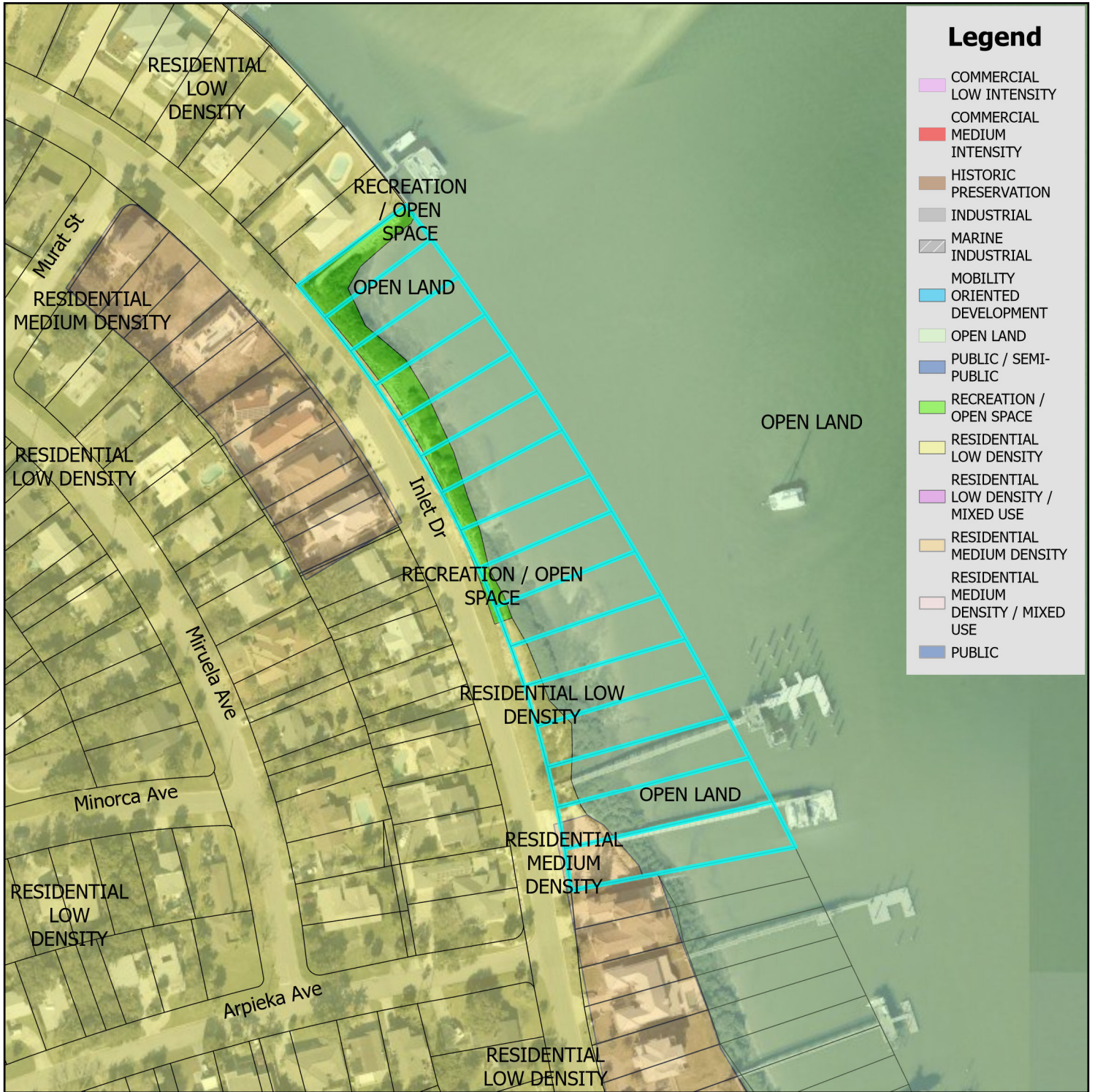
DISCLAIMER
 This map is for reference only. Data provided are derived from multiple sources with varying levels of accuracy. The City of St. Augustine disclaims all responsibility for the accuracy or completeness of the data shown herein.

2025

0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Legend

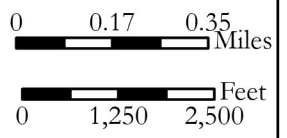
- COMMERCIAL LOW INTENSITY
- COMMERCIAL MEDIUM INTENSITY
- HISTORIC PRESERVATION
- INDUSTRIAL
- MARINE INDUSTRIAL
- MOBILITY ORIENTED DEVELOPMENT
- OPEN LAND
- PUBLIC / SEMI-PUBLIC
- RECREATION / OPEN SPACE
- RESIDENTIAL LOW DENSITY
- RESIDENTIAL LOW DENSITY / MIXED USE
- RESIDENTIAL MEDIUM DENSITY
- RESIDENTIAL MEDIUM DENSITY / MIXED USE
- PUBLIC



Future Land Use Map



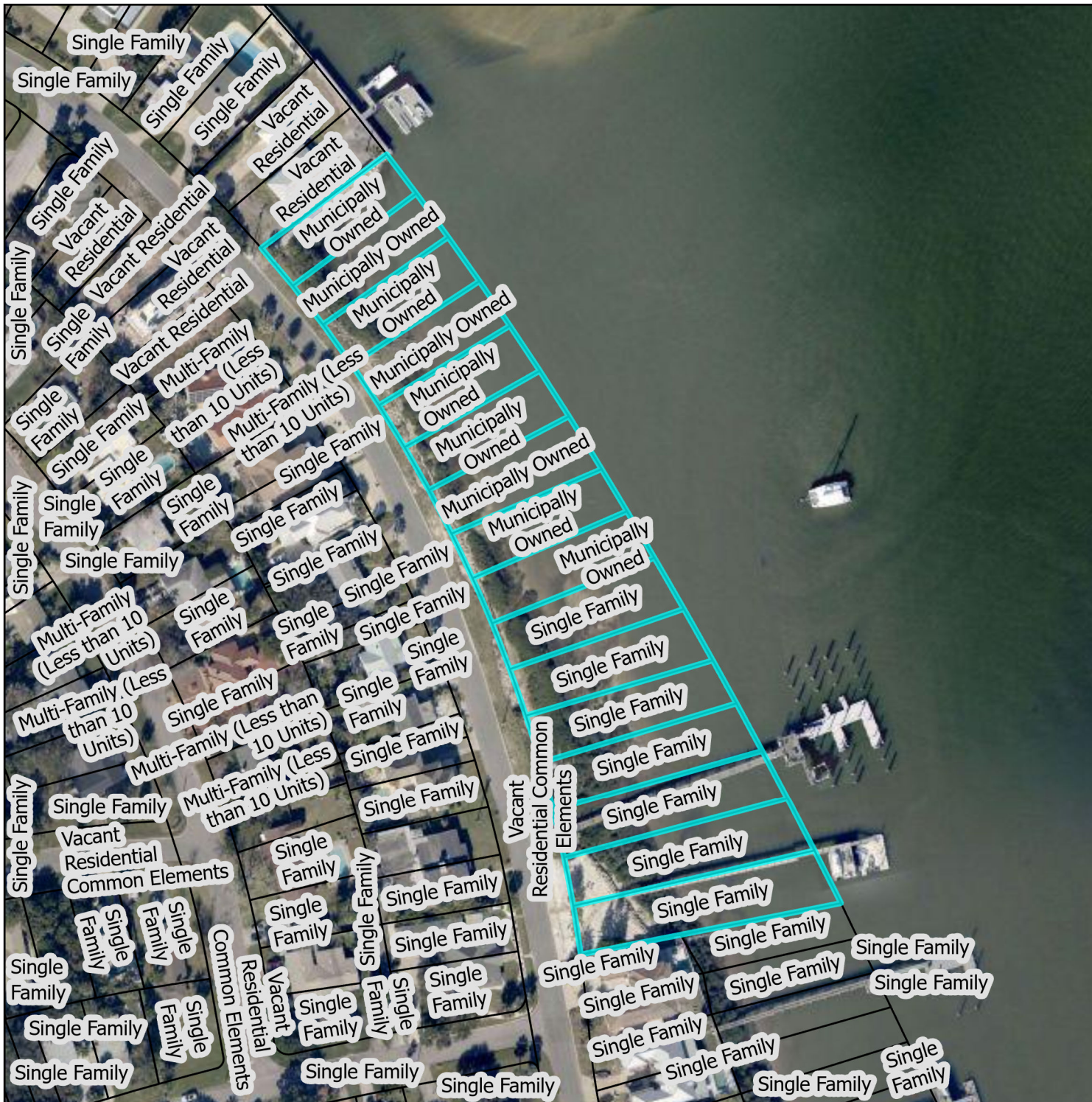
2025



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
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Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



St. Johns County Property Appraiser Use Classification Map

City of St. Augustine
Planning, Zoning, & Building Department
P.O. Box 210, St. Augustine, FL 32085
Phone: (904) 825-1065

DISCLAIMER
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2025



0 0.01 0.02 Miles

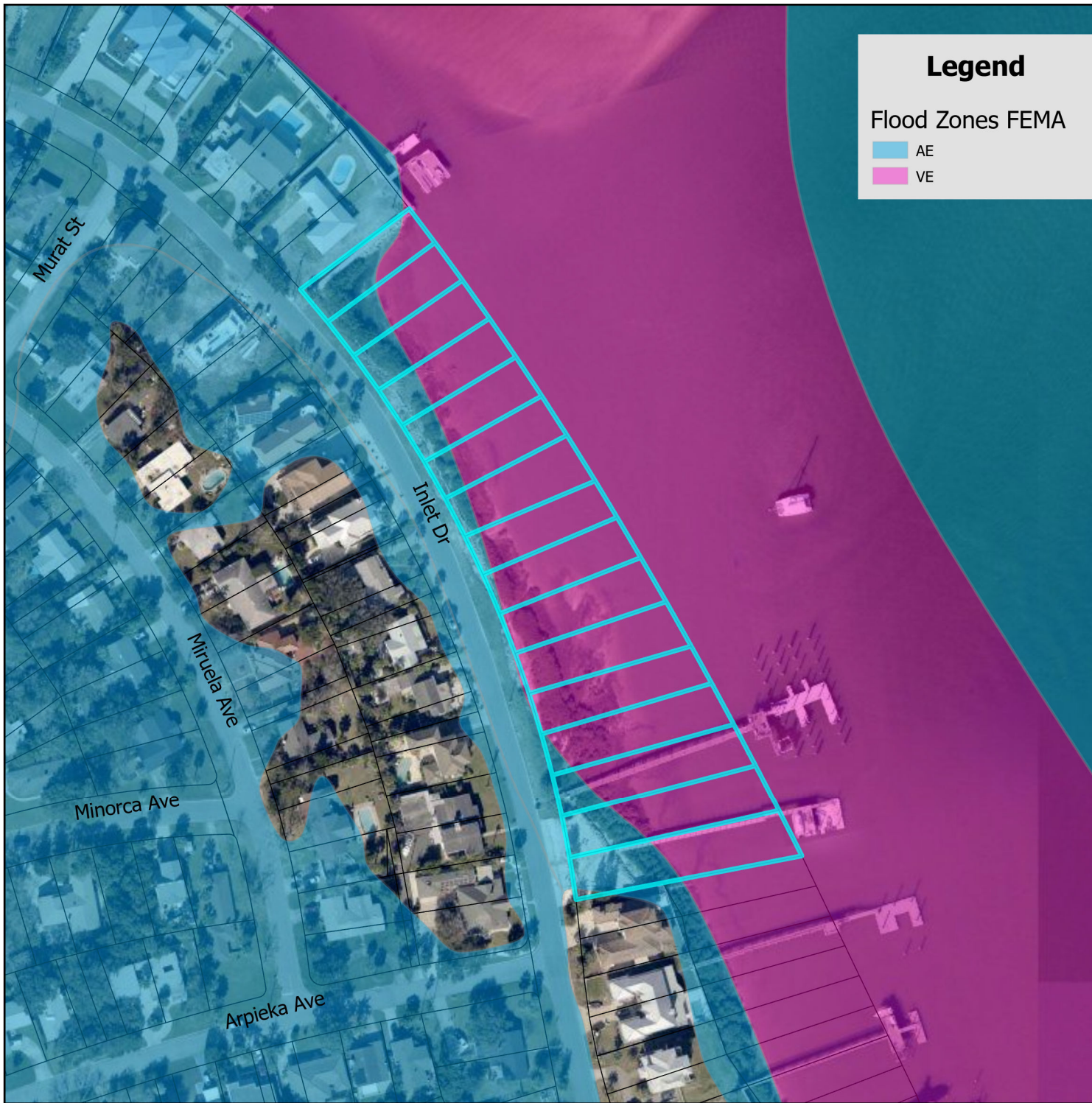
0 80 160 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

117 Inlet Drive, 124 Inlet Drive, 134 Inlet Drive, & PID 213880-0000



12/18/2022



Legend

Flood Zones FEMA

- AE
- VE



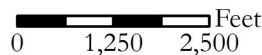
FEMA Flood Zone Map



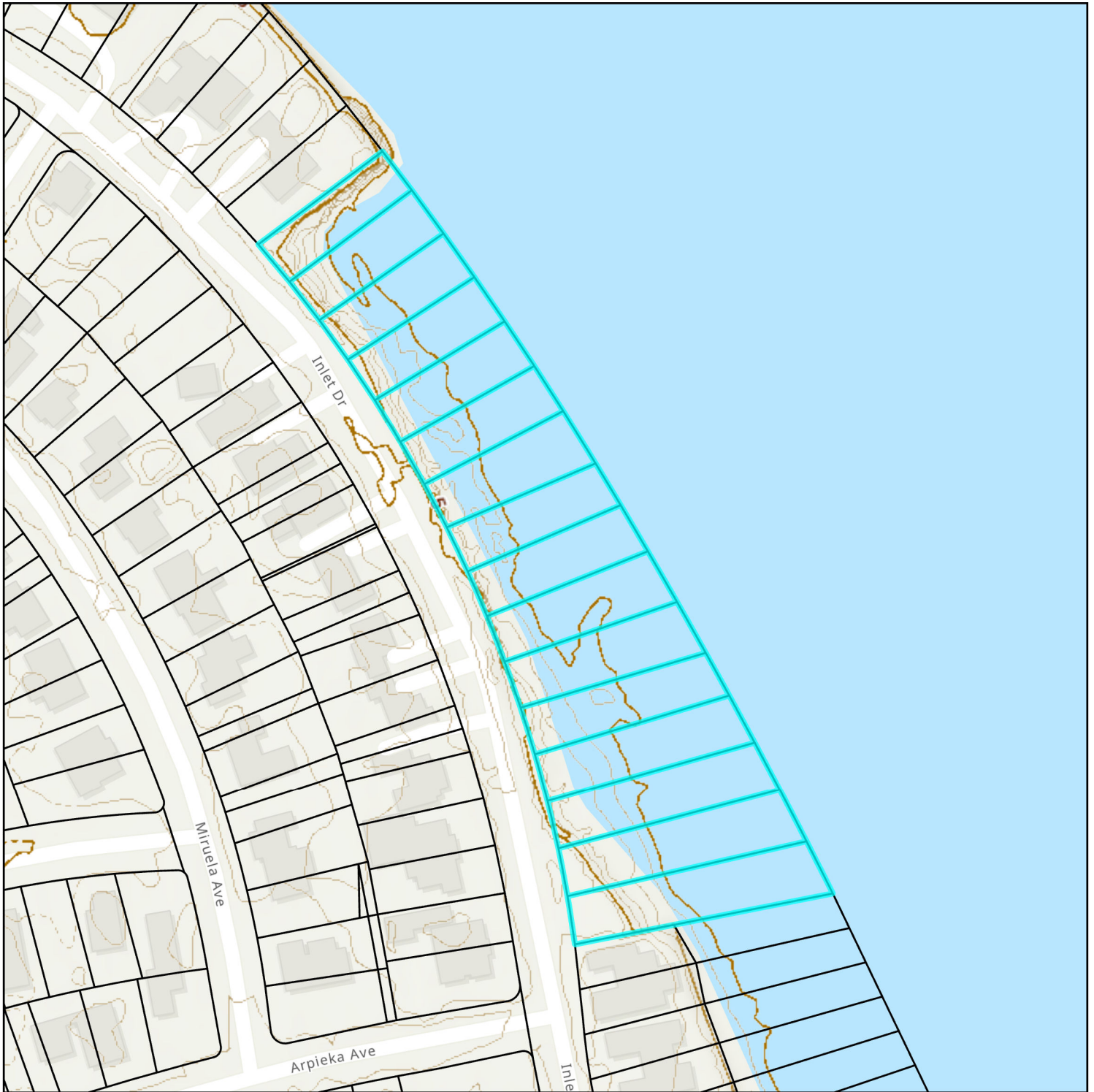
City of St. Augustine
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 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

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2025



Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Elevation Map

City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
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2025



0 0.01 0.02 Miles

0 80 160 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

Attachment 2: Application



**CITY OF ST AUGUSTINE
APPLICATION TO PLANNING AND ZONING BOARD**

Application Fee: _____ (plus advertising costs) Project Number: _____
 Receipt Number: _____ Meeting Date: _____
 Advertising Costs: \$ _____ Paid On: _____ Receipt Number: _____

1. NAME OF APPLICANT: City of St. Augustine - Jessica Beach Contact Number: 904-209-4227
 Business (if applicable): _____
 Address: 75 King St City: St. Augustine State: FL Zip: 32085
 E-Mail Address: jbeach@citystaug.com

2. NAME OF PROPERTY OWNER: City of St. Augustine Contact Number: 904-209-4227
 Business (if applicable): _____
 Address: 75 King St City: St. Augustine State: FL Zip: 32085
 E-Mail Address: jbeach@citystaug.com

3. LEGAL DESCRIPTION OF PROJECT PROPERTY:
 Lot: _____ Block: _____
 Subdivision: Davis Shores Ocean View Section Parcel Number: See Exhibit A

4. PROJECT STREET ADDRESS: INLET DR SAINT AUGUSTINE 32080-0000

5. SPECIFIC PROPOSED USE: Inlet Drive Shoreline Stabilization and Resilience Measures

6. ACTION REQUESTED:
 Conservation Zone Development Appeal of Staff Determination
 Exception Land Use Plan Amendment
 Variance Rezoning
 Other: _____

7. DESCRIPTION OF ACTION REQUESTED: Please refer to Exhibit A & B.

8. JUSTIFICATION FOR ACTION REQUESTED: Please refer to Exhibit A & B.

9. IF APPLYING FOR A VARIANCE, PLEASE COMPLETE THE FOLLOWING AND EXPLAIN THE SITUATION FULLY ALONG WITH PROVIDING DOCUMENTATION:

(a) Does the property because of size, shape, topography or other physical conditions, suffer singular disadvantage, which disadvantage does not apply to other properties in the vicinity:_____

N/A

(b) Can you establish that this disadvantage causes the owner to be unable to make reasonable use of the affected property:_____

N/A

(c) Can you establish that this disadvantage does not exist because of conditions created by the owner or applicant:_____

N/A

(d) Can you establish that granting of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this Section:_____

N/A

10. PREVIOUS APPPLICATIONS:

Has any application been submitted to the Planning & Zoning Board concerning any part of the subject property within the past year?

Yes No If yes, please give date and final disposition below.

11. AGREEMENT:

In filing this application, I understand that it becomes a part of Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

Application must be signed by both applicant and property owner if different. Letter of authorization must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of either property owner or applicant.

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

IMPORTANT NOTICE: When the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the Board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the Board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the Code.

Jessica L. Bean

9/8/2025

Signature of Applicant

Date

Jessica L. Bean

9/8/2025

Signature of Property Owner

Date



**CITY OF ST. AUGUSTINE
DEVELOPMENT PERMIT APPLICANT WAIVER**

The applicant acknowledges and agrees to waive the limitation of three requests for additional information by the City of St. Augustine, pursuant to Chapter 166.033, Florida Statutes.

The applicant acknowledges and agrees that the City offers weekly Friday Review development review meetings, as well as, department specific applicant meetings with its reviewing staff at any point in the application process to attempt to resolve outstanding issues. The applicant is responsible for scheduling any requested meetings with City staff directly.

The applicant acknowledges and agrees that if after three unresolved submittals the applicant elects to proceed with final approval or denial proceedings, the applicant must request so in writing to the City.

Jessica L. Beach

Print name of applicant

Signature of applicant

9/8/2025

Date

PZB APPLICATION FEE SCHEDULE

Planning and Zoning Board fees are set by Resolution 2021-38 as follows:

Description of Work	Fee Amount
Rezoning: small scale	\$300.00 + ads & notices
Rezoning: large scale	\$1,000.00 + ads & notices
Land Use Plan Amendment: small scale	\$400.00 + ads & notices
Land Use Plan Amendment: large scale	\$1,400.00 + ads & notices
Planned Unit Development	\$400.00 or \$35.00/acre, whichever is greater, \$1,400 max + ads & notices
Zoning Variance	\$350.00 + ads & notices
Zoning Exception	\$250.00 + ads & notices
Conservation Overlay Zone Development	\$165.00 + ads & notices
Significant Tree Removal or Appeal of Tree Removal Permit Denial	\$165.00 + ads & notices
Appeal of Staff Determination	\$200.00 + ads & notices
Application to Amend Zoning Code	\$600.00 + ads & notices
Subdivision Plat Review	\$275.00 + ads, notices & additional associated costs

“Note: The cost of newspaper advertisement and all notices to surrounding property owners will be assessed by the city, paid by the city and reimbursed by the applicant. All advertising costs must be paid prior to issuance of a development permit.

The applicant shall reimburse the City the mailing cost for all notices and for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing.”

If a Credit Card Authorization Form is used for the payment of fees, the City will maintain the form and automatically charge additional advertising and noticing fees, once determined, to the credit-card account submitted.

By signing below, I acknowledge responsibility for both the initial application fee and any subsequent costs associated with legal advertising and/or noticing and understand that permits associated with my application may not be issued until such fees are paid.

I authorize the Planning and Building Department to maintain my payment information until a final cost for advertising and/or noticing is determined and charged. If a payment method other than Credit Card Authorization Form is used, I understand that I will be sent an invoice for the costs of advertising/noticing which must be paid prior to the issuance of any development permit related to my application. I am aware that I can request a copy of these fees and my receipt from Building Department Staff.

Project Address: Inlet Drive blw 117 & 151 Inlet Drive

Applicant's Name: COSA Applicant's Signature: Jessica Beah

Owner's Name: COSA Owner's Signature: Jessica Beah



Inlet Drive Shoreline Resiliency Project

FDEP Grant No. 22FRP111

Exhibit A

Planning and Zoning Board Application Supplemental Information



3. PARCEL NUMBERS ASSOCIATED WITH THE PROJECT

Parcel: 213919-0010

117 Inlet Drive (Lots 87 and 88 Davis Shores)
Richard and Tracey Hardy

Parcel: 215370-0000

Lots 84, 85, and 86 Davis Shores
Dr. Robert Thousand, Jr.

Parcel: 215400-0000

Lots 82 and 83 Davis Shores
Vincent and Lynne Roberts

Parcel: 213880-0000

Lots 73 thru 81
City of St. Augustine

Please note, the City has fully executed easements for the project for the above-referenced parcels that are not City owned.

7. DESCRIPTION OF ACTION REQUESTED

Approval for development within Conservation Overlay Zone 1 as part of the City’s Capital Improvement Project, Inlet Drive Shoreline Resiliency. This project proposes several resilience strategies to provide a higher level of flood protection for a portion of Inlet Drive, which is a critical road for the North Davis Shores neighborhood. Specifically, the project will:

- (1) Install approximately 692 linear feet precast concrete segmented block retaining wall above the Mean High Water Level (MHWL), behind the existing coquina block wall (landward) that will help to reinforce the existing wall. Impacts to surface waters and existing mangroves are being avoided with this proposed alignment.
- (2) Utilize appropriate erosion and sediment control measures during construction
- (3) The new retaining wall will be constructed at a higher elevation in order to match the existing elevations and associated bulkheads at either end of the project. This will essentially “close the elevation gap” by providing a continuous physical barrier to provide a higher level of flood protection and erosion that is created from tidal and wave action. The existing seawall cap elevation is approximately 4.5 feet (NAVD88). The new seawall shall tie the existing walls at either end of the project and shall be constructed to an elevation of 8.75 feet (NAVD88) top of wall. The existing ground elevations where the

new retaining wall will be installed are on average 5.9 feet NAVD88, therefore the physical height of the wall (i.e. above ground elevation) is on average 3 feet. The average road elevation is 5.5 feet NAVD88.

- (4) Stormwater upgrades: two (2) existing curb inlets and the existing 12-inch diameter corrugated metal pipe (CMP) stormwater outfalls shall be raised and replaced with two (2) new curb inlets and a 14"x 23" elliptical reinforced concrete pipe (ERCP). The pipe and discharge point will be retrofitted to include a one-way tide check valve. Currently, the outfall is frequently submerged and subject to siltation. It has been difficult for stormwater operations staff to maintain this currently. Therefore, by raising the invert elevation, it will reduce the inundation frequency and siltation. These measures will improve the existing drainage with respect to rainfall flooding and to prevent high tide flooding from backing up through the storm pipe and inlets within the road. Appropriate transitions from the new wall back to the curb along Inlet Drive are included. This will facilitate any rainfall drainage into the street where it will be collected by the upgraded stormwater infrastructure.
- (5) Rip-Rap is proposed to fill the gap between the existing coquina wall and the new wall and in areas where the coquina wall is missing. Also included are the removal and replacement of a minor section of wooden pier and concrete sidewalk, water service line replacement and electrical service relocation to the pier. This is necessary in order to accommodate the existing pier access and to meet ADA safety requirements.
- (6) Installation of living shoreline resilience measures. This will include wave attenuation devices (WADs), such as reef balls, below mean low water line to help reduce the impacts of wave energy on the shoreline and installation of oyster gabions within the tidal area to also help with wave energy dissipation and to help with the rate of sediment accretion to support the existing living shoreline and oyster recruitment. Existing rubble will also be removed in a section of the shoreline (where minimal vegetation exists) to allow for the natural recruitment of native vegetation to re-establish itself. The living shoreline resilience measures are a pilot project to determine this technique's effectiveness and potential future applications.

The final design plans are included with this application. It has the details for the proposed project for Items (1) – (5).



Example of Concrete Block Gravity Retaining Wall. Photo source: www.redi-rock.com

The living shoreline conceptual plan is also included with this application [Item (6)]. We have included examples of the reef balls and oyster gabions that have recently been installed at Jacksonville Zoo as part of that living shoreline project. We have also included examples of another product that the city is interested in by KIND Designs. This is a 3D printed oyster reef that would function similar to the reef balls. According to KIND Designs, the design can be highly customized to accommodate the site-specific needs due to the flexibility in 3D printing. The oyster reefs are purpose built to maximize oyster larvae settlement and survival. The high texture surface promotes rapid oyster spat attachment. Since this is a pilot project, we have separated it out from the retaining wall due to the complexity of permitting involved with the State and Federal agencies. We did not want to create delays with the grant funding deadline, therefore the retaining wall portion for the project has been designed and permitted and is ready for construction. Additionally, the grant funding may not cover the costs of the living shoreline installation, but it will cover costs for design and permitting. The intent is to have a “shovel ready” project that can then be sought for grant funding for implementation at a future date.



Legend

- Property Boundary
- Oyster Gabions
- Reef Balls (or alternative)
- Rubble to be Removed
- Mean High Water Line
- Mean Low Water Line

**Living Shoreline Design
85834 Tocoi Inlet Drive Shoreline**

**City of St Augustine - Inlet Dr.
RE# 2138800000, 2154000000,
2153700000 & 2139190010
(81.2973922°W 29.8980301°N)**

St. Augustine, St. Johns County, Florida

Date: November 2024
Base map provided by
ESRI. Property
boundaries based on
FDOR from 2023.

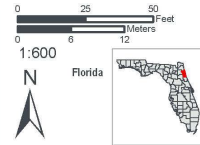








Figure 1. Conceptual Plan for Living Shoreline Design, Inlet Drive.



Esri Community Maps
 Contributors: FDEP, ©
 OpenStreetMap, Microsoft, Esri,
 TomTom, Garmin, SafeGraph,
 GeoTechnologies, Inc, METI/
 NASA, USGS, EPA, NPS, US
 Census Bureau, USDA, USFWS, St
 Johns County, State of Florida,
 Maxar, Microsoft

Esri Community Maps Contributors, FDEP, © OpenStreetMap, Microsoft, Esri,
 TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA,
 NPS, US Census Bureau, USDA, USFWS, St Johns County, State of Florida,
 Maxar, Microsoft

Legend

-  Property Boundary
-  Oyster Gabions
-  Reef Balls (or alternative)
-  Rubble to be Removed
-  Mean High Water Line
-  Mean Low Water Line

Living Shoreline Design 85834 Toco Inlet Drive Shoreline

City of St Augustine - Inlet Dr.
RE# 213880000, 215400000,
215370000 & 2139190010
(81.2973922°W 29.8980301°N)

St. Augustine, St. Johns County, Florida

Date: November 2024
 Base map provided by
 ESRI. Property
 boundaries based on
 FDOR from 2023.



1:600





Jacksonville Zoo Living Shoreline Project. Oyster gabions with reef balls. *Photo credit, SWCA Environmental Consultants*



KIND Design’s 3D-Printed Oyster Reef. Photo courtesy of KIND Designs (www.kindesigns.com).

The City has received a “No Permit Required” letter for the Items (1) – (5) from USACE. That has been included in the application.

The city has pending application No. 0321819-001-EE with FDEP. The scope of work included in that permit application is Items (1) – (5). The city recently responded to FDEP’s Request for Additional Information on September 3, 2025. The only outstanding item was executed easements for the proposed work. Those easements have been executed and are pending recording with the Clerk of Courts. It is anticipated that the FDEP permit will be issued within the next 30 days.

8. JUSTIFICATION FOR ACTION REQUESTED

There is an existing coquina block wall located predominately above the mean high-water line which runs the length of the property. Although the project is not located within any archaeological zones, given the age of the Davis Shores neighborhood and as a precautionary measure, the City had conducted a historical analysis on the existing coquina block wall. It was determined from this analysis that the existing wall does not have the characteristics required to meet federal, state or local standards for historical significance. The existing wall is deteriorated; there are also sections of it that have been breached. The waterward area of the existing coquina block wall is predominantly covered by mangroves that are providing some shoreline protection. Despite some natural shoreline protection, the

existing shoreline at this location has eroded over time from recent hurricanes and nor'easters. Please refer to the photos provided. Currently, the erosion has migrated closer to the road where it is encroaching into the road right-of-way, putting this infrastructure at risk for damage if left unaddressed. The city has had this project on its Capital Improvement Plan (CIP) for a number of years. The lack of sufficient funding has prohibited the City from being able to move this project forward, until now. The city currently has grant funding for the project through FDEP's Resilient Florida Program. This has enabled the city to proceed with the project through design and permitting and prepare to transition the project into construction. The grant has a June 30, 2026, deadline for expenses incurred up to that date to be eligible for reimbursement. Therefore, the city has been aggressively moving the project as quickly as possible to meet the deadline. Additionally, to further support the project justification and need, in parallel to the project's design, the city recently completed a Citywide Vulnerability Assessment. This was a state funded study that enabled the city to inventory all critical assets and facilities, determining which assets were most vulnerable to a variety of flooding conditions (current and future). Based on the results of that assessment, this section of road (Inlet Drive), was identified as high priority critical infrastructure that is currently at risk and vulnerable to compound flooding. Therefore, the city is taking proactive measures to protect this critical infrastructure.



Inlet Drive Shoreline, Post Hurricane Irma (2017). Facing North.



Inlet Drive Shoreline, Post Hurricane Irma (2017). Facing South.



Inlet Drive Shoreline and Existing Coquina Block Wall. Post Hurricane Irma (2017). Facing South.



Inlet Drive Shoreline. Hurricane Nicole (2022). Facing East. Photo provided by resident.



Inlet Drive Shoreline. Hurricane Nicole (2022). Facing East. Photo provided by resident.



Inlet Drive Shoreline. Hurricane Ian (2022). Facing North. Photo provided by resident.



Inlet Drive Shoreline. Post Hurricane Ian (2022). Facing North. Photo provided by resident.



Inlet Drive Shoreline. Post Hurricane Ian (2022). Facing North. Photo provided by resident.



Existing stormwater outfall (clay pipe) to be replaced and reset at a higher elevation as part of this project.



Existing stormwater inlet (one of two) that will be replaced as part of this project.

The city has held several public meetings regarding the project to inform residents of the project, its goals and objectives, funding sources and schedule. The city has presented this in a number of settings as follows:

- (1) Neighborhood meeting, November 6, 2024
- (2) Neighborhood meeting, December 5, 2024
- (3) Neighborhood meeting, January 14, 2025
- (4) South and North Davis Shores (SANDS) Neighborhood Association Meeting, February 18, 2025
- (5) Provided update to SANDS on May 19, 2025
- (6) Capital Improvement Plan (CIP) Workshop, Special City Commission Meeting, May 15, 2025
- (7) Special Budget Meeting, City Commission, August 28, 2025

The city has also received a variety of public comments and input for the project throughout the design process. The comments and input ranged, but generally revolve around the following topics:

- (1) Why is the project necessary and will it provide any protection from or improvements to flooding?
- (2) Can nature-based features be used and not have a wall?
- (3) Will the city be planting any additional mangroves?
- (4) Will the city be trimming the existing mangroves?
- (5) The access that currently exists to Salt Run will be altered, how will the city address that and can public access be included as part of the project? Can a gate be installed in the wall to still provide access?
- (6) Will the city be installing a kayak launch?
- (7) Concerns for obstruction of view with the proposed wall. Can it be lowered?

The city had the surveyor for the project stake the wall alignment and delineate the wall height so that residents could get an idea of where the wall would be located and its proposed height. The following photos are from that staked alignment. Orange flags designated the top of the wall. It should be noted that the approximate top of the wall is within the existing mangrove height.



Proposed wall alignment staked by surveyor. Orange flag represents the top of the proposed wall.



Proposed wall alignment staked by surveyor. Orange flag represents the top of the proposed wall.



Proposed wall alignment staked by surveyor. Orange flag represents the top of the proposed wall.



Proposed wall alignment staked by surveyor. Orange flag represents the top of the proposed wall.

The city did take the above comments into consideration with regard to potential design changes and/or modifications for the project. Staff did explore ways to accommodate access to the shoreline that residents have used this area for. We did get a lot of input on this particular topic and it has been quite a devise issue based on the public input we've received to date (many opposed and many in favor). When considering potential design modifications to account for access, this would trigger additional design, ADA requirements and the potential for accounting for additional wetlands and surface water impacts that go beyond the project's intent and objectives. It also increases project costs and was not in the original grant application or scope, meaning it would not be covered under the grant. With all of that being taken into consideration, the proposed design is what the City is moving forward with for the project. It is possible that that City could consider a future potential project to accommodate the access and more recreational desire for the area, but that cannot be accomplished under this proposed project. It would have to be a separate and stand-alone project that has an entirely different set of challenges and hurdles to overcome.

Regarding the general questions and comments received for the project, the City has provided responses:

- (1) Why is the project necessary and will it provide any protection from or improvements to flooding?
 - a. There is an existing coquina block wall located predominately above the mean high-water line which runs the length of the property. The existing wall is deteriorated; there are also sections of it that have been breached. The waterward area of the existing coquina block wall is predominantly covered by mangroves that are providing some shoreline protection. Despite some natural shoreline protection, the existing shoreline at this location has eroded over time from recent hurricanes and nor'easters. Currently, the erosion has migrated closer to the road where it is encroaching into the road right-of-way, putting this infrastructure at risk for damage if left unaddressed. The city has had this project on its Capital Improvement Plan (CIP) for a number of years. The lack of sufficient funding has prohibited the City from being able to move this project forward, until now. The city currently has grant funding for the project through FDEP's Resilient Florida Program. This has enabled the city to proceed with the project through design and permitting and prepare to transition the project into construction. Additionally, to further support the project justification and need, in parallel to the project's design, the city recently completed a Citywide Vulnerability Assessment. This was a state funded study that enabled the city to inventory all critical assets and facilities, determining which assets were most vulnerable to a variety of flooding conditions (current and future). Based on the results of that assessment, this section of road (Inlet Drive), was identified as high priority critical infrastructure that is currently at risk and vulnerable to compound flooding. Therefore, the city is taking proactive measures to protect this critical infrastructure. The shoreline has been eroding over the

years, the current road (which is critical infrastructure) is at risk and needs to be further protected. This area has also been subject to storm surge and associated flooding. The overall project improvements will provide a higher level of storm surge protection than what currently exists; it will also reduce the impacts from wave action and associated erosion along the shoreline and potential undermining of the critical road; it will also help to facilitate drainage and improve the current drainage that exists. The second part of the project that is being designed and potentially constructed separately is the living shoreline enhancements that would help to reduce wave action and wake. Overall, the project is targeted specifically to benefit the immediate project area. The project cannot address entirely the flooding that the Neighborhood is subject to, as that is a much larger problem with different strategies. City-wide coastal storm risk is being looked at comprehensively as part of the USACE Back Bay study.

- (2) Can nature-based features be used and not have a wall
 - a. Nature based features (NBFs) are being incorporated into the design, but it will not be effective alone without the structural measures to reduce the impacts from storm surge. The retaining wall acts as a physical barrier to prevent the surge from overtopping and washing out the road. The NBFs help to assist the physical barrier by reducing the wave action and helps to facilitate the already existing living shoreline to further develop. It also has other benefits with respect to ecosystem habitat and water quality. The area currently already has a living shoreline in place, but the proposed NBFs enhance what is already existing and to further support it in the future.
- (3) Will the city be planting any additional mangroves
 - a. No.
- (4) Will the city be trimming the existing mangroves
 - a. The City has engaged FDEP on mangrove trimming and what would be required for permitting. The City currently does not have a mangrove trimming permit to trim the City's section of the mangroves. Although private property owners have obtained mangrove trimming permits and are authorized by those permits to trim on private property.
- (5) The access that currently exists to Salt Run will be altered, how will the city address that and can public access be included as part of the project
 - a. The city did take the above comments into consideration with regard to potential design changes and/or modifications for the project. Staff did explore ways to accommodate access to the shoreline that residents have used this area for. We did get a lot of input on this particular topic and it has been quite a devise issue based on the public input we've received to date (many opposed and many in favor). When considering potential design modifications to account for access, this would trigger additional design, ADA requirements and the potential for accounting for additional wetlands and surface water impacts that go beyond the project's intent and objectives.

It also increases project costs and was not in the original grant application or scope, meaning it would not be covered under the grant. With all of that being taken into consideration, the proposed design is what the City is moving forward with for the project. It is possible that that City could consider a future potential project to accommodate the access and more recreational desire for the area, but that cannot be accomplished under this proposed project. It would have to be a separate and stand-alone project that has an entirely different set of challenges and hurdles to overcome.

- (6) Will the city be installing a kayak launch?
 - a. No, that is beyond the scope of this project. See response to #5 for additional information.
- (7) Concerns for obstruction of view with the proposed wall. Can it be lowered?
 - a. No, the proposed wall height is to align with the currently existing bulkhead elevations to the north and south where this proposed retaining wall will connect.

EXHIBIT B

Inlet Drive Seawall & Living Shoreline

Overlay Zone 1 Development Application Supplement

The proposed Inlet Drive shoreline project is intended to provide shoreline stabilization and coastal resiliency and to bridge the gap between two existing seawalls and reduce the flooding along a stretch of inlet drive between 151 Inlet Drive and 117 Inlet Drive. To achieve this goal, the project involves a combination of rigid shoreline stabilization and natural shoreline stabilization.

The rigid shoreline stabilization will be achieved through the replacement of the existing degraded coquina seawall with an engineered seawall that will connect the existing seawalls that currently terminate at 151 and 117 Inlet Drive in an attempt to “close the gap” which will provide greater protection from wave action and limit associated erosion and flooding. Rip rap will also be placed between the existing coquina seawall which will remain in place and the proposed replacement seawall to further stabilize the shoreline. Additionally, natural shoreline stabilization and coastal resilience will be achieved through the creation of a living shoreline along the City of St Augustine owned parcels between 151 Inlet Drive and 124 Inlet Drive. Technically, this section of shoreline already naturally contains some key aspects of a desired living shoreline including appropriate vegetation such as marsh grasses and mangroves and substrate stabilization with oyster beds. This should help be a natural foundation for a successful living shoreline. To create the desired living shoreline, the proposed construction involves: 1) the placement of sections of reef balls along the mean low water line, 2) the placement of oyster gabions in appropriate density (in areas lacking native oyster recruitment) within the tidal area, and 3) removal of existing rubble that is impeding the growth of mangroves naturally recruiting along the shoreline.

(1) Site specific conditions.

The site consists of an existing coquina gravity block wall that has been breached in multiple places. The earth behind the wall is littered with significant amounts of riprap and rubble buried in an attempt to stabilize the shoreline. The wall was originally installed on private property approximately 5 to 15 feet outside of the City’s right of way. The City owns 11 of the 16 lots impacted by the erosion. The wall breaches have allowed significant bank erosion even though a significant amount of riprap and rubble have been placed in order to control the erosion.

(2) The site’s relationship to adjacent properties, bodies of water and surrounding conservation zones.

The site is bounded on the north by a residential lot that has a vinyl seawall installed along the dividing boundary line, the wall is actually installed on City property; on the east by Salt Run an open body of water; on the west by Inlet Drive; and on the South by 5 private lots with the connection to an existing private vinyl seawall.

(3) Natural and proposed drainage patterns.

Approximately 10 to 15 feet east of the Inlet Drive curb line is a ridge or high point. West of the ridge drains into the street curb line. East of the ridge drains into Salt Run. When the water in Salt Run rise during storms to an elevation above 5.5, Inlet Drive floods. The elevation of the proposed wall at elevation of 8.75 matching the elevation of the seawalls at either end of the project will reduce the flooding

(4) Effect of point and nonpoint discharge in the marine environment.

Inlet drive collects rainwater in inlets that discharge directly into Salt Run through an existing 18 inch corrugated metal pipe that will be replaced as part of this project. The replacement of the culvert will not change the existing point and non-point discharge.

(5) Proposed soil stabilization and erosion control methods.

The existing stacked stone wall and rip-rap is to remain in place and a new wall is to be installed immediately behind the existing wall. Rip-rap will be placed between the existing wall and new wall to stabilize the shoreline. Sod and other landscaping will be installed between the new wall and the Inlet Drive curb line to stabilize the soil and prevent erosion.

(6) Impact on floodplain.

Currently during sever storms and hurricanes, the existing wall is overtopped and Inlet Drive floods. The proposed wall will be installed at the same elevation as the existing walls at either end of the project to fill the gap. The new wall will be approximately 4 feet higher than the existing wall and will minimize the flooding of inlet drive. Because there is an existing wall and roadway, this project will not cause further impacts to the floodplain.

(7) Impact of development on vegetative and animal communities.

The proposed project will not have negative impacts on vegetative and animal communities. Construction for replacement of the existing seawall will occur uphill within the right of way uplands that are currently a maintained lawn area that provides little to no wildlife habitat. The living shoreline construction proposes to enhance existing vegetative communities to support greater benefit to wildlife and the health of the ecosystem.

(8) Potential for contaminated drainage, storage of pollutants and the use of poisonous chemicals and materials.

Because this project is designed to reinforce the existing wall and minimize flooding in Inlet Drive, this project will not generate any additional contamination, pollutants, or poisonous chemicals.

(9) Effect of shade on vegetation and shellfish.

Because the wall is being installed behind the existing wall which is above the normal high water line, there will be no impact on vegetation (mangroves) and shellfish. The living shoreline will not consist of any structures that will have shading impacts on existing vegetation or shellfish.

(10) Effect of boat wake and boat traffic on manatees, vegetation, shellfish and wildlife, as well as shoreline erosion.

The construction of this reinforcing wall behind the existing wall and rip-rap will have no effect on manatees, vegetation, shellfish and wildlife. The construction of this wall will improve the shoreline resistance to erosion by reinforcing the existing erosion protection system. The living shoreline is designed with gaps between the reef balls so as not to trap manatees behind the reef balls as the living shoreline develops. This project should provide a benefit to wildlife and shoreline erosion.

(11) Impact of development on shoreline by linear feet and percent of site.

The construction of this reinforcing wall will improve the overall effectiveness of the existing erosion control system and fill the gap between the existing seawalls on the north and south ends of the project. The overall length of the project is approximately seven hundred (700) feet.

(12) Impact of development on vistas and scenic opportunities by linear feet, height, mass and percentage of site.

The new wall be constructed to an elevation of +/- 8.75 matching the elevation of the seawalls at either end of the project. This higher wall will reduce the visibility to the water's edge immediately adjacent to the wall but in general will not adversely affect the overall vista to Salt Bay and the boat traffic in the area nor the opposite shoreline while walking or sitting on the porch of the neighboring houses. The living shoreline will not incorporate any components higher than the existing mangroves along the shoreline.

(13) Existing amounts of native plants and proposed retention and use of native plants for landscape and open space purposes.

The intent of this project is to not impact the existing mangroves nor any of the aquatic plants immediately in front of the existing wall and rip-rap. This project will impact the existing grasses immediately landward of the existing wall during construction. It is anticipated that the landward areas disturbed during construction will be restored utilizing native vegetation and grasses. The proposed construction will occur within the upland habitats and should not affect the wetland vegetation associated with the tidal community.

(14) Impact of development on plant and animal habitat and potential loss in acres and percent of site.

It is anticipated that this project will not negatively impact plant and animal habitat. The only loss in area will be the footprint of the linear wall approximately 2 to 5 feet wide. The living shoreline will provide additional plant and animal habitat in the project area.

- (15) Impact of development on water quality. Water quality objectives will be presumed to have been met if runoff water is routed to a surface water management system permitted by the St. Johns River Water Management District or to a treatment facility that is equivalent to the water quality treatment criteria (water retention/detention) of the water management district. (An engineer or landscape architect licensed in the State of Florida is required to certify that the treatment facility is equivalent to the district's criteria.)**

The construction of this reenforcing wall is anticipated to have no impact on water quality. The intent is to replace and repair the existing wall and erosion protection system. As this is a linear narrow wall replacing a deteriorated system, minimal additional impervious area will be created and the area that is created will have no impact of the overall water quality. The living shoreline should provide benefits to water quality through the growth of mangrove, seagrass and oyster communities.

- (16) Impact of development on shellfish and on commercial and sport fish and waterfowl.**

This project will have no impact to shellfish or sprot fishing / waterfowl. Conversely, a living shoreline can provide better spawning habitat for fish, shellfish, and waterfowl that feed on them.

- (17) Specific conditions applicable to docks. In addition to the considerations listed in subsections (1) through (16) herein, no boathouse, roofed structure or wall shall be constructed on any dock. This section shall not prohibit the use of bumpers or similar structures built at or near the water line and below deck elevation to protect the dock from damage caused by moored vessels. The deck of any private boat dock shall not exceed six (6) feet in height above mean high water. Boatlifts mounted on docks, or constructed on or adjacent to a dock, shall be limited to a capacity of twelve thousand (12,000) pounds or less. All boatlifts shall be low profile boatlifts or no profile boatlifts, and no boats in excess of thirty-two (32) feet in length shall be allowed on a boatlift. In addition, the maximum height, excluding masts, antennas and other non-occupiable features, of a boat suspended in a boatlift shall not exceed six (6) feet above the gunwale (gunnel); whereby, the gunwale (gunnel) is defined as the upper edge of the side of the ship or boat. A low profile boatlift is a boatlift for a single watercraft in which no part of the boatlift shall exceed three (3) feet above the deck. A no profile boatlift is a boatlift for a single watercraft in which no part of the boatlift shall protrude above the deck.**

This project does not involve construction of a wall, boat dock, or pier waterward of the existing wall.

Attachment 3:
St. Johns County Property Appraiser
Report

St. Johns County, FL

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Homestead Compliance

2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID 2139190010
Location 117 INLET DR
Address SAINT AUGUSTINE 32080-0000
Neighborhood Davis Shores (ICWFR) (590.05)
Tax Description* 12-39 EL CHAR SUB LOTS 1 & 2 & 3-97 DAVIS SHORES LOTS 87 & 88
 BLK 1 OR4151/1414(T/R) & 4777/572
**The Description above is not to be used on legal documents.*
Property Use Code Single Family (0100)
Subdivision El-Char Subdivision
Sec/Twp/Rng 17-7-30
District City of St Augustine (District 452)
Millage Rate 18.72
Acreage 1.180
Homestead Y

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Owner Information

Owner Name Hardy Richard L,Tracey Y 100%
 Hardy Tracey Y 100%
Mailing Address 117 INLET DR
 SAINT AUGUSTINE, FL 32080-3812

Exemption Information

Exemption Type	Status	Amount
Homestead Band		25722
Homestead		25000

Map



Valuation Information

Assessed Year	2025
Building Value	\$743,355.00
Extra Features Value	\$70,111.00
Total Land Value	\$1,332,500.00
Agricultural (Assessed) Value	\$0.00
Agricultural (Market) Value	\$0.00
Just Market	\$2,145,966.00
Total Deferred	\$541,874.00
Assessed Value	\$1,604,092.00
Total Exemptions	\$50,722.00
Taxable Value	\$1,553,370.00

Values listed are from our working tax roll and are subject to change. Exemption and taxable values shown reflect County-level assessment.

Historical Assessment Information

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value
2024	697896	73408	1332500	0
2023	705018	36708	934175	0
2022	647629	55565	720474	0
2021	535890	55565	614900	0
2020	541415	56776	614900	0
2019	517359	48894	586520	0
2018	522585	50038	586520	0
2017	0	25919	586520	0
2016	0	25919	586520	0
2015	0	25919	586520	0
2014	0	25919	586520	0

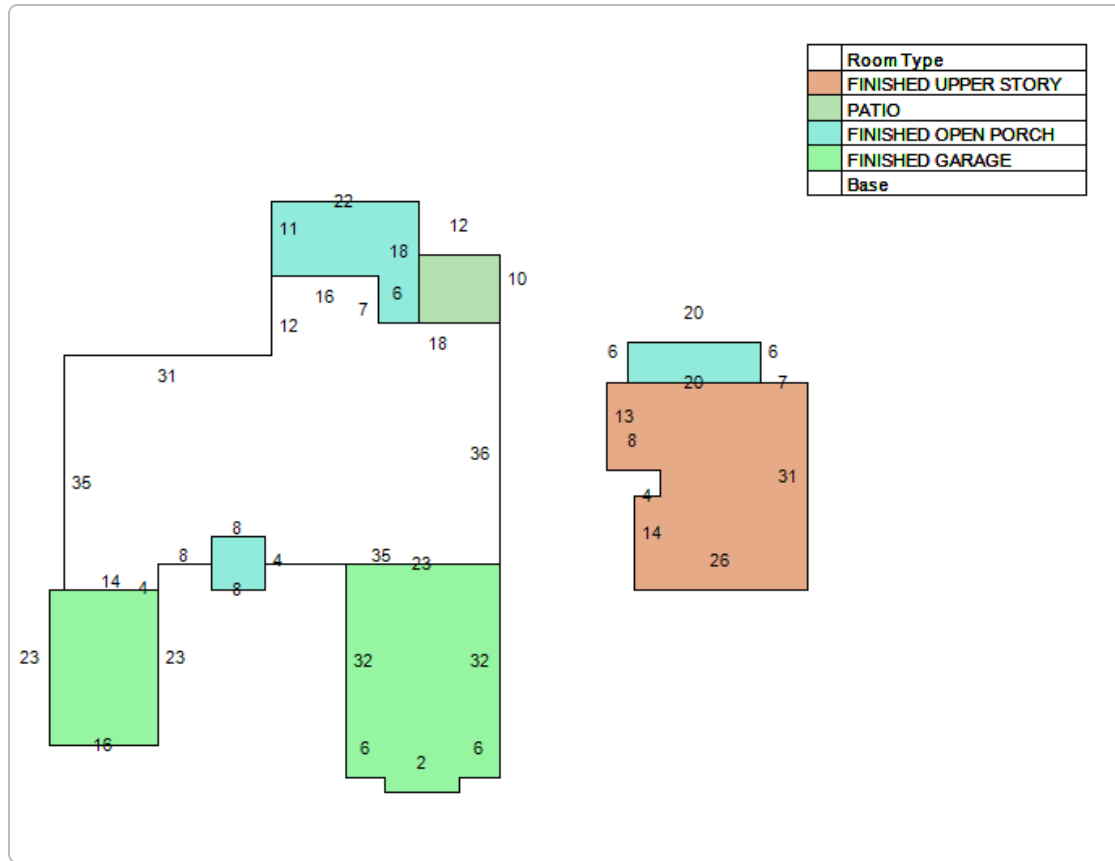
Building Information

Building	1	Roof Cover	Concrete Tile
Building Value	\$743,355	Roof Structure	Gable Hip
Year Built	2017	Interior Flooring	Carpet, Ceramic Tile
Actual Area	4877	Interior Wall	Drywall
Conditioned Area	3163	Heating Type	Air Duct
Use	Single Family Residence	Air Conditioning	Central
Style	01	Bedrooms	4
Exterior Wall	Stucco	Baths	5

Description	Square Footage
BASE AREA	2321
FINISHED GARAGE	368
FINISHED GARAGE	758
FINISHED OPEN PORCH	284
PATIO/SLAB	120
FINISHED OPEN PORCH	64
FINISHED UPPER STORY	842

Description	Square Footage
FINISHED OPEN PORCH	120
Total SqFt	4877

Sketch Information



Extra Feature Information

Code Description	Status	Value
Bulkhead - Excellent (Mix)		9639
Masonry Wall (Mix)		576
Pool - Low (RES)		15600
Spa / Hot Tub (Mix)		5850
Masonry Wall (Mix)		3036
Boat Dock - Average (Mix)		28731
Boat Lift - Average (Mix)		1400
Masonry Wall (Mix)		5279

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Single Family	86	130	86	FF	\$1,118,000
Single Family	110	0	110	FF	\$214,500

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
8/13/2019	8/12/2019	\$100.00	WARRANTY DEED	4777	572	U	I	COLLINS J RUSSELL TRUSTEE	HARDY RICHARD L,TRACEY Y
2/19/2016	2/19/2016	\$675,000.00	TRUSTEES DEED	4151	1414	Q	V	TEDESCO TED REVOC TRUST	HARDY RICHARD L,TRACEY Y
11/14/2011	11/8/2011	\$100.00	WARRANTY DEED	3493	1193	U	V	TEDESCO ANN REV TRUST	TEDESCO TED REVOC TRUST
2/28/2011	12/17/2009	\$0.00	DEATH CERTIFICATE	3412	1604	U	V	TEDESCO ANN MARIE (DECD 12/17/09)	TEDESCO TED REVOC TRUST ETAL
11/5/2009	11/3/2009	\$100.00	WARRANTY DEED	3256	238	U	V	TEDESCO ANTHONY R,ANN C	TEDESCO TED REVOC TRUST & TEDESCO ANN REV TRUST (T
	5/19/2009	\$100.00	CERTIFICATE OF TITLE	3195	1924	U	V	RANDALL D W,JULIE / BY SJC COCC	TEDESCO ANTHONY R,ANN C
	5/25/2001	\$310,000.00	TRUSTEES DEED	1610	1513	Q	I	COLLIER ELWOOD T SR TRUSTEE	RANDALL D W,JULIE

No data available for the following modules: Sales Questionnaire Form.

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St. Johns County, FL

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Homestead Compliance

2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID 2153700000
Location 124 INLET DR
Address SAINT AUGUSTINE 32080-0000
Neighborhood Davis Shores North (589.01)
Tax 3-97 DAVIS SHORES LOTS 3 & 4 & E10FT OF LOT 34 35 & 36 & TRI PT
Description* OF LOT 34 BLK 8 & LOTS 84 85 & 86 BLK 1 OR671/806 &
 2206/162(Q/C) & 4597/98(L/E)
**The Description above is not to be used on legal documents.*
Property Use Single Family (0100)
Code
Subdivision Davis Shores Ocean View Section
Sec/Twp/Rng 17-7-30
District City of St Augustine (District 452)
Millage Rate 18.72
Acreage 1.140
Homestead Y

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Owner Information

Owner Name [Thousand Robert R Jr](#) 100%
[Thousand Robert R Jr Revocable Trust D:06-04-1994](#) 100%
[Thousand Robert R Jr Trustee](#) 0%
Mailing Address 124 INLET DR
 SAINT AUGUSTINE, FL 32080-3881

Exemption Information

Exemption Type	Status	Amount
Homestead Band		25722
Homestead		25000
Widow/Widower		5000

Map



Valuation Information

Assessed Year	2025
Building Value	\$341,350.00
Extra Features Value	\$43,800.00
Total Land Value	\$946,500.00
Agricultural (Assessed) Value	\$0.00
Agricultural (Market) Value	\$0.00
Just Market	\$1,331,650.00
Total Deferred	\$1,079,026.00
Assessed Value	\$252,624.00
Total Exemptions	\$55,722.00
Taxable Value	\$196,902.00

Values listed are from our working tax roll and are subject to change. Exemption and taxable values shown reflect County-level assessment.

Historical Assessment Information

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value
2024	330663	46300	946500	0
2023	335014	57694	901500	0
2022	478720	31370	705040	0
2021	289767	34697	540250	0
2020	293630	38024	540250	0
2019	226464	35421	540250	0
2018	201201	0	540250	0
2017	158146	284	491910	0
2016	160697	22178	491910	0
2015	165798	22178	491700	0
2014	158446	22178	421580	0

Building Information

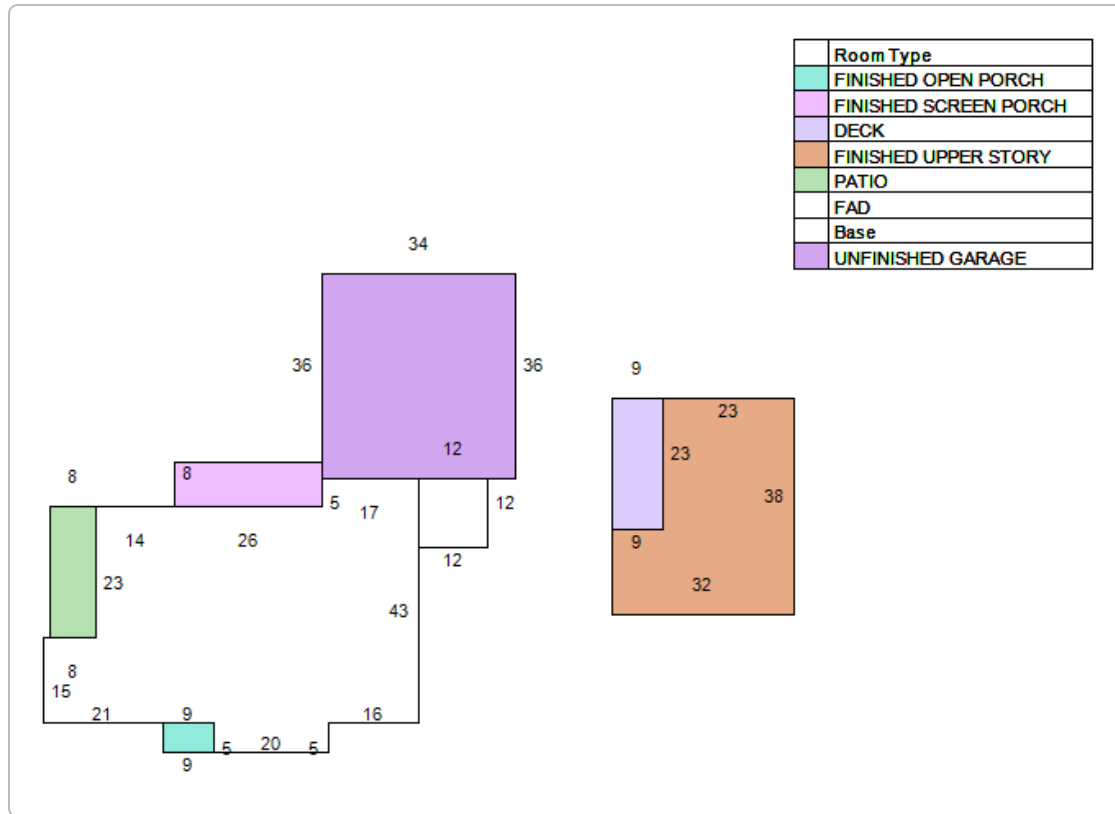
Building	1
Building Value	\$341,350
Year Built	1955
Actual Area	5507
Conditioned Area	3639
Use	Single Family Residence
Style	01
Exterior Wall	Concrete Stucco

Roof Cover	Metal
Roof Structure	Gable Hip
Interior Flooring	Sheet Vinyl, Carpet
Interior Wall	Drywall
Heating Type	Air Duct
Air Conditioning	Central
Bedrooms	4
Baths	3.5

Description	Square Footage
UNFINISHED GARAGE	1224
BASE AREA	2486
ADDITION	144
PATIO/SLAB	184
FINISHED UPPER STORY	1009
FINISHED DECK	207
FINISHED SCREEN PORCH	208

Description	Square Footage
FINISHED OPEN PORCH	45
Total SqFt	5507

Sketch Information



Extra Feature Information

Code Description	Status	Value
Boat Lift - Average (Mix)		1800
Boat Dock - Average (Mix)		42000

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Single Family	100	121	100	EF	\$750,000
Single Family	10	165	1	UT	\$1,500
Single Family	150	0	150	FF	\$195,000

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
12/20/2019	12/20/2019	\$0.00	TRUSTEES DEED	4853	1357	U	I	SHELLEY EVA MARKHAM TRUST D:03-16-1995	SHELLEY JOSEPH MARKHAM
8/14/2018	4/4/2018	\$100.00	LIFE ESTATE	4597	98	U	I	THOUSAND ROBERT R JR, JANE P	THOUSAND ROBERT R JR, JANE P
	5/8/2004	\$100.00	QUIT CLAIM DEED	2206	1652	U	I	HALL JOHN DAVID & LISA MARGARET	THOUSAND ROBERT R JR, JANE P
4/12/2020	4/12/1985	\$0.00	QUIT CLAIM DEED	671	805	U	I	OSSMER WILLIAM T, FLORENCE A	SHELLEY JOSEPH A, EVA M
	4/1/1985	\$198,000.00		671	806	Q	I	SHELLEY JOSEPH A, EVA M	THOUSAND ROBERT R JR, JANE P

No data available for the following modules: Sales Questionnaire Form.

St. Johns County, FL

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Homestead Compliance

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Homestead Compliance

2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID 2154000000
Location Address 134 INLET DR
 SAINT AUGUSTINE 32080-0000
Neighborhood Davis Shores North (589.01)
Tax Description* 3-97 DAVIS SHORES LOT 8 & S PT OF LOT 9 BLK 8 & LOTS 82 & 83
 BLK 1 OR 937/1271(P/R)
**The Description above is not to be used on legal documents.*
Property Use Code Single Family (0100)
Subdivision Davis Shores Ocean View Section
Sec/Twp/Rng 17-7-30
District City of St Augustine (District 452)
Millage Rate 18.72
Acreage 0.710
Homestead Y

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Owner Information

Owner Name Roberts Vincent P,Lynne S 100%
 Roberts Lynne S 100%
Mailing Address 134 INLET DR
 SAINT AUGUSTINE, FL 32080-3881

Exemption Information

Exemption Type	Status	Amount
Homestead Band		25722
Homestead		25000

Map



Valuation Information

Assessed Year	2025
Building Value	\$161,317.00
Extra Features Value	\$0.00
Total Land Value	\$655,000.00
Agricultural (Assessed) Value	\$0.00
Agricultural (Market) Value	\$0.00
Just Market	\$816,317.00
Total Deferred	\$603,982.00
Assessed Value	\$212,335.00
Total Exemptions	\$50,722.00
Taxable Value	\$161,613.00

Values listed are from our working tax roll and are subject to change. Exemption and taxable values shown reflect County-level assessment.

Historical Assessment Information

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value
2024	156786	0	655000	0
2023	160915	0	575000	0
2022	225703	0	419440	0
2021	173610	0	374500	0
2020	176002	0	374500	0
2019	141576	0	374500	0
2018	135323	0	374500	0
2017	113120	538	341000	0
2016	114720	627	341000	0
2015	117723	717	341000	0
2014	112304	806	292000	0

Building Information

Building	1	Roof Cover	Metal
Building Value	\$137,109	Roof Structure	Gable Hip
Year Built	1950	Interior Flooring	Hardwood
Actual Area	2362	Interior Wall	Drywall
Conditioned Area	1438	Heating Type	Air Duct
Use	Single Family Residence	Air Conditioning	Central
Style	01	Bedrooms	3
Exterior Wall	Concrete Stucco	Baths	2

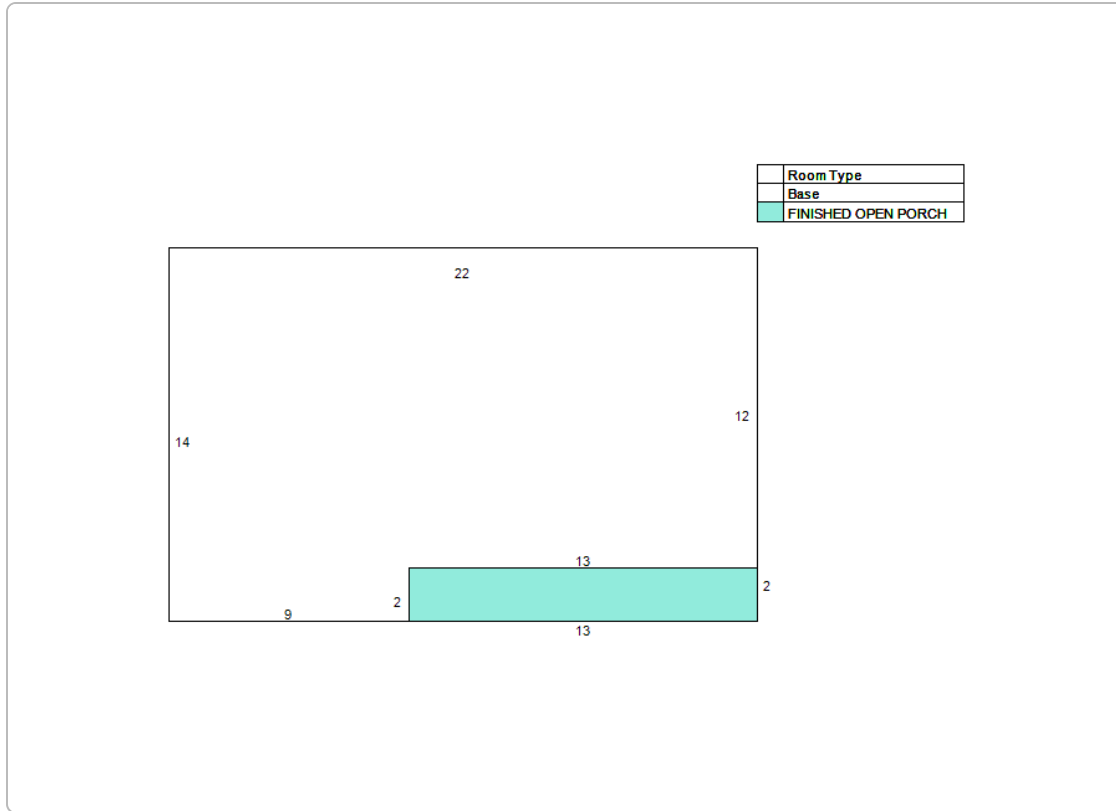
Description	Square Footage
ADDITION	77
FINISHED OPEN PORCH	224
BASE AREA	1361
FINISHED DECK	380
UNFINISHED GARAGE	300
FINISHED OPEN PORCH	20
Total SqFt	2362

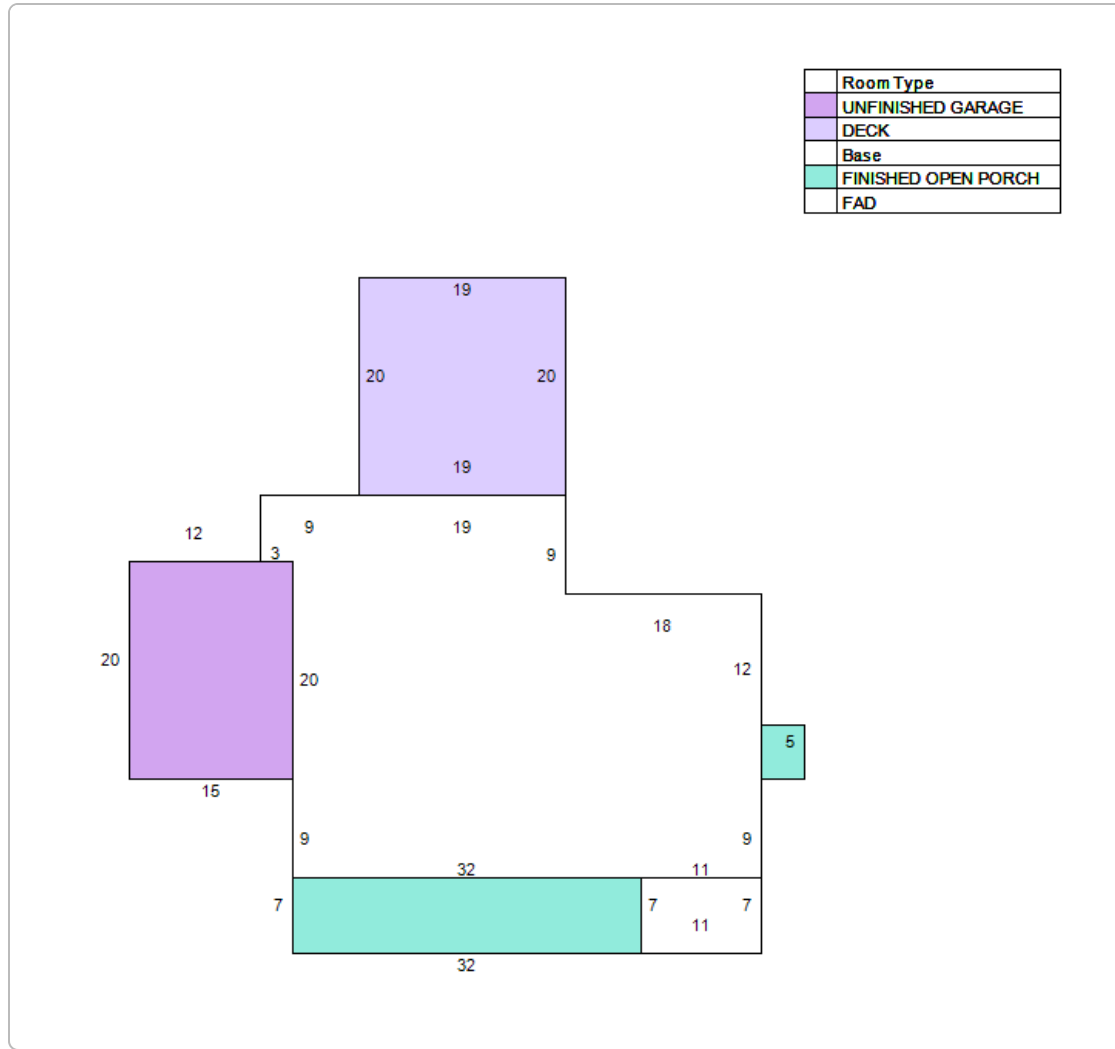
Building 2
Building Value \$24,208
Year Built 2004
Actual Area 308
Conditioned Area 282
Use Single Family Residence
Style 01
Exterior Wall Stucco

Roof Cover Composite Shingle
Roof Structure Gable Hip
Interior Flooring Ceramic Tile
Interior Wall Drywall
Heating Type Air Duct
Air Conditioning Central
Bedrooms 1
Baths 1

Description	Square Footage
BASE AREA	282
FINISHED OPEN PORCH	26
Total SqFt	308

Sketch Information





Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Single Family	70	125	70	EF	\$525,000
Single Family	100	0	100	FF	\$130,000

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
	4/11/1992	\$150,000.00	PERSONAL REP	937	1271	U	I	MEITIN MARTHA H ESTATE, MEITIN C DAVIES JR P/R	ROBERTS VINCENT PLYNNE S

No data available for the following modules: Sales Questionnaire Form, Extra Feature Information.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.
 | [User Privacy Policy](#) | [GDPR Privacy Notice](#)
 Last Data Upload: 9/9/2025, 3:01:03 AM

Contact Us



St. Johns County, FL

Apply for Exemptions

Apply for Exemptions

Homestead Compliance

This form is not a Homestead Exemption application. To apply online for homestead and related exemptions, please click [here](#).

Homestead Compliance

2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID 2138800000
 Location Address INLET DR
 SAINT AUGUSTINE 32080-0000
 Neighborhood Davis Shores (ICWFR) (590.05)
 Tax Description* 3-97 DAVIS SHORES LOTS 73 74 75 76 77 78 79 80 & 81 BLK 1
 OR293/477
 *The Description above is not to be used on legal documents.
 Property Use Municipally Owned (8900)
 Code
 Subdivision Davis Shores Ocean View Section
 Sec/Twp/Rng 17-7-30
 District City of St Augustine (District 452)
 Millage Rate 18.72
 Acreage 1.970
 Homestead N

[Click Here to Open Cyclomedia Viewer in a New Tab](#)



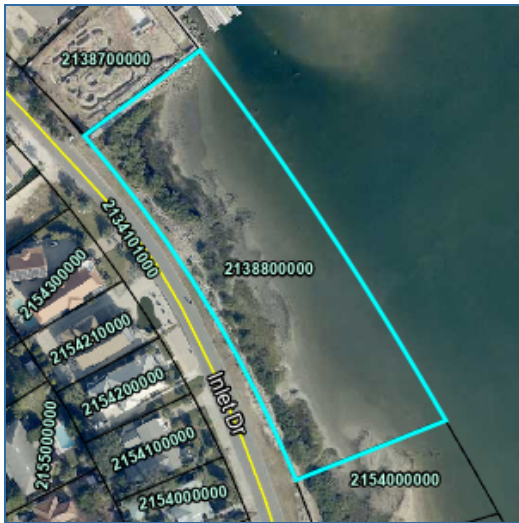
Owner Information

Owner Name [City Of St Augustine](#) 100%
 Mailing Address PO BOX 210
 SAINT AUGUSTINE, FL 32085-0210

Exemption Information

Exemption Type	Status	Amount
City		428250

Map



Valuation Information

Assessed Year	2025
Building Value	\$0.00
Extra Features Value	\$0.00
Total Land Value	\$585,000.00
Agricultural (Assessed) Value	\$0.00
Agricultural (Market) Value	\$0.00
Just Market	\$585,000.00
Total Deferred	\$156,750.00
Assessed Value	\$428,250.00
Total Exemptions	\$428,250.00
Taxable Value	\$0.00

Values listed are from our working tax roll and are subject to change. Exemption and taxable values shown reflect County-level assessment.

Historical Assessment Information

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value
2024	0	0	585000	0
2023	0	0	444375	0
2022	0	0	342720	0
2021	0	0	292500	0
2020	0	0	292500	0
2019	0	0	279000	0
2018	0	0	279000	0
2017	0	0	279000	0
2016	0	0	279000	0
2015	0	0	279000	0
2014	0	0	279000	0

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Municipally Owned	450	0	450	FF	\$585,000

No data available for the following modules: Sales Questionnaire Form, Building Information, Sketch Information, Extra Feature Information, Sale Information.

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[User Privacy Policy](#) | [GDPR Privacy Notice](#)
 Last Data Upload: 9/9/2025, 3:01:03 AM

Contact Us



Attachment 4:

Permit Plans



INLET DRIVE SHORELINE RESILIENCY DESIGN

FOR

CITY COMMISSION

CITY OF ST. AUGUSTINE



CITY OF ST. AUGUSTINE, FLORIDA

NANCY SIKES-KLINE - MAYOR
 BARBARA BLONDER - VICE MAYOR
 CYNTHIA GARRIS - COMMISSIONER
 JIM SPRINGFIELD - COMMISSIONER
 JOHN DePRETER - COMMISSIONER

STEPHEN SLAUGHTER, PE - DIRECTOR,
 UTILITIES & PUBLIC WORKS

JESSICA BEACH, PE - CITY CHIEF RESILIENCY OFFICER,
 DEPUTY DIRECTOR, PUBLIC WORKS & UTILITIES
 & CITY PROJECT MANAGER

PROJECT OWNER AND CONSULTANTS

OWNER: City of St. Augustine
 Ms. Jessica Beach, P.E.
 P. O. Box 210
 St. Augustine, FL 32085
 TEL: 904-209-4227

SURVEYOR: DRMP
 Terry M. Durden, P.L.S.
 2804 N. Fifth St., Unit 101
 St. Augustine, FL 32084
 TEL: (904) 824-3086

ENGINEER: Tocol Engineering
 a Baxter & Woodman Company
 James L. Pearce, P.E.
 405 Golfway West Drive, Suite 106
 St. Augustine, FL 32095
 TEL: 815-459-1260



LOCATION MAP
 N.T.S.



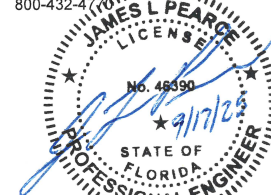
INDEX OF DRAWINGS

1	COVER SHEET
2A-2D	NOTES, QUANTITIES, & COSA DETAILS
3A-3D	EXISTING GROUND & DEMOLITION PLAN
4	CONSTRUCTION EASEMENTS
5A-5D	GEOMETRY & DRAINAGE PLANS
6A-6D	PAVING & DRAINAGE DETAILS
7A-7I	SECTION PROFILES & CROSS SECTIONS
8	UTILITY PLAN
9A-9B	SEAWALL DETAILS

B&W JOB NO: 2401975
 TE JOB NO: 23-660
 CLIENT CODE: STAUG



CALL BEFORE YOU DIG
 800-432-4777



JAMES L. PEARCE, P.E.
 FLA. REGISTERED ENGINEER, #46390

I CERTIFY THAT THIS DRAWING IS IN COMPLIANCE WITH THE STANDARDS
 ESTABLISHED IN SECTION 62B-33.0051(2)(C), FLORIDA ADMINISTRATIVE CODE.



405 GOLFWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32095
 TEL: 815-459-1260 E.B. NUMBER: 26383

September 16, 2025

CITY OF ST. AUGUSTINE REQUIRED NOTES:

SUBMITTAL OF AS-BUILT SITE SURVEY, INCLUDING BENCHMARKS IS REQUIRED IN COMPLIANCE WITH THE ST. AUGUSTINE LAND DEVELOPMENT CODE, (AS-BUILTS) OF THE DEVELOPMENT REVIEW MANUAL, PRIOR TO SCHEDULING A FINAL INSPECTION OF THE WORK.

CITY OF ST. AUGUSTINE DEVELOPMENT REVIEW INSPECTOR SHALL BE CONTACTED 24 HOURS PRIOR TO ALL NECESSARY SITE WORK INSPECTIONS AND 5 DAYS PRIOR TO THE FINAL INSPECTION.

GENERAL NOTES:

1. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY DRMP, 2804 N. FIFTH ST., UNIT 101, ST. AUGUSTINE, FL 32084, (904) 824-3086.

2. TOCOI ENGINEERING AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.

3. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE CITY OF ST. AUGUSTINE SITE WORK SPECIFICATIONS.

4. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

5. WARRANTY / DISCLAIMER THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS. NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

6. FOR BOUNDARY, ROADWAY AND BUILDING GEOMETRY INFORMATION SEE ENGINEERING SITE PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BUILDING DIMENSIONS SHOWN ON THE ENGINEERING PLAN AGREES WITH THE DIMENSIONS SHOWN ON THE ARCHITECTURAL PLAN. IF ANY DIMENSIONS DO NOT AGREE, THE ARCHITECT, ENGINEER AND OWNER SHALL BE NOTIFIED AND THE DIMENSIONS ADJUSTED PRIOR TO COMMENCING WITH CONSTRUCTION.

7. ALL CONSTRUCTION IN THE CITY OF ST. AUGUSTINE RIGHT-OF-WAY SHALL BE COORDINATED WITH THE PUBLIC WORKS DEPARTMENT. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION FOR VERIFICATION AND LOCATION OF ALL UTILITIES.

8. CONTRACTOR SHALL FURNISH SHOP DRAWINGS TO ENGINEER INDICATING MATERIALS AND MANNER OF INSTALLATION FOR ALL COMPONENTS OF THE PROJECT PRIOR TO PURCHASE OF MATERIALS AND CONSTRUCTION.

9. THESE ENGINEERING DRAWINGS MAY NOT SHOW ALL OF THE CITY OF ST. AUGUSTINE STANDARD DETAILS REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY THAT THE CONSTRUCTION, OUTSIDE THE U.S. 1 ROW, BE IN ACCORDANCE WITH ALL CURRENT CITY OF ST. AUGUSTINE STANDARD DETAILS AND SPECIFICATIONS. THE CONTRACTOR MAY OBTAIN A COPY OF THE CITY OF ST. AUGUSTINE, FLORIDA STANDARD DETAILS AND SPECIFICATIONS FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO BEGINNING CONSTRUCTION.

10. ALL CONTRACTORS SHALL FURNISH CERTIFIED "AS-BUILTS", SEE AS-BUILT REQUIREMENTS ON THIS SHEET.

11. CONTRACTOR SHALL VERIFY AND PROTECT ALL EXISTING TREES AND NATURAL VEGETATION THAT ARE TO REMAIN UNDISTURBED. THE AREAS INDICATED FOR CONSTRUCTION SHALL BE CLEARED AND GRUBBED TO REMOVE ALL ROOTS AND MISCELLANEOUS VEGETATION EXCEPT SPECIFIC TREES THAT SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION WITH THE USE OF TREE BARRIERS. TREES TO BE PRESERVED ARE FLAGGED, CONTRACTOR SHALL VERIFY BEFORE THE START OF CONSTRUCTION.

12. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF OSHA SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY INJURIES OF HIS EMPLOYEES, AND ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COSTS ASSOCIATED WITH COMPLYING WITH OSHA REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE INCLUDED IN THE CONTRACTORS BID.

13. ALL IMPROVEMENTS SHOWN ARE TO BE WARRANTED BY THE CONTRACTOR TO THE DEVELOPER FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. IF THE WORK IS IN THE CITY RIGHT-OF-WAY OR EASEMENT, THE CONTRACTOR'S ONE YEAR WARRANTY SHALL EXTEND TO THE CITY OF ST. AUGUSTINE.

14. THE CONTRACTOR WILL CONTRACT WITH AN INDEPENDENT TESTING LABORATORY TO PERFORM MATERIAL TESTING AND SOIL TESTING IN ACCORDANCE WITH THE CITY REQUIREMENT AND THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT. THIS SHALL INCLUDE DENSITY TESTING IN ALL PAVEMENT AREAS AND BUILDING PADS AND IN THE UTILITY TRENCHES LOCATED IN PAVEMENT AREAS, CONCRETE TESTING AND ALL OTHER MATERIAL TESTING. PRIOR TO LIMEROCK PLACEMENT, THE PROJECT GEOTECHNICAL ENGINEER SHALL MAKE RECOMMENDATIONS FOR UNDERDRAIN PLACEMENT.

15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE REQUIRED FOR THE PROJECT, INCL. THE CITY OF ST. AUGUSTINE RIGHT-OF-WAY PERMITS FOR WORK IN THE COUNTY RIGHT-OF-WAY OR EASEMENT.

16. THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN COUNTY OR STATE RIGHT-OF-WAY WITH THE PROPER AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION AND REPAIR.

17. THE CONTRACTOR SHALL PROVIDE NO LESS THAN A 6 INCH CLEARANCE BETWEEN ALL UTILITIES OTHER THAN WATER MAINS, WHICH SHALL . BE TO COUNTY HEALTH DEPARTMENT PERMIT CONDITIONS.

18. THESE PLANS DO NOT STAND BY THEMSELVES. BID DOCUMENTS, THE CITY UD WATER AND SEWER STANDARDS DETAILS & MATERIALS, SIC STANDARD SPECIFICATIONS & DETAILS AND ANY OTHER STANDARDS, LISTED OR REFERENCES, ARE INCLUDED IN THE PROJECT DOCUMENTS.

GRADING AND DRAINAGE NOTES:

1. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS AT CONNECTION POINTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

2. SEE GEOTECHNICAL REPORT FOR SITE PREPARATION REQUIREMENTS.

3. THE CONTRACTOR SHALL COORDINATE THE GRADING AND DRAINAGE CONSTRUCTION WITH ALL OTHER CONSTRUCTION.

4. CONTRACTOR SHALL FURNISH SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO BEGINNING CONSTRUCTION.

5. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM WITH ALL CITY OF ST. AUGUSTINE STANDARDS.

6. THE CONTRACTOR SHALL STAKE THE STORM SEWER SYSTEM AND THE SANITARY SEWER SYSTEM AND SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS PRIOR TO INSTALLATION OF ANY PIPE.

7. THE EXISTING UTILITY FACILITIES AND LOCATIONS SHOWN ON THE DRAWINGS ARE TAKEN FROM READILY AVAILABLE INFORMATION; THE ACTUAL LOCATIONS OF THE UTILITY FACILITIES MAY VARY SOMEWHAT FROM THE LOCATIONS SHOWN AND THERE MAY BE UTILITY FACILITIES EXISTING THAT ARE NOT SHOWN OR INDICATED ON THE DRAWINGS. THE SITE UTILITY CONTRACTOR SHALL CONTACT ALL AGENCIES WITH UTILITY FACILITIES IN THE VICINITY OF THE WORK AND SHALL LOCATE ALL UNDERGROUND FACILITIES BEFORE BEGINNING WORK. THE CONTRACTOR SHALL PROTECT ALL UTILITY FACILITIES AND REPAIR ANY DAMAGES RESULTING FROM THEIR WORK. IN CONFORMANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS AND RELOCATE IF REQUIRED AT NO COST TO THE OWNER.

8. ALL UNDERGROUND UTILITIES SHALL BE INSTALLED PRIOR TO PREPARATION OF SUBGRADE FOR PAVEMENT.

9. IF ANY UNSUITABLE MATERIAL IS ENCOUNTERED THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUB-BASE, LIMEROCK AND CONCRETE TESTING AS REQUIRED BY THE PROJECT SPECIFICATIONS.

11. SLOPES OF NEW POND SHALL BE SODDED TO ONE FOOT (VERTICAL) BELOW NORMAL WATER LINE. ONE ROW OF SOD SHALL BE INSTALLED ALONG ALL EDGES OF PAVEMENT AT A MINIMUM. ALL DISTURBED AREAS WHICH ARE NOT SODDED SHALL RECEIVE GRASS SEED, FERTILIZER AND MULCH. SEE LANDSCAPE PLANS FOR OTHER REQUIREMENTS. LANDSCAPE PLANS HAVE PRIORITY OVER THIS NOTE.

12. STORMWATER COLLECTION SYSTEM DESIGN IS BASED ON THE 5-YEAR RETURN FREQUENCY STORM (SCS METHOD). STORMWATER DETENTION POND HAS BEEN DESIGNED TO ATTENUATE PEAK FLOWS FROM THE 100-YEAR CRITICAL RETURN FREQUENCY STORM. (SCS METHOD).

13. ALL RCP PIPE SHALL MEET THE REQUIREMENTS OF ASTM C-76 AND SHALL BE CLASS III, WALL B.

14. ALL PIPE LENGTHS ARE APPROXIMATE AND MEASURED TO THE CENTER OF STRUCTURE OR MITERED END SECTION. ACTUAL LENGTHS MAY VARY.

15. CONTRACTOR SHALL LIMIT EXCAVATION TO NO MORE THAN 6" IN PAVED AREAS AND 12" IN THE POND AREA.

16. DO NOT SCALE THESE DRAWINGS. USE DIMENSIONS ONLY.

17. A QUALIFIED SOILS LABORATORY SHALL BE ON SITE DURING EXCAVATING TO DETERMINE THE SUITABILITY OF THE EXISTING SUB-GRADE AND EXISTING ON-SITE MATERIAL PRIOR TO BEGINNING ANY FILLING OPERATION.

18. GRADING CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING, OR BY OTHER METHODS AS DIRECTED BY ENGINEER AND/OR OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.

19. CONTRACTOR TO COORDINATE ALL WORK WITH OTHER UTILITY INSTALLATIONS NOT COVERED IN THESE PLANS (ELECTRIC, TELEPHONE, GAS, CABLE, ETC) AND ALLOW FOR THEIR OPERATIONS AND CONSTRUCTION TO BE PERFORMED.

20. CUT AND FILL SLOPES ARE NOT TO EXCEED 4:1 UNLESS OTHERWISE NOTED.

21. CONTRACTOR SHALL REPAIR OR REPLACE IN-KIND ANY DAMAGE THAT OCCURS AS RESULT OF HIS WORK.

22. ALL SOILS TEST REPORTS TO BE SUBMITTED TO PROJECT ENGINEER.

23. THE CONTRACTOR SHALL COORDINATE CONNECTION WITH SITE PIPING AND BUILDING PIPING.

24. ALL AREAS SHOWN TO BE FILLED SHALL BE CLEARED AND GRUBBED IN ACCORDANCE WITH CITY STANDARDS AND SHALL BE FILLED WITH CLEAN STRUCTURAL FILL COMPACTED AND TESTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.

25. ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR.

26. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED AND PRESERVED.

27. BURNING SHALL NOT BE PERMITTED.

28. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER AND THE CITY, IF REQUIRED, ON ALL MATERIALS, FOR REVIEW AND APPROVAL, PRIOR TO PURCHASE OR FABRICATION OF ANY UTILITY PIPE OR STRUCTURE.

29. ALL PIPE LENGTHS ARE SCALED DIMENSIONS. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO CONFORM TO CITY REQUIREMENTS AND SHALL BE CONSTRUCTED TO CONFORM TO CURBING, PROPERTY LINES AND LOW POINTS AS SHOWN ON PLANS.

30. CONTRACTOR SHALL ENSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEAN AND FUNCTIONING PROPERLY AT TIME OF ACCEPTANCE.

31. ALL DRAINAGE PIPE JOINTS IN CITY DRAINAGE EASEMENTS AND DRAINAGE RIGHT-OF-WAYS ARE TO BE FILTER-WRAPPED.

32. ALL INVERTS IN DRAINAGE STRUCTURES TO BE PRECAST OR BRICK WITH LAYER OF MORTAR BETWEEN EACH LAYER OF BRICK, OR REDDI-MIX CONCRETE WITH #57 STONE.

33. THE CONTRACTOR SHALL RESTORE ALL CULVERTS, HEADWALLS AND STORM DRAIN INLETS REMOVED OR DISTURBED BY THE CONSTRUCTION OPERATION. THE COST OF THESE ITEMS SHALL BE INCLUDED IN THE PRICE BID FOR FURNISHING AND INSTALLING ANY NEW ITEM CAUSING SUCH DAMAGE.

34. CORRUGATED POLYETHYLENE PIPE (CPP), SHALL BE PER AASHTO M252 OR 294 WITH SMOOTH INNER LINING TYPE S WITH BELL AND SPIGOT, SILT-TIGHT, RUBBER-GASKETED JOINTS.

AS-BUILT REQUIREMENTS

CONTRACTOR SHALL PROVIDE COMPLETE AS-BUILT INFORMATION TO THE PROJECT ENGINEER IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS: AS-BUILT DRAWINGS SHALL BE PREPARED IN AUTOCAD FORMAT BY A REGISTERED LAND SURVEYOR.

1. ONE SET OF SIGNED MYLARS AND A SET OF COMPUTER DISKS OF THE PROJECT SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. SIGNED AND SEALED PRINTS SHALL BE PROVIDED TO THE ENGINEER AS REQUESTED.

2. AS-BUILT DRAWINGS SHALL BE IN ACCORDANCE WITH ALL AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL COORDINATE AS-BUILT SUBMITTALS AND APPROVALS WITH JURISDICTIONAL AGENCIES UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER.

3. PROVIDE BUILDING LOCATIONS, FINISH FLOOR ELEVATIONS, PAVEMENT GRADES AND ALL UNDERGROUND FACILITIES.

4. PROVIDE PERIMETER DIMENSIONS AT TOP OF BANK AND AT BOTTOM OF POND.

5. PROVIDE ELEVATIONS AT TOP OF BANK AND BOTTOM OF POND.

6. PROVIDE SPECIAL DETAIL DRAWINGS WHERE INSTALLATIONS WERE NOT AS SHOWN ON CONTRACT DRAWINGS DUE TO FIELD CONDITIONS OR WHERE REQUIRED FOR CLARITY.

7. PROVIDE LOCATION, ELEVATION AND DESCRIPTION OF BENCHMARK(S).

8. LOCATE AND PROVIDE ELEVATIONS OF ALL STRUCTURES. LOCATION OF ALL STRUCTURES SHALL BE FROM TWO (2) DIRECTIONS.

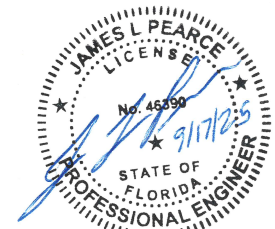
9. LOCATE ALL PIPES AND PROVIDE SIZE, ELEVATION, INVERT ELEVATIONS, LENGTH AND TYPE.

10. PROVIDE DIMENSIONS AND ELEVATIONS OF THE POND OUTFALL STRUCTURE(S).

11. WATER AS-BUILTS SHALL INDICATE THE LOCATION OF BACTERIOLOGICAL SAMPLE POINTS. SAMPLE POINTS SHALL BE INDICATED IN RED OR PINK.

12. THE AS-BUILTS SHALL INCLUDE A DETAIL OF EVERY CROSSING OF THE NEW WATER MAIN WITH GRAVITY SEWERS, FORCE MAINS AND STORM PIPES CLEARLY SHOWN & INDICATING THE VERTICAL CLEARANCES AT EACH CROSSING. DETAILS SHALL BE FURNISHED FOR PARALLEL RUNS WHERE THE HORIZONTAL SEPARATION IS LESS THAN 10 FEET.

13. THE CENTERING OF UNCUIT LENGTHS OF PIPE AT POINTS OF CROSSING SHALL BE DOCUMENTED ON THE AS-BUILTS AND ALL MITIGATING CONSTRUCTION MEASURES CLEARLY DEPICTED IN CASES WHERE A MINIMUM OF 18" OF VERTICAL CLEARANCE BETWEEN THE WATER AND SEWER (INCLUDING STORAGE) LINES IS NOT POSSIBLE.



Vertical title block containing: Tocol Engineering, a BAXTER WOODMAN company, ENGINEER OF RECORD FOR JAMES L. PEARCE, FLORIDA REGISTRATION NUMBER: 46390, INLET DRIVE SHORELINE RESILIENCY DESIGN, CITY OF ST. AUGUSTINE, GENERAL NOTES.

Table with 2 columns: REVISION, and a list of revision entries with dates and descriptions.

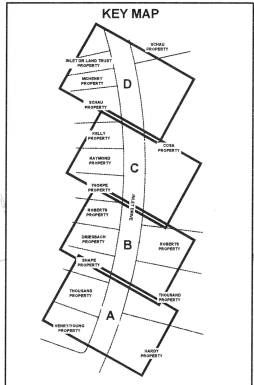
PLOT DATE: 9/16/25, DRAWN BY: -, DESIGNED BY: -, CHECKED BY: -, CLIENT CODE: -, JOB NO.: -

SHEET NO. 2A

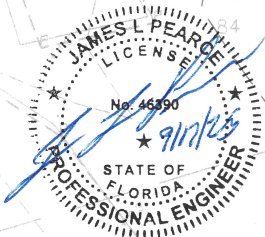
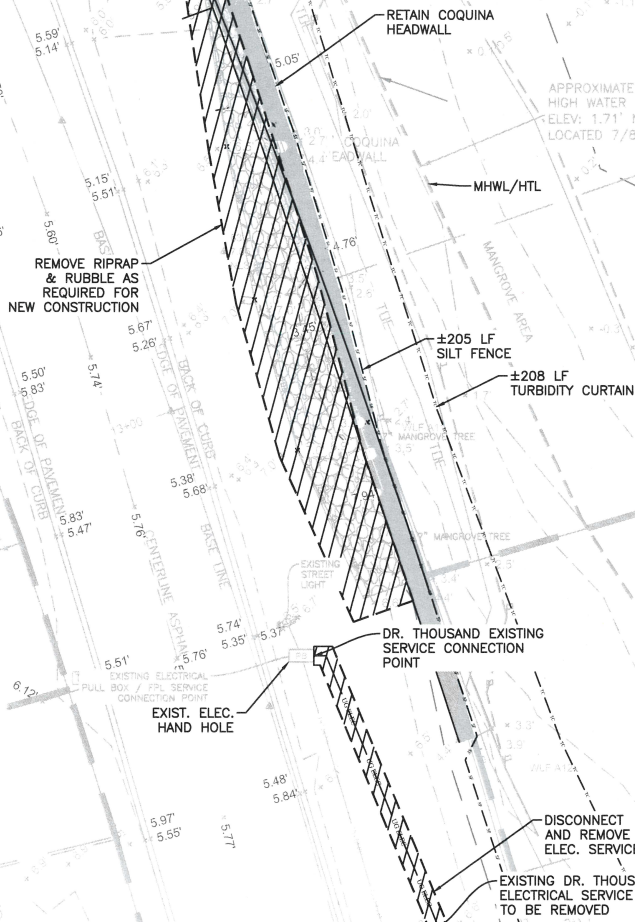
MATCHLINE "C"
MATCHLINE "B"

LEGEND

- ITEMS TO BE REMOVED UNLESS OTHERWISE NOTED
- SF SILT FENCE
- TC TURBIDITY CURTAIN



MATCHLINE "B"
MATCHLINE "A"



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SCALE: 1" = 10'
SCALE: 1" = 20'
FOR: 22"x34" SHEET
FOR: 11"x17" SHEET

Date: 9/18/25 Time: 9:50 AM DWG Name: P:\STAG\2401975-Inlet Drive Shoreline Resiliency D\00-Multiple Work Types\03-CADD\03_23-860 MASTER PLAN 09.18.25.dwg Layout: 3B-EXIST All documents and materials supplementing the signed and sealed documents are resources provided for clarification purposes only and do not supersede the signed and sealed documents. Engineer is not responsible for any deviations from the signed and sealed documents.

TCOOL Engineering
a **BAKTER WOODMAN** company
405 GOLFWAY WEST DRIVE, SUITE 108, ST. AUGUSTINE, FL 32095
TEL: 914-454-1200
E.B. NUMBER: 26383

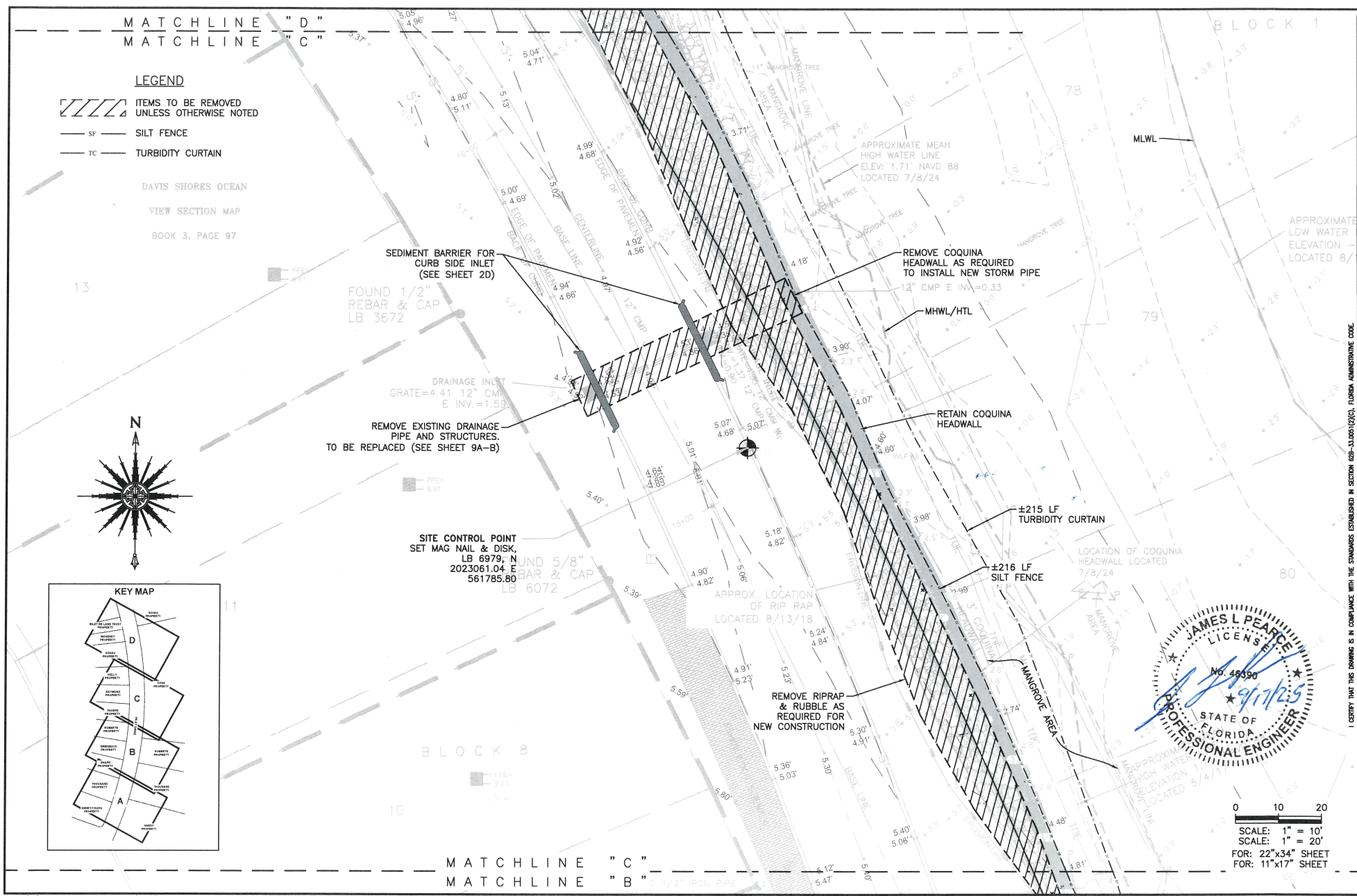
ENGINEER OF RECORD
JAMES L. PEARCE
FLORIDA
REGISTRATION NUMBER: 46390

INLET DRIVE SHORELINE RESILIENCY DESIGN
FOR
CITY OF ST. AUGUSTINE
EXISTING SURVEY & DEMOLITION PLAN

REVISIONS

PLOT DATE: 9/18/25
DRAWN BY: -
DESIGNED BY: -
CHECKED BY: -
CLIENT CODE: -
JOB NO.: -

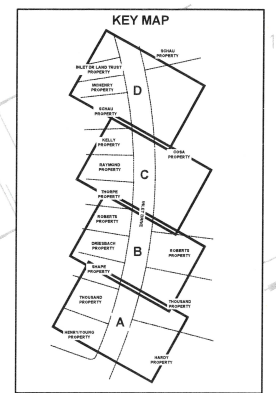
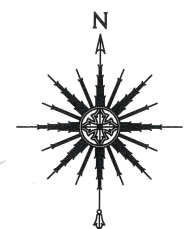
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3B



LEGEND




- ITEMS TO BE REMOVED UNLESS OTHERWISE NOTED
- SILT FENCE
- TURBIDITY CURTAIN

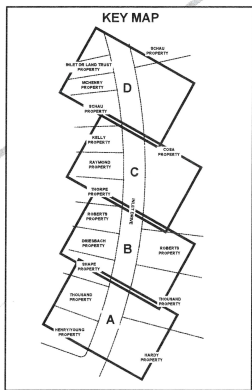
DAVIS SHORES OCEAN
 VIEW SECTION MAP
 BOOK 3, PAGE 97



0 10 20
 SCALE: 1" = 10'
 SCALE: 1" = 20'
 FOR: 22"x34" SHEET
 FOR: 11"x17" SHEET

LEGEND

-  ITEMS TO BE REMOVED UNLESS OTHERWISE NOTED
-  SF SILT FENCE
-  TC TURBIDITY CURTAIN



REMOVE DECKING & PRESERVE FOR REINSTALLATION ONLY AS REQUIRED FOR CONSTRUCTION

REMOVE COQUINA HEADWALL AS REQUIRED FOR NEW CONSTRUCTION

APPROXIMATE MEAN HIGH WATER LINE
ELEV: 1.71 NAVD 88
LOCATED 7/8/24

MHWL/HTL

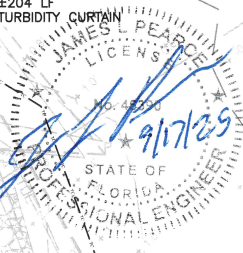
±204 LF SILT FENCE

LOCATION OF COQUINA HEADWALL
LOCATED 7/8/24

RETAIN EXISTING COQUINA HEADWALL

±204 LF TURBIDITY CURTAIN

REMOVE RIPRAP & RUBBLE AS REQUIRED FOR NEW CONSTRUCTION

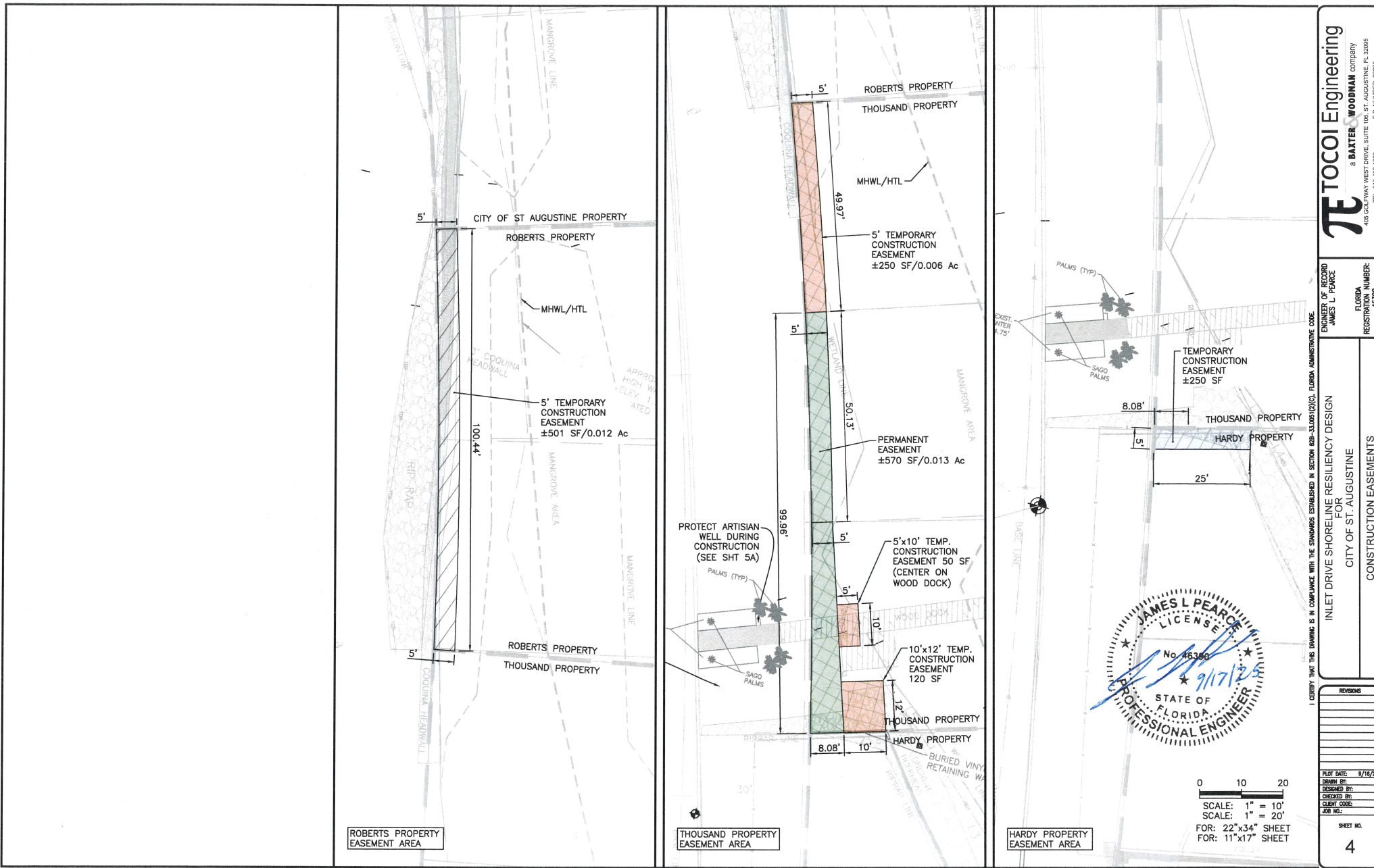


0 10 20
SCALE: 1" = 10'
SCALE: 1" = 20'
FOR: 22"x34" SHEET
FOR: 11"x17" SHEET

MATCHLINE "D"
MATCHLINE "C"

REVISIONS

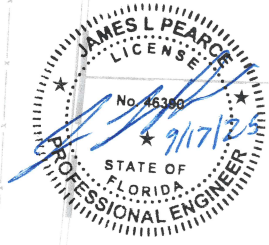
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ROBERTS PROPERTY EASEMENT AREA

THOUSAND PROPERTY EASEMENT AREA

HARDY PROPERTY EASEMENT AREA



0 10 20
SCALE: 1" = 10'
SCALE: 1" = 20'
FOR: 22"x34" SHEET
FOR: 11"x17" SHEET

TETOCO Engineering
a BAXTER WOODMAN Company
405 GOLFWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32086
TEL: 815-454-1260 E.B. NUMBER: 26383

ENGINEER OF RECORD
JAMES L. PEARCE
FLORIDA REGISTRATION NUMBER: 48390

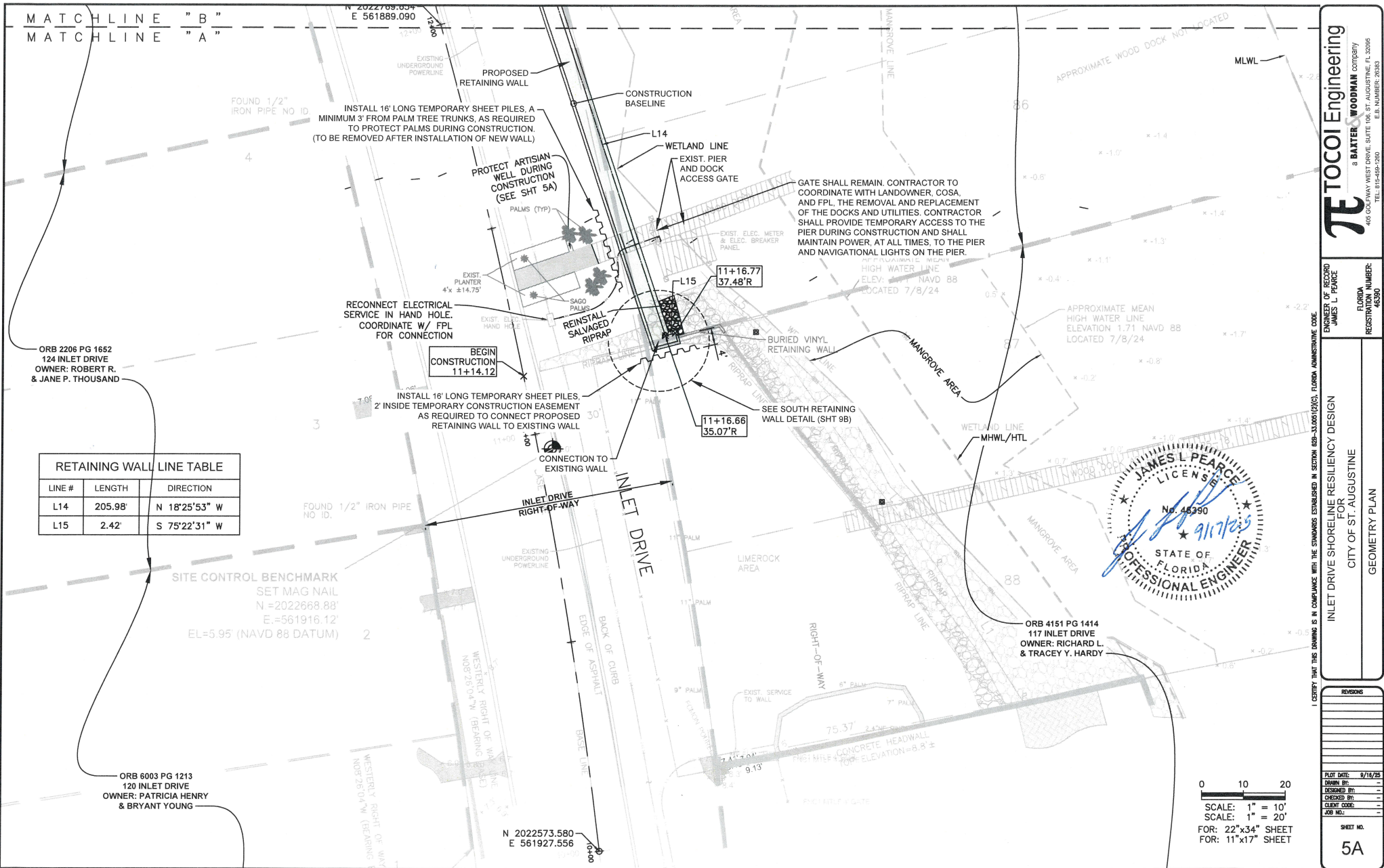
INLET DRIVE SHORELINE RESILIENCY DESIGN
FOR
CITY OF ST. AUGUSTINE
CONSTRUCTION EASEMENTS

I CERTIFY THAT THIS DRAWING IS IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 626-3.00(1)(2)(C), FLORIDA ADMINISTRATIVE CODE.

NO.	REVISIONS

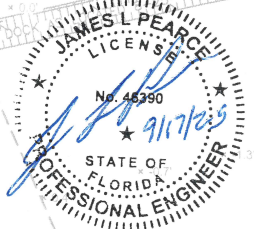
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DRAWN BY: --
CHECKED BY: --
CLIENT CODE: --
JOB NO.: --

SHEET NO.
4



RETAINING WALL LINE TABLE

LINE #	LENGTH	DIRECTION
L14	205.98'	N 18°25'53" W
L15	2.42'	S 75°22'31" W



0 10 20
 SCALE: 1" = 10'
 SCALE: 1" = 20'
 FOR: 22"x34" SHEET
 FOR: 11"x17" SHEET

TCOOL Engineering
 a BAXTER & WOODMAN company
 405 GOLFWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32096
 TEL: 815-458-1290 E.B. NUMBER: 26983

ENGINEER OF RECORD
 JAMES L. PEARCE
 FLORIDA
 REGISTRATION NUMBER:
 46390

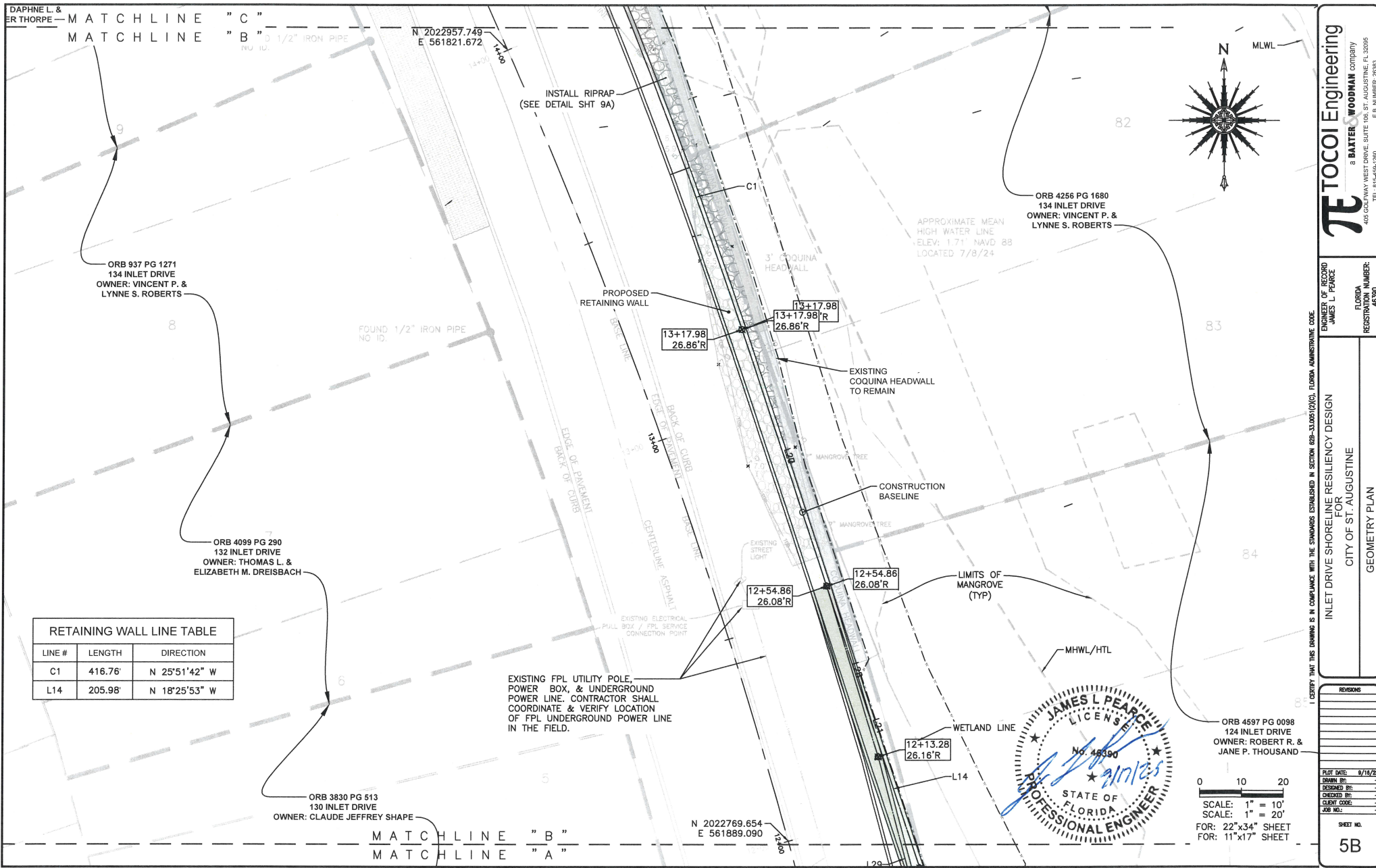
INLET DRIVE SHORELINE RESILIENCY DESIGN
 FOR
 CITY OF ST. AUGUSTINE
 GEOMETRY PLAN

REVISIONS

DATE: 9/16/25
 DRAWN BY:
 DESIGNED BY:
 CHECKED BY:
 CLIENT CODE:
 JOB NO.:

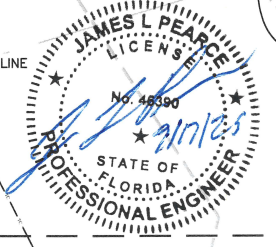
SHEET NO.
5A

Date: 9/16/25 Time: 9:50 AM DWG Name: P:\STAUG\2401975-Inlet Drive Shoreline Resiliency D\00-Multiple Work Types\03-CADD\03_23-860 MASTER PLAN 08.16.25.dwg Layout: 5A-GEOM All documents and materials supplementing the signed and sealed documents are resources provided for clarification purposes only and do not supersede the signed and sealed documents. Engineer is not responsible for any deviations from the signed and sealed documents.



RETAINING WALL LINE TABLE

LINE #	LENGTH	DIRECTION
C1	416.76'	N 25°51'42" W
L14	205.98'	N 18°25'53" W



0 10 20
SCALE: 1" = 10'
SCALE: 1" = 20'
FOR: 22"x34" SHEET
FOR: 11"x17" SHEET

TE TOCOI Engineering
a BAUTER & WOODMAN company
405 GOLFWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32095
TEL: 813-486-2900
E.B. NUMBER: 28931

ENGINEER OF RECORD
JAMES L. PEARCE
FLORIDA
REGISTRATION NUMBER:
46390

INLET DRIVE SHORELINE RESILIENCY DESIGN
FOR
CITY OF ST. AUGUSTINE
GEOMETRY PLAN

REVISIONS

DATE: 9/16/25
DRAWN BY: []
CHECKED BY: []
CLIENT: []
JOB NO.: []

SHEET NO.
5B

MATCHLINE "D"
MATCHLINE "C"

STRUCTURE TABLE					
NAME	TYPE	LOCATION	RIM/TOP	IN DATA	OUT DATA
S-1	CURB INLET	15+36.64 -9.96' L	4.40		INV OUT: 2.25 (P-1)
S-2	CURB INLET	15+34.45 15.92' R	4.40	INV IN: 2.15 (P-1)	INV OUT: 2.15 (P-2)
S-3	CHECK VALVE	15+32.28 41.70' R	3.44	INV IN: 2.05 (P-2)	

NOTE: STATIONING IS BASED OFF SURVEY BASELINE

PIPE DATA TABLE			
NAME	SIZE	LENGTH	SLOPE
P-1	14"x23" RCP	25.97'	0.39%
P-2	14"x23" RCP	25.88'	0.39%

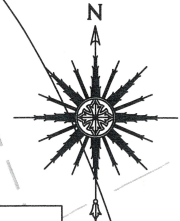
RETAINING WALL CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CH LENGTH	CH DIRECTION
C1	416.76'	1300.00'	18°22'05"	414.98'	N 27°36'55" W

ORB 3310 PG 1614
142 INLET DRIVE
OWNER: MARY BETH KELLY

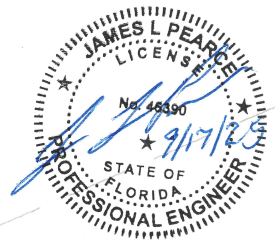
ORB 3374 PG 1195
140 INLET DRIVE
OWNER: REV WILFRED E RAYMOND SR

ORB 1142 PG 32
134 INLET DRIVE
OWNER: DAPHNE L &
FOSTER THORPE

SITE CONTROL POINT
SET MAG NAIL & DISK,
LB 6979, N
2023061.04 E
561785.80



ORB INLET DRIVE
OWNER: CITY OF ST. AUGUSTINE



0 10 20
SCALE: 1" = 10'
SCALE: 1" = 20'
FOR: 22"x34" SHEET
FOR: 11"x17" SHEET

TCOOL Engineering
a BAXTER & WOODMAN company
405 GULFWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32085
TEL: 813-498-1290
E.B. NUMBER: 26383

ENGINEER OF RECORD
JAMES L. PEARCE
FLORIDA
REGISTRATION NUMBER:
48490

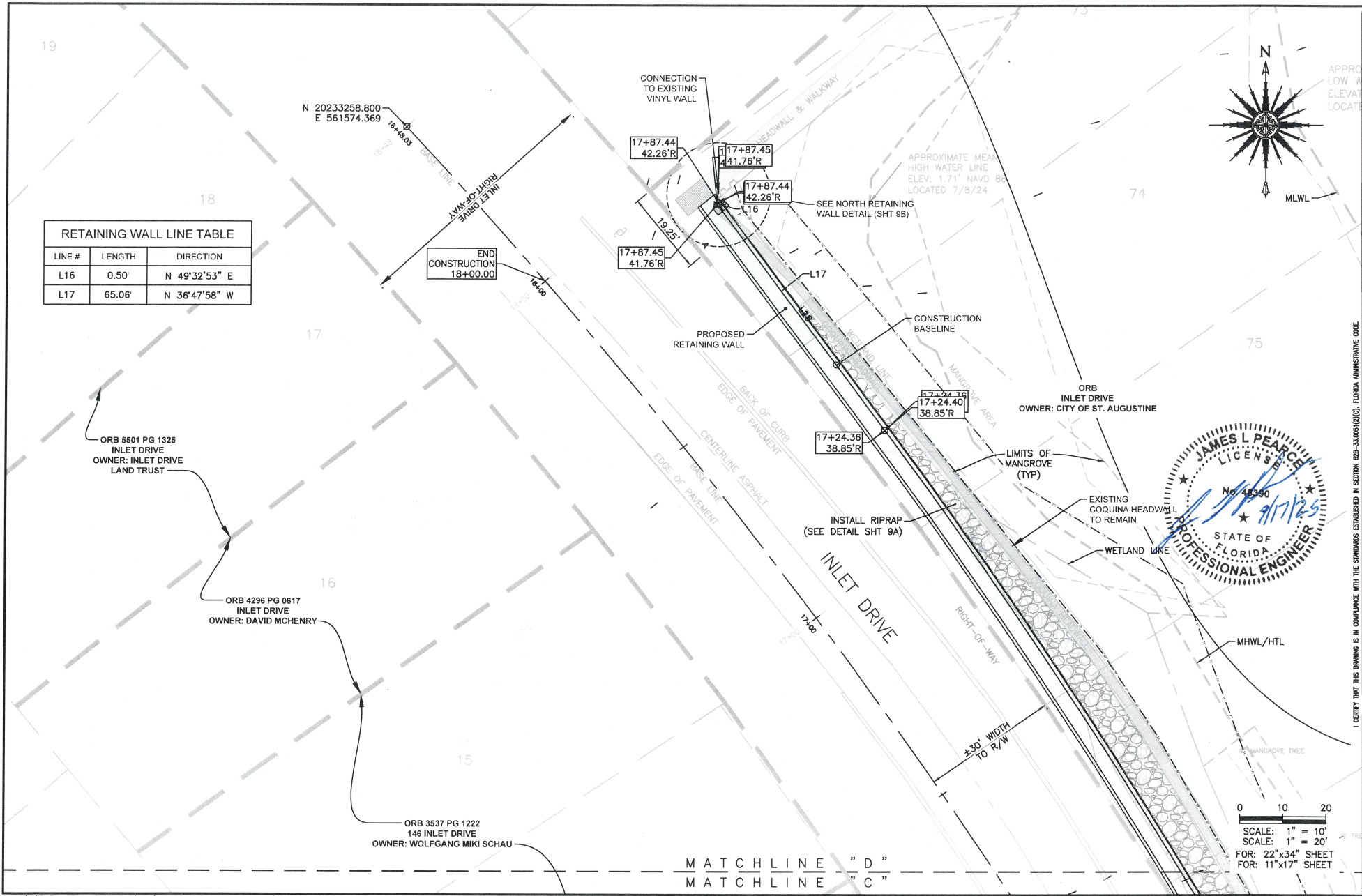
INLET DRIVE SHORELINE RESILIENCY DESIGN
FOR
CITY OF ST. AUGUSTINE
GEOMETRY & DRAINAGE PLAN

REVISIONS

PLLOT DATE: 9/15/25
DESIGNED BY: -
CHECKED BY: -
CLIENT CODE: -
JOB NO.: -

SHEET NO.
5C

RETAINING WALL LINE TABLE		
LINE #	LENGTH	DIRECTION
L16	0.50'	N 49°32'53" E
L17	65.06'	N 36°47'58" W



TOCOI Engineering
 a BAXTER WOODMAN company
 405 GOLFWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32095
 TEL: 815-458-1260 E.B. NUMBER: 2630

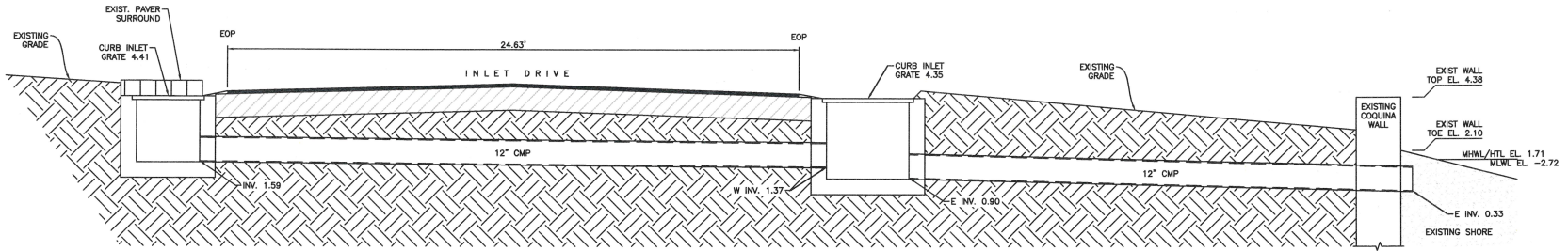
ENGINEER OF RECORD
 JAMES L. PEARCE
 FLORIDA
 REGISTRATION NUMBER:
 48390

INLET DRIVE SHORELINE RESILIENCY DESIGN
 FOR
 CITY OF ST. AUGUSTINE
 GEOMETRY PLAN

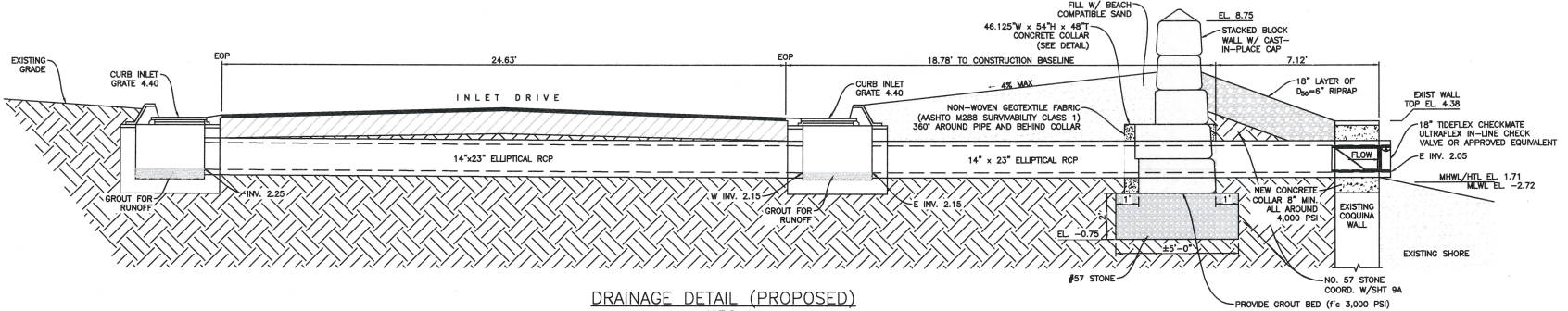
REVISIONS	

PLAT DATE: 9/16/25
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 DESIGNED BY: -
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 JOB NO.: -

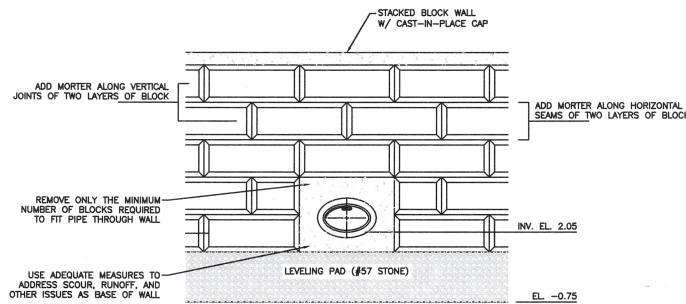
SHEET NO.
5D



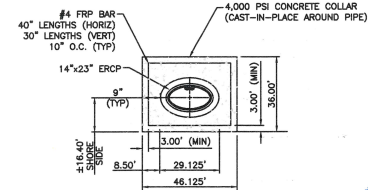
DRAINAGE DETAIL (EXISTING)
N.T.S.



DRAINAGE DETAIL (PROPOSED)
N.T.S.



CONCRETE COLLAR (FRONT)
N.T.S.



CONCRETE COLLAR DETAIL
N.T.S.

NOTE:

CONTRACTOR SHALL PROVIDE SHOP DRAWING OF PIPE THROUGH REIN-ROCK GRAVITY WALL.

REMOVE ONLY THE MINIMUM NUMBER OF BLOCKS REQUIRED TO FIT PIPE THROUGH WALL.

USE ADEQUATE MEASURES TO ADDRESS SCOUR, RUNOFF, AND OTHER ISSUES AS BASE OF WALL.

TOTOCOI Engineering
a BAXTER WOODMAN company
405 COLFWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32085
TEL: 813-499-1900 E.B. NUMBER: 46390

ENGINEER OF RECORD
JAMES L. PEARCE
FLORIDA
REGISTRATION NUMBER:
46390

CITY OF ST. AUGUSTINE
PAVING & DRAINAGE DETAILS

I CERTIFY THAT THIS DRAWING IS IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 69B-33.005(12)(C), FLORIDA ADMINISTRATIVE CODE.

REVISIONS

NO.	DESCRIPTION

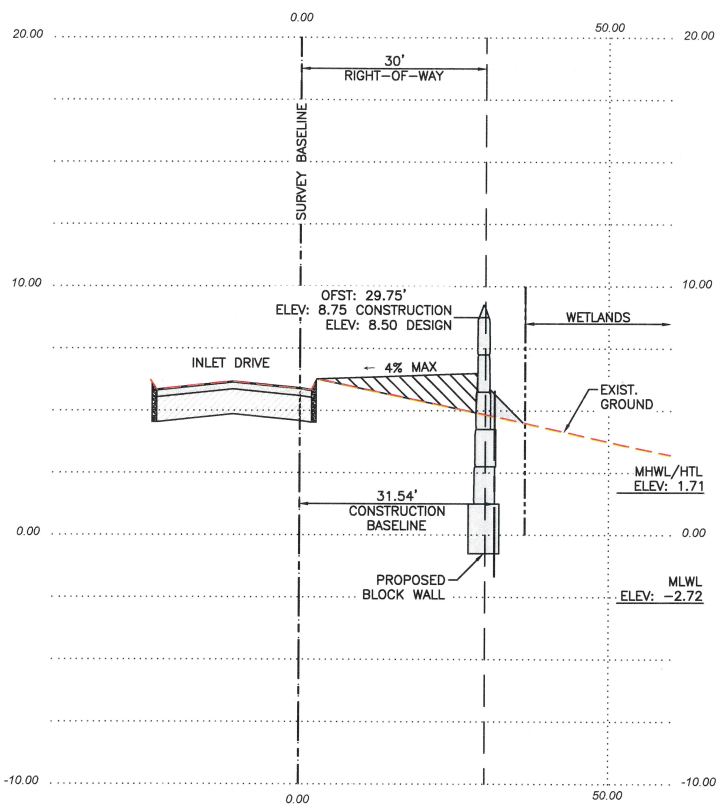
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SHEET NO.
6D

REVISIONS

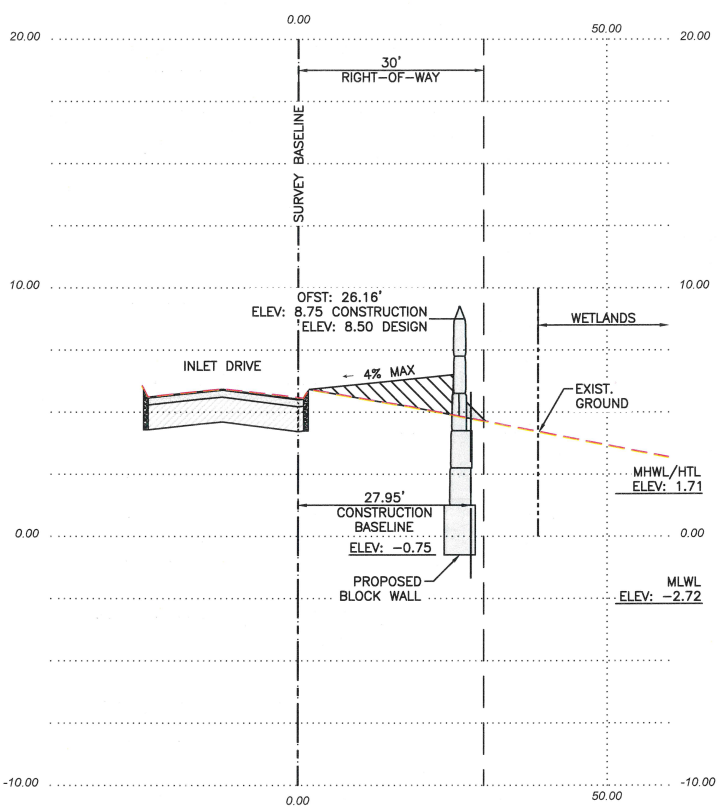
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CHECKED BY:	-
CLIENT CODE:	-
JOB NO.:	-

SHEET NO.
7A

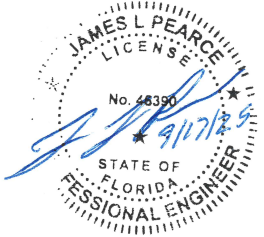


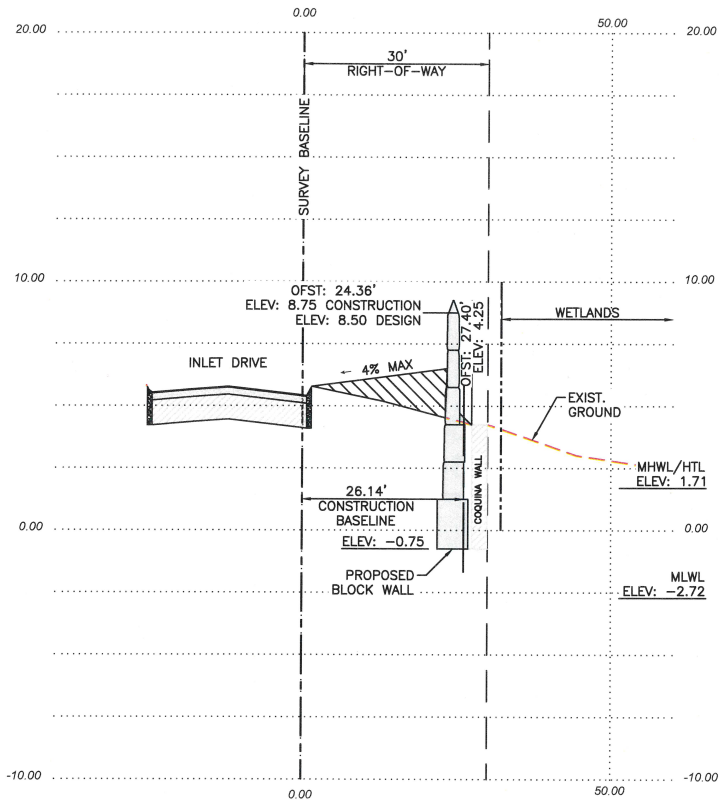
SECTION VIEW: 11+50.00
 1"=20.00' Horiz.
 1"=4.00' Vert.

NOTE:
 SURVEY BASELINE IS THE CENTER OF THE RIGHT-OF-WAY
 AND DOES NOT FOLLOW THE CENTER OF THE ROADWAY.



SECTION VIEW: 12+00.00
 1"=20.00' Horiz.
 1"=4.00' Vert.

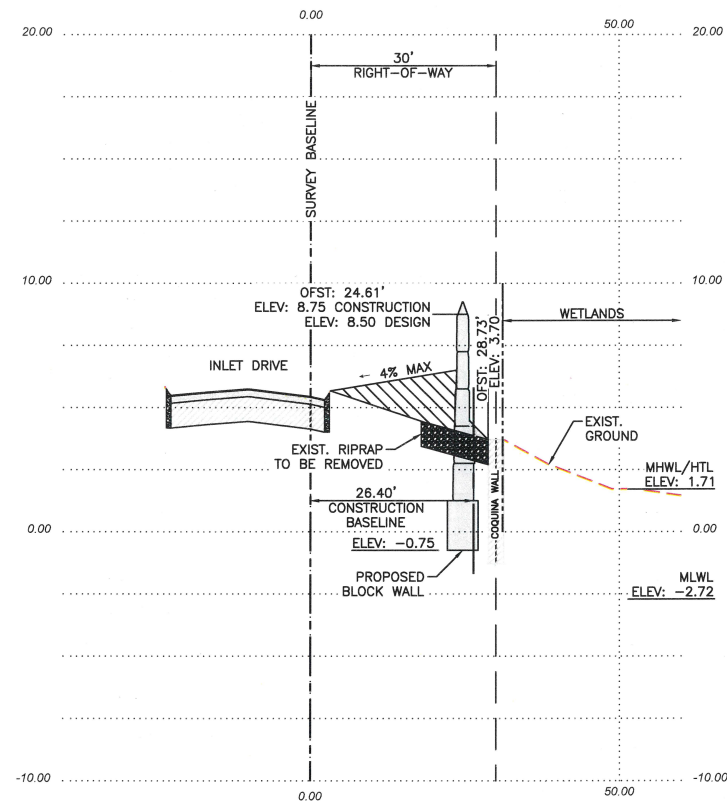




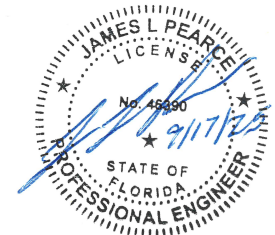
SECTION VIEW: 12+50.00
1"=20.00' Horiz.
1"=4.00' Vert.

NOTE:

SURVEY BASELINE IS THE CENTER OF THE RIGHT-OF-WAY
AND DOES NOT FOLLOW THE CENTER OF THE ROADWAY.

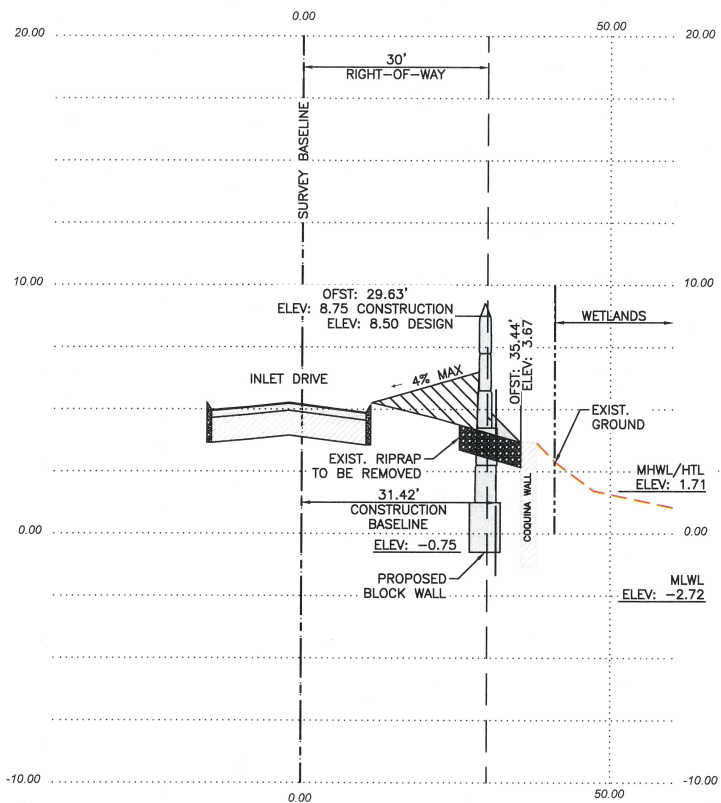


SECTION VIEW: 13+00.00
1"=20.00' Horiz.
1"=4.00' Vert.



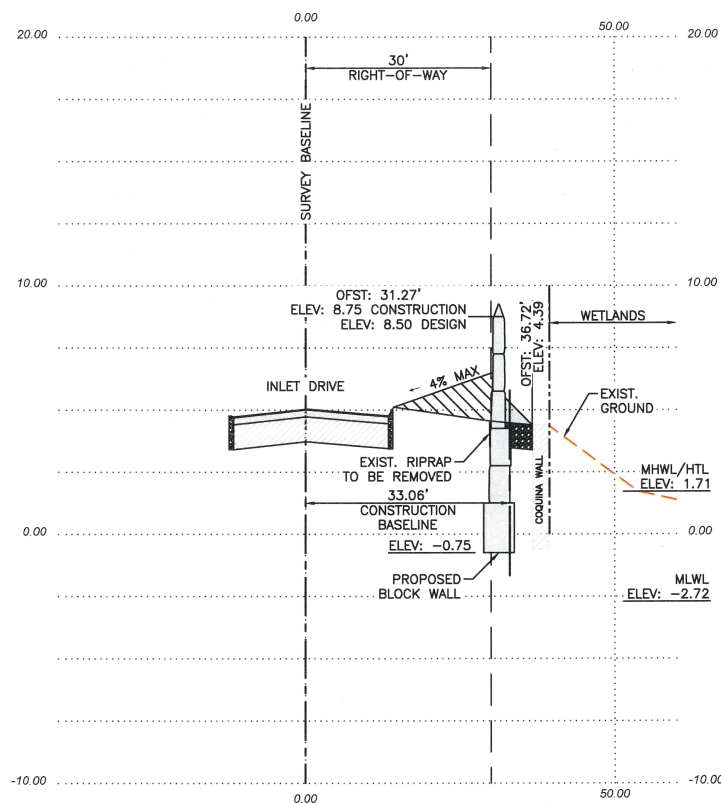
REVISIONS

PLLOT DATE:	9/16/25
DRAWN BY:	
DESIGNED BY:	
CHECKED BY:	
CLIENT CODE:	
JOB NO.:	

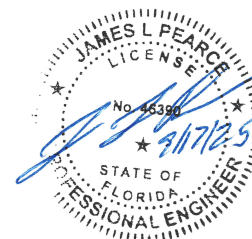


SECTION VIEW: 14+50.00
 1"=20.00' Horiz.
 1"=4.00' Vert.

NOTE:
 SURVEY BASELINE IS THE CENTER OF THE RIGHT-OF-WAY
 AND DOES NOT FOLLOW THE CENTER OF THE ROADWAY.



SECTION VIEW: 15+00.00
 1"=20.00' Horiz.
 1"=4.00' Vert.



I CERTIFY THAT THIS DRAWING IS IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 626-3.0065(2)(C), FLORIDA ADMINISTRATIVE CODE.

TE TOCOI Engineering
 a **BAKTER & WOODMAN** company
 405 GOLFWAY WEST DRIVE, SUITE 100, ST. AUGUSTINE, FL 32095
 TEL: 815-458-1290 E.B. NUMBER: 2893

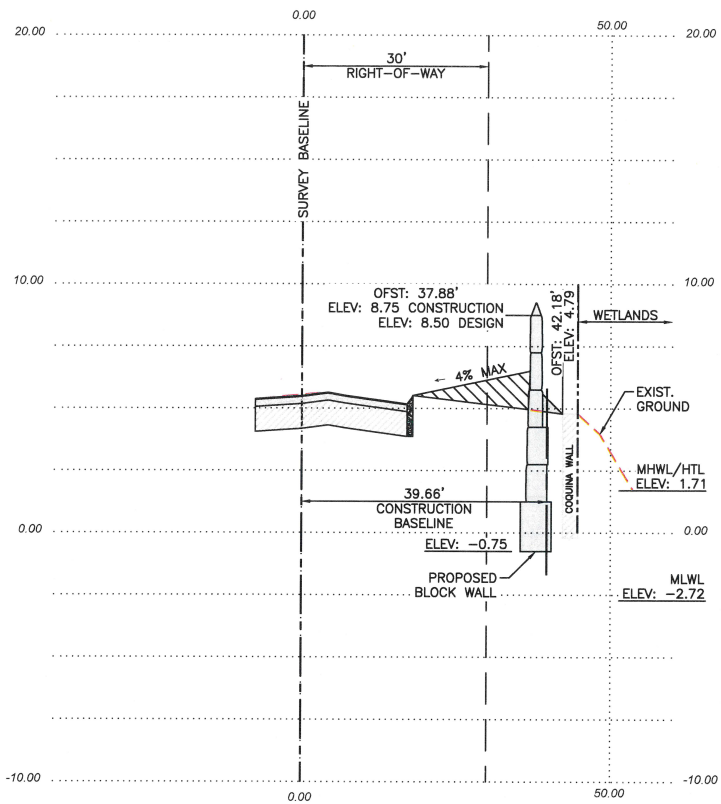
ENGINEER OF RECORD
JAMES L. PEARCE
 FLORIDA
 REGISTRATION NUMBER:
 46390

FOR
 DESIGN
 CITY OF ST. AUGUSTINE
 SECTION VIEW (14+50 - 15+00)

REVISIONS	

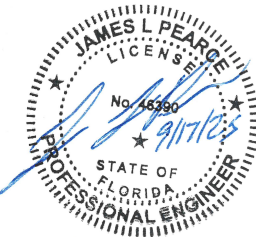
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 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 CLIENT CODE: [Blank]
 JOB NO.: [Blank]

SHEET NO.
7D



SECTION VIEW: 17+50.00
 1"=20.00' Horiz.
 1"=4.00' Vert.

NOTE:
 SURVEY BASELINE IS THE CENTER OF THE RIGHT-OF-WAY
 AND DOES NOT FOLLOW THE CENTER OF THE ROADWAY.



T E TOCOI Engineering
 a **BAXTER WOODMAN** company
 405 GOLFWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32086
 TEL: 815-458-1290 E.B. NUMBER: 26383

ENGINEER OF RECORD
JAMES L. PEARCE
 FLORIDA
 REGISTRATION NUMBER:
46390

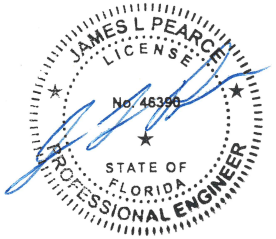
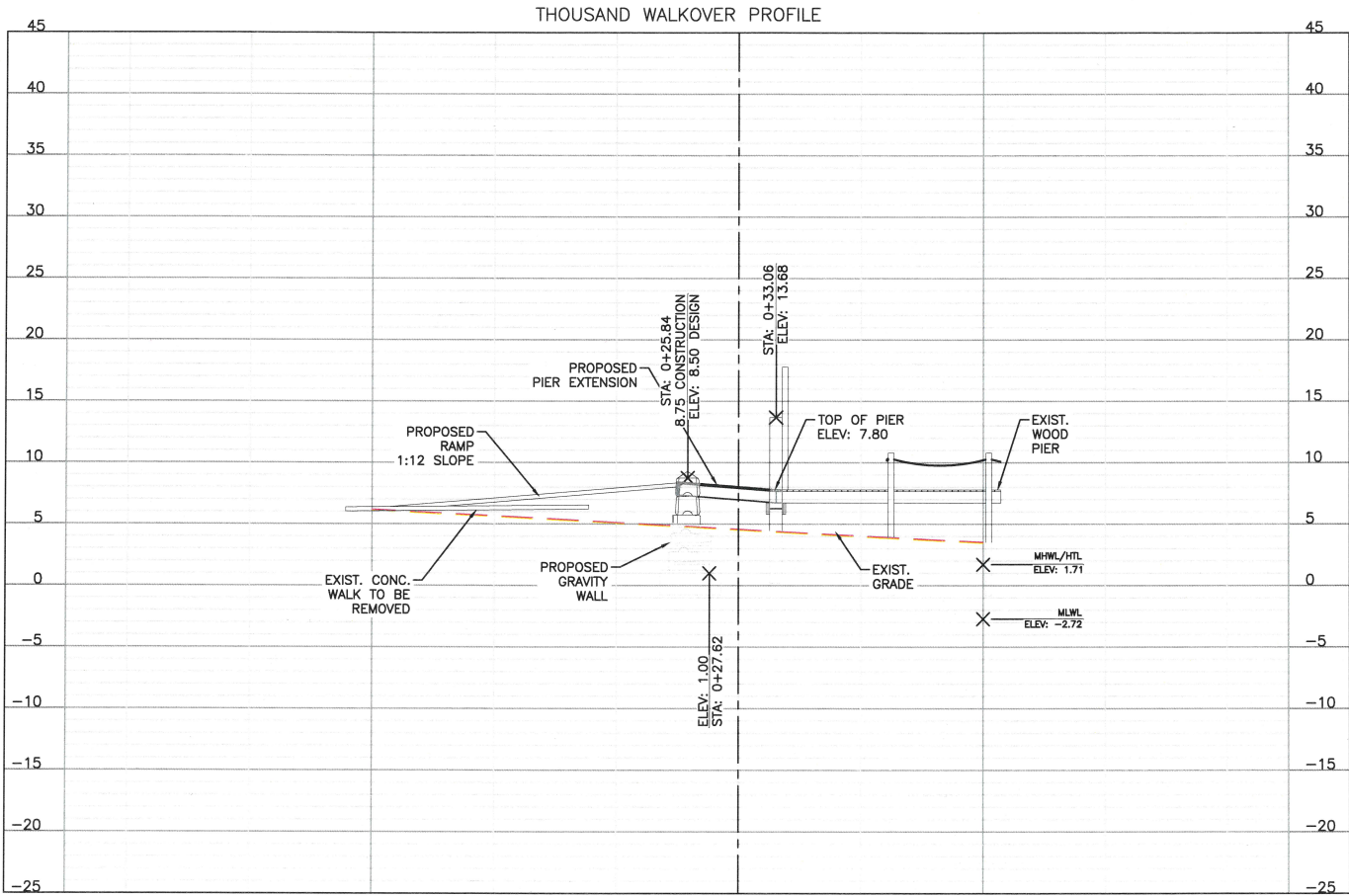
INLET DRIVE SHORELINE RESILIENCY DESIGN
 FOR
 CITY OF ST. AUGUSTINE
 SECTION VIEW (17+50)

REVISIONS

PLLOT DATE: 9/16/25
DRAWN BY: -
DESIGNED BY: -
CHECKED BY: -
CLIENT CODE: -
JOB NO.: -

SHEET NO.
7G

Date: 9/16/25 Time: 9:52 AM DWG Name: P:\STADG\2401975-Inlet Drive Shoreline Resiliency D\00-Multiple Work Types\03-CADD\03_23-660 MASTER PLAN 09.18.25.dwg Layout: 7G-SECT All documents and materials supplementing the signed and sealed documents are resources provided for clarification purposes only and do not supersede the signed and sealed documents. Engineer is not responsible for any deviations from the signed and sealed documents.



TE TOCOI Engineering
 a **BAKTER & WOODMAN** company
 405 GOLFWAY WEST DRIVE, SUITE 100, ST. AUGUSTINE, FL 32095
 TEL: 815-458-1290 E.B. NUMBER: 26381

ENGINEER OF RECORD
 JAMES L. PEARCE
 FLORIDA
 REGISTRATION NUMBER:
 46396

INLET DRIVE SHORELINE RESILIENCY DESIGN
 FOR
 CITY OF ST. AUGUSTINE

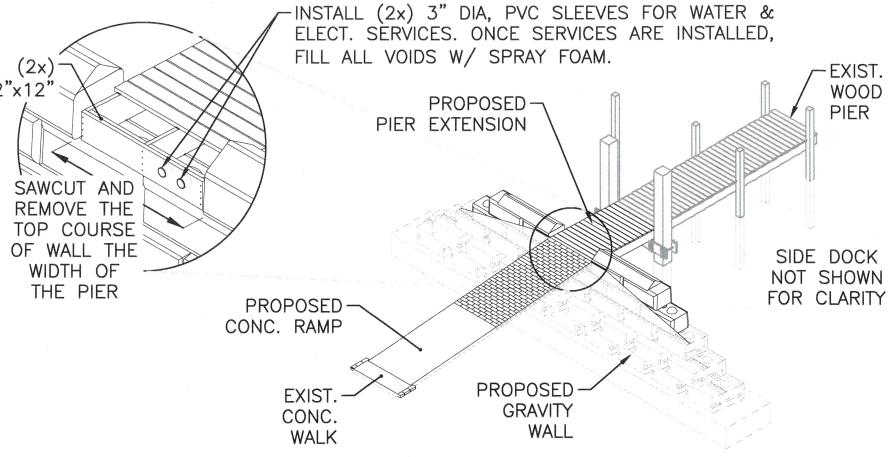
SECTION VIEW - PROPOSED WALKOVER

REVISIONS

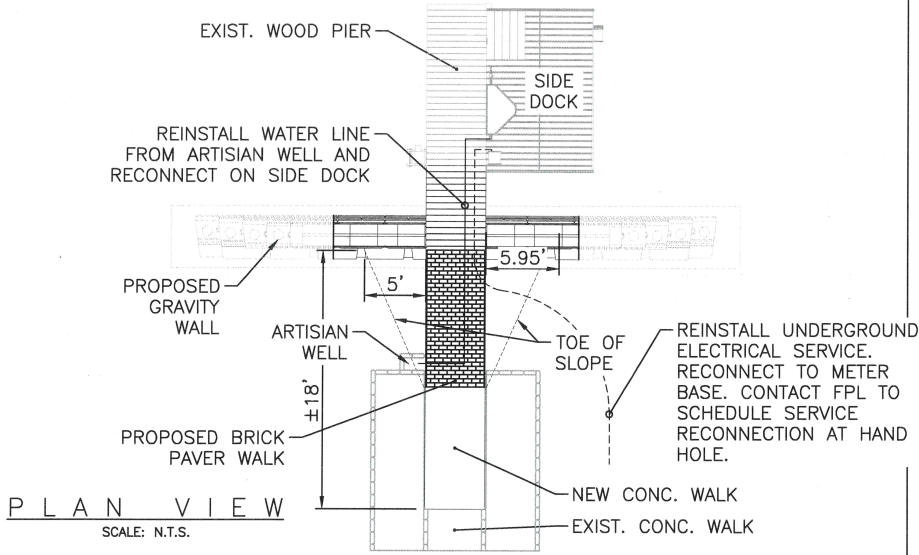
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SHEET NO.
7H

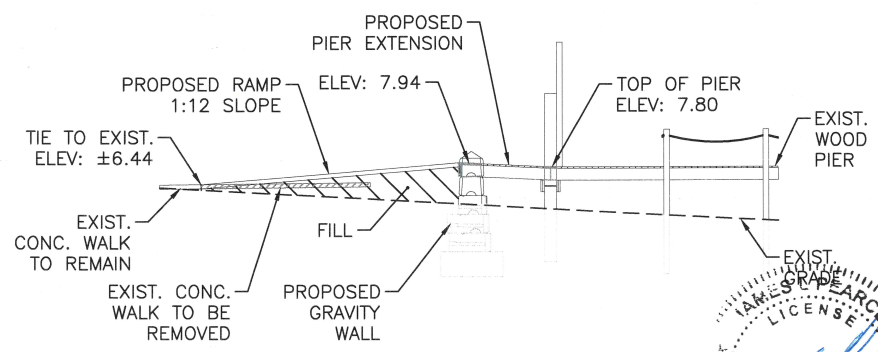
REVISIONS	



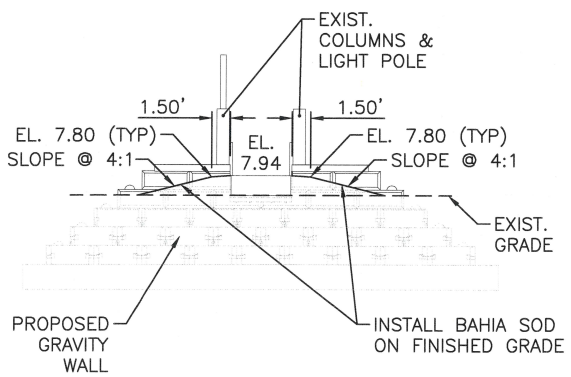
ISOMETRIC VIEW
 SCALE: N.T.S.



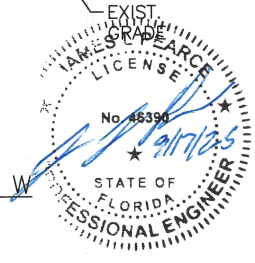
PLAN VIEW
 SCALE: N.T.S.

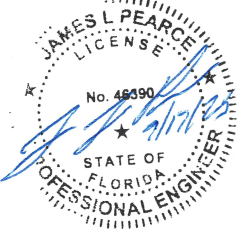
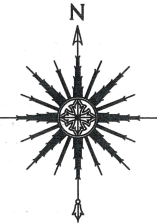
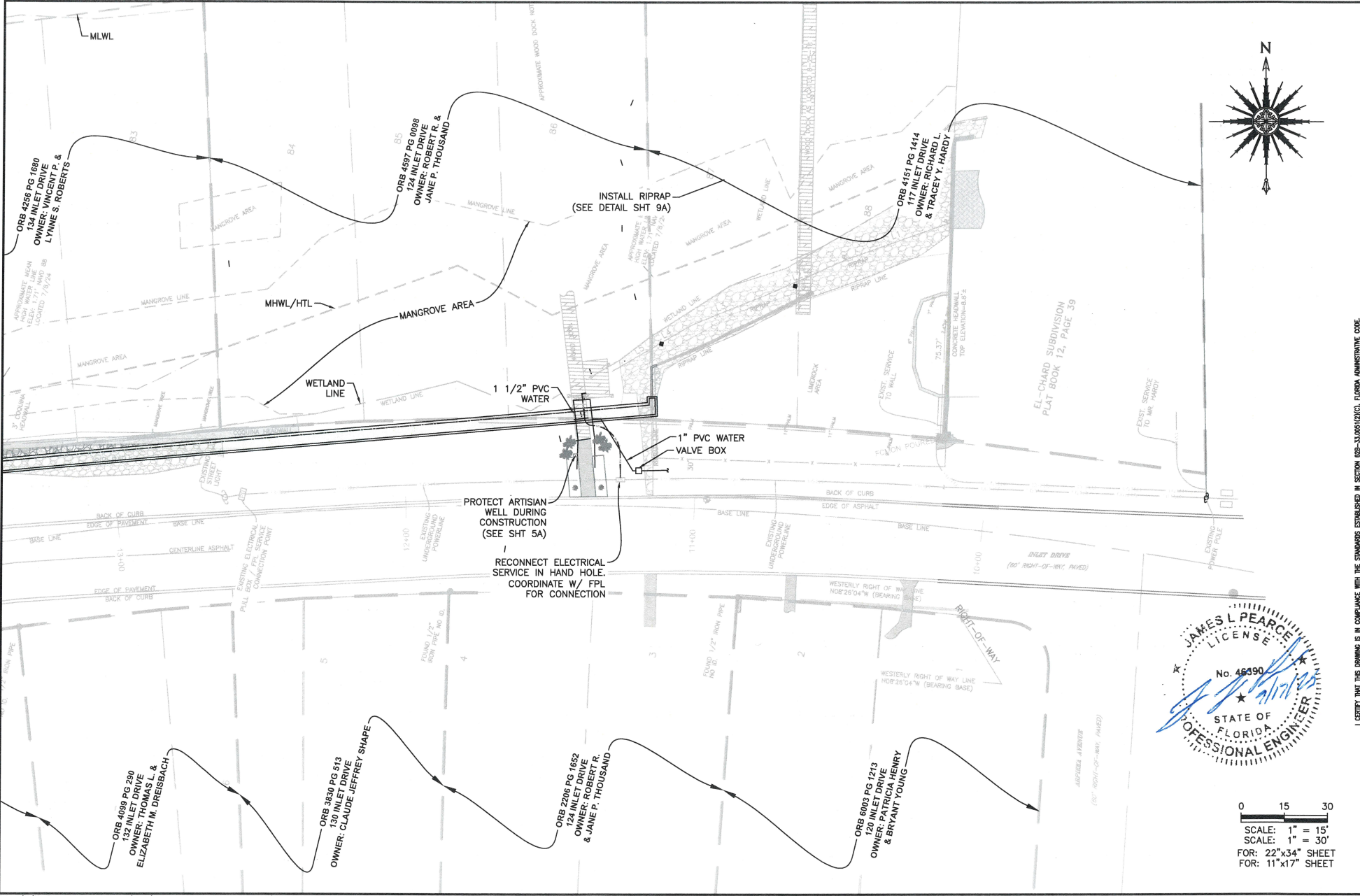


RIGHT SIDE VIEW
 SCALE: N.T.S.



FRONT VIEW
 SCALE: N.T.S.





0 15 30
 SCALE: 1" = 15'
 SCALE: 1" = 30'
 FOR: 22"x34" SHEET
 FOR: 11"x17" SHEET

<p>TOTO Engineering 8 BAXTER WOODMAN COMPANY 495 GOLDWAY WEST DRIVE SUITE 106 ST. AUGUSTINE, FL 32096 TEL: 813-459-1290 E.B. NUMBER: 25383</p>												
<p>ENGINEER OF RECORD JAMES L. PEARCE</p>	<p>FLORIDA REGISTRATION NUMBER: 46390</p>											
<p>INLET DRIVE SHORELINE RESILIENCY DESIGN CITY OF ST. AUGUSTINE</p>												
<p>UTILITIES PLAN</p>												
<p>I CERTIFY THAT THIS DRAWING IS IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 62E-3.00(6)(2)(C), FLORIDA ADMINISTRATIVE CODE.</p>												
<table border="1"> <thead> <tr> <th>REVISIONS</th> </tr> </thead> <tbody> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> </tbody> </table>		REVISIONS										
REVISIONS												
<p>PLotted DATE: 9/16/25 DRAWN BY: DESIGNED BY: CHECKED BY: CLIENT CODE: JOB NO.:</p>												
<p>SHEET NO. 8</p>												

Date: 9/16/25 Time: 9:53 AM DWG Name: P:\STALGV\2401975-Inlet Drive Shoreline Resiliency D\00-Multiple Work Types\03-CADD\03_23-660 MASTER PLAN 09.16.25.dwg Layout: 8-UTIL All documents and materials supplementing the signed and sealed documents are resources provided for clarification purposes only and do not supersede the signed and sealed documents. Engineer is not responsible for any deviations from the signed and sealed documents.

From: Goodhart, Tianna N
To: Jessica Beach; Jennifer Brinkworth; Mangahas, Khristian
Cc: Laura Mahoney; Matthew Canepa; Caitlyn Sargent; James Pearce
Subject: RE: INLET DRIVE SEAWALL/0321819-001-EE
Date: Friday, September 12, 2025 2:42:38 PM
Attachments: [image003.png](#)
[image005.png](#)
[image006.png](#)
[image007.png](#)
[image008.png](#)

Caution: This email originated from outside of the organization. Do not click links, open attachments or respond unless you recognize the sender and know the content is safe. When in doubt, contact IT.

Hi Jessica,

Thank you for the information regarding the licensing agreement! We won't need anything further or modifications to the plans. I'll work on getting this exemption verification before my management for final review and issuance.

Best Regards,



Tianna Goodhart
Florida Department of Environmental Protection
Northeast District
Environmental Specialist III
Tianna.N.Goodhart@FloridaDEP.gov
Office: 904-256-1690

From: Jessica Beach <jbeach@citystaug.com>
Sent: Monday, September 8, 2025 3:20 PM
To: Goodhart, Tianna N <Tianna.N.Goodhart@FloridaDEP.gov>; Jennifer Brinkworth <Jennifer.Brinkworth@swca.com>; Mangahas, Khristian <Khristian.Mangahas@FloridaDEP.gov>
Cc: Laura Mahoney <lmahoney@baxterwoodman.com>; Matthew Canepa <Matthew.Canepa@swca.com>; Caitlyn Sargent <CSargent@citystaug.com>; James Pearce <jpearce@baxterwoodman.com>
Subject: RE: INLET DRIVE SEAWALL/0321819-001-EE

EXTERNAL MESSAGE

This email originated outside of DEP. Please use caution when opening attachments, clicking links, or responding to this email.

Hi Tianna,

We can send you the form/application for the licensing agreement, but we don't have the licensing agreement in place for this particular property yet. It's optional for the property owner to do, although it would be in their best interest to initiate it. We don't need the licensing agreement to construct the project, but were showing it for completeness. The City has sufficient real property interest over the parcel where the north tie in will occur. Per our City Attorney, if the bulkhead is on City property, it is ours, but for maintenance of that bulkhead, the license agreement would clarify that the property owner would perform maintenance. The City will be responsible for operation and maintenance over the new retaining wall proposed. Are you able to save this email for documentation for the project file on your end? If I need to ask our design team to update the plans to remove 151 Inlet Drive from the Easement Exhibit shown on Plan Sheet 4, we can, but we have demonstrated sufficient real property interest for the project.

Let me know if you require Sheet No. 4 to be updated accordingly to eliminate any confusion.

Thanks!

Jessica L. Beach, P.E.

Chief Resilience Officer

Deputy Director, Utilities & Public Works

E: jbeach@citystaug.com | M: 904.209.4227 | W: www.CityStAug.com



City of St. Augustine
P.O. Box 210
St. Augustine, FL 32085



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From: Goodhart, Tianna N <Tianna.N.Goodhart@FloridaDEP.gov>
Sent: Monday, September 8, 2025 2:55 PM
To: Jessica Beach <jbeach@citystaug.com>; Jennifer Brinkworth <Jennifer.Brinkworth@swca.com>; Mangahas, Khristian <Khristian.Mangahas@FloridaDEP.gov>
Cc: Laura Mahoney <lmahoney@baxterwoodman.com>; Matthew Canepa <Matthew.Canepa@swca.com>; Caitlyn Sargent <CSargent@citystaug.com>; James Pearce <jpearce@baxterwoodman.com>
Subject: RE: INLET DRIVE SEAWALL/0321819-001-EE

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Hi Jessica,

Thank you for the clarification! Could you send me a copy of this licensing agreement to include in our supplemental information? Just want to make sure we have on file all the documents referenced in the project drawings.

Best Regards,



Tianna Goodhart
 Florida Department of Environmental Protection
 Northeast District
 Environmental Specialist III
Tianna.N.Goodhart@FloridaDEP.gov
 Office: 904-256-1690

From: Jessica Beach <jbeach@citystaug.com>
Sent: Monday, September 8, 2025 11:59 AM
To: Goodhart, Tianna N <Tianna.N.Goodhart@FloridaDEP.gov>; Jennifer Brinkworth <Jennifer.Brinkworth@swca.com>; Mangahas, Khristian <Khristian.Mangahas@FloridaDEP.gov>
Cc: Laura Mahoney <lmahoney@baxterwoodman.com>; Matthew Canepa <Matthew.Canepa@swca.com>; Caitlyn Sargent <CSargent@citystaug.com>; James Pearce <jpearce@baxterwoodman.com>
Subject: RE: INLET DRIVE SEAWALL/0321819-001-EE

EXTERNAL MESSAGE

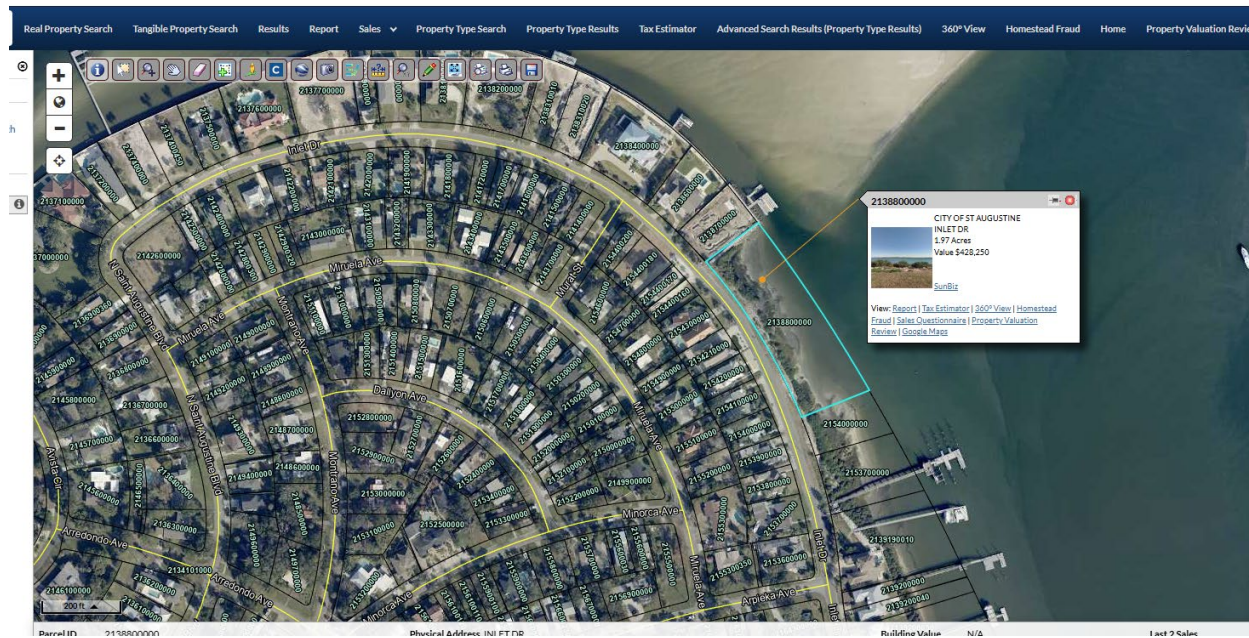
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Hello Tianna,

I just wanted to clarify the purpose of the license agreement area. The City is the actual property owner and has sufficient real property interest. We are able to accomplish the tie in with the existing bulkhead without property owner approval because the bulkhead is on our property. The license agreement is to formalize who performs maintenance of the existing bulkhead. It's an issue between the City and private property owner and should not have any effect on this project or permit.

Here is a screen shot of the property appraiser map:

t. Johns County, FL



Hopefully this helps to clarify.

Thanks,

Jessica L. Beach, P.E.

Chief Resilience Officer
 Deputy Director, Utilities & Public Works

E: jbeach@citystaug.com | M: 904.209.4227 | W: www.CityStAug.com



City of St. Augustine
 P.O. Box 210
 St. Augustine, FL 32085



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From: Goodhart, Tianna N <Tianna.N.Goodhart@FloridaDEP.gov>
Sent: Monday, September 8, 2025 11:42 AM
To: Jennifer Brinkworth <Jennifer.Brinkworth@swca.com>; Mangahas, Khristian <Khristian.Mangahas@FloridaDEP.gov>
Cc: Jessica Beach <jbeach@citystaug.com>; Laura Mahoney <lmahoney@baxterwoodman.com>; Matthew Canepa <Matthew.Canepa@swca.com>; Caitlyn Sargent <CSargent@citystaug.com>;

James Pearce <jpearce@baxterwoodman.com>
Subject: RE: INLET DRIVE SEAWALL/0321819-001-EE

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Hi Jennifer,

Thank you for providing this information! Could you also send over the licensing agreement with Schau at 151 Inlet Drive? Other than that it looks like we have all we need to move forward with the Exemption Verification!

Best Regards,



Tianna Goodhart
Florida Department of Environmental Protection
Northeast District
Environmental Specialist III
Tianna.N.Goodhart@FloridaDEP.gov
Office: 904-256-1690

From: Jennifer Brinkworth <Jennifer.Brinkworth@swca.com>
Sent: Wednesday, September 3, 2025 12:35 PM
To: Goodhart, Tianna N <Tianna.N.Goodhart@FloridaDEP.gov>; Mangahas, Khristian <Khristian.Mangahas@FloridaDEP.gov>
Cc: Jessica Beach <jbeach@citystaug.com>; Laura Mahoney <lmahoney@baxterwoodman.com>; Matthew Canepa <Matthew.Canepa@swca.com>; Caitlyn Sargent <CSargent@citystaug.com>; James Pearce <jpearce@baxterwoodman.com>
Subject: Re: INLET DRIVE SEAWALL/0321819-001-EE

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Tianna,

See attached fully executed easements and revised site plans.
The only change is that the width of the temporary easement for Mr. Hardy's property (117 Inlet Dr) was reduced from 10 feet to 5 feet in width.

Let me know if you have any questions!

Jennifer Brinkworth

Staff Environmental Scientist – Avian Biologist

SWCA Environmental Consultants

567 Bishop Gate Lane

Jacksonville, FL 32204
P 904.384.7020 | C 386.506.9010

jennifer.brinkworth@swca.com



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From: Jennifer Brinkworth <Jennifer.Brinkworth@swca.com>
Sent: Tuesday, July 29, 2025 10:45 AM
To: Goodhart, Tianna N <Tianna.N.Goodhart@FloridaDEP.gov>; Mangahas, Khristian <Khristian.Mangahas@FloridaDEP.gov>
Cc: Jessica Beach <jbeach@citystaug.com>; Laura Mahoney <lmahoney@baxterwoodman.com>; Matthew Canepa <Matthew.Canepa@swca.com>; Caitlyn Sargent <csargent@citystaug.com>; James Pearce <jpearce@baxterwoodman.com>
Subject: Re: INLET DRIVE SEAWALL/0321819-001-EE

Sounds good. Thanks Tianna!

Jennifer Brinkworth

Staff Environmental Scientist – Avian Biologist

SWCA Environmental Consultants

567 Bishop Gate Lane
Jacksonville, FL 32204
P 904.384.7020 | C 386.506.9010

jennifer.brinkworth@swca.com



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From: Goodhart, Tianna N <Tianna.N.Goodhart@FloridaDEP.gov>
Sent: Tuesday, July 29, 2025 10:43 AM
To: Jennifer Brinkworth <Jennifer.Brinkworth@swca.com>; Mangahas, Khristian <Khristian.Mangahas@FloridaDEP.gov>
Cc: Jessica Beach <jbeach@citystaug.com>; Laura Mahoney <lmahoney@baxterwoodman.com>; Matthew Canepa <Matthew.Canepa@swca.com>; Caitlyn Sargent <csargent@citystaug.com>;

James Pearce <jpearce@baxterwoodman.com>
Subject: RE: INLET DRIVE SEAWALL/0321819-001-EE

Hi Jennifer,

Thank you for confirming no wetland or surface water impacts!

We will be sending a request for additional information (RAI) for the easements this week. The RAI gives 60 days to submit the additional information, but we can grant a time extension if needed.

Regards,



Tianna Goodhart
Florida Department of Environmental Protection
Northeast District
Environmental Specialist III
Tianna.N.Goodhart@FloridaDEP.gov
Office: 904-256-1690

From: Jennifer Brinkworth <Jennifer.Brinkworth@swca.com>
Sent: Tuesday, July 29, 2025 10:37 AM
To: Goodhart, Tianna N <Tianna.N.Goodhart@FloridaDEP.gov>; Mangahas, Khristian <Khristian.Mangahas@FloridaDEP.gov>
Cc: Jessica Beach <jbeach@citystaug.com>; Laura Mahoney <lmahoney@baxterwoodman.com>; Matthew Canepa <Matthew.Canepa@swca.com>; Caitlyn Sargent <csargent@citystaug.com>; James Pearce <jpearce@baxterwoodman.com>
Subject: Re: INLET DRIVE SEAWALL/0321819-001-EE

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Hi Tianna,

Thank you for this update. There are no works proposed in, on, or over wetlands or surface waters.

Jessica with the City of St. Augustine is still working on the easements and should have a better estimate on the timeframe later this week.

Jennifer Brinkworth
Staff Environmental Scientist – Avian Biologist

SWCA Environmental Consultants

567 Bishop Gate Lane

Jacksonville, FL 32204
P 904.384.7020 | C 386.506.9010

jennifer.brinkworth@swca.com



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From: Goodhart, Tianna N <Tianna.N.Goodhart@FloridaDEP.gov>
Sent: Monday, July 28, 2025 3:43 PM
To: Jennifer Brinkworth <Jennifer.Brinkworth@swca.com>; Mangahas, Khristian <Khristian.Mangahas@FloridaDEP.gov>
Cc: Jessica Beach <jbeach@citystaug.com>; Laura Mahoney <lmahoney@baxterwoodman.com>; Matthew Canepa <Matthew.Canepa@swca.com>; Caitlyn Sargent <csargent@citystaug.com>; James Pearce <jpearce@baxterwoodman.com>
Subject: RE: INLET DRIVE SEAWALL/0321819-001-EE

Hello Jennifer,

I've discussed with management and our stormwater engineer regarding this, and I think we can move forward without the need for a meeting. If it works for you, we are comfortable with issuing a de minimis exemption for this project as long as there are no works proposed in, on, or over wetlands or surface waters. This de minimis exemption will include all of the works proposed in the site plans.

We'll just need some additional information regarding property interest in order to issue the exemption verification. Please provide the license agreement and easements for the four privately owned parcels included in the project area or any other documentation providing sufficient property interest.

Thank you,

Tianna Goodhart



Florida Department of Environmental Protection
 Northeast District
 Environmental Specialist III
Tianna.N.Goodhart@FloridaDEP.gov
 Office: 904-256-1690

From: Jennifer Brinkworth <Jennifer.Brinkworth@swca.com>
Sent: Monday, July 28, 2025 1:46 PM
To: Goodhart, Tianna N <Tianna.N.Goodhart@FloridaDEP.gov>; Mangahas, Khristian <Khristian.Mangahas@FloridaDEP.gov>
Cc: Jessica Beach <jbeach@citystaug.com>; Laura Mahoney <lmahoney@baxterwoodman.com>; Matthew Canepa <Matthew.Canepa@swca.com>; Caitlyn Sargent <csargent@citystaug.com>; James Pearce <jpearce@baxterwoodman.com>
Subject: Re: INLET DRIVE SEAWALL/0321819-001-EE

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Tianna,

Thanks for providing your availability. We would like to schedule our meeting for Thurs. 7/31 at 11am. Please confirm you still have that day and time available and I will send out a Teams meeting calendar invite.

Jennifer Brinkworth
 Staff Environmental Scientist – Avian Biologist

SWCA Environmental Consultants

567 Bishop Gate Lane
 Jacksonville, FL 32204
 P 904.384.7020 | C 386.506.9010

jennifer.brinkworth@swca.com



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From: Goodhart, Tianna N <Tianna.N.Goodhart@FloridaDEP.gov>
Sent: Friday, July 25, 2025 5:32 PM
To: Jennifer Brinkworth <Jennifer.Brinkworth@swca.com>; Mangahas, Khristian <Khristian.Mangahas@FloridaDEP.gov>
Cc: Jessica Beach <jbeach@citystaug.com>; Laura Mahoney <lmahoney@baxterwoodman.com>; Matthew Canepa <Matthew.Canepa@swca.com>; Caitlyn Sargent <csargent@citystaug.com>; James Pearce <jpearce@baxterwoodman.com>
Subject: RE: INLET DRIVE SEAWALL/0321819-001-EE

Hi Jennifer,

Unfortunately, neither Khristian nor I are available during that time frame on Tuesday. We are free Monday 7/28 1-3pm, Wednesday 7/30 10am-12pm, or any time on Thursday. Let me know when would work best on your end.

Thank you,



Tianna Goodhart
 Florida Department of Environmental Protection
 Northeast District
 Environmental Specialist III
Tianna.N.Goodhart@FloridaDEP.gov
 Office: 904-256-1690

From: Jennifer Brinkworth <Jennifer.Brinkworth@swca.com>
Sent: Friday, July 25, 2025 12:16 PM
To: Goodhart, Tianna N <Tianna.N.Goodhart@FloridaDEP.gov>; Mangahas, Khristian <Khristian.Mangahas@FloridaDEP.gov>
Cc: Jessica Beach <jbeach@citystaug.com>; Laura Mahoney <lmahoney@baxterwoodman.com>; Matthew Canepa <Matthew.Canepa@swca.com>; Caitlyn Sargent <csargent@citystaug.com>;

James Pearce <jpearce@baxterwoodman.com>
Subject: Re: INLET DRIVE SEAWALL/0321819-001-EE

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Tianna,

Thank you for your response. Our team would like to schedule a meeting next week. We have a very limited time frame of availability. Are you able to meet with us Tuesday 7/29 at any time between 2:30-4:30?

Jennifer Brinkworth
Staff Environmental Scientist – Avian Biologist

SWCA Environmental Consultants

567 Bishop Gate Lane
Jacksonville, FL 32204
P 904.384.7020 | C 386.506.9010
jennifer.brinkworth@swca.com



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From: Goodhart, Tianna N <Tianna.N.Goodhart@FloridaDEP.gov>
Sent: Friday, July 25, 2025 10:19 AM
To: James Pearce <jpearce@baxterwoodman.com>; Jennifer Brinkworth <Jennifer.Brinkworth@swca.com>; Mangahas, Khristian <Khristian.Mangahas@FloridaDEP.gov>
Cc: Jessica Beach <jbeach@citystaug.com>; Laura Mahoney <lmahoney@baxterwoodman.com>; Matthew Canepa <Matthew.Canepa@swca.com>
Subject: RE: INLET DRIVE SEAWALL/0321819-001-EE

Hello,

As it stands, the project as proposed in the site plans appears to include extensive regrading landward of the seawall as well as the replacement of drainage structures and a pier extension. Unfortunately, the scope of these works would not fall under the repair and replace exemption for seawalls and thus would require a higher form of authorization.

We could potentially split the work into multiple exemption verification requests if that is an option you would like us to look into. If you'd like us to set up some time to speak next week, I can schedule a meeting with my management team to discuss how we move forward with permitting this project!

Thank you,



Tianna Goodhart
Florida Department of Environmental Protection
Northeast District
Environmental Specialist III
Tianna.N.Goodhart@FloridaDEP.gov
Office: 904-256-1690

From: James Pearce <jpearce@baxterwoodman.com>
Sent: Thursday, July 24, 2025 7:35 AM
To: Jennifer Brinkworth <Jennifer.Brinkworth@swca.com>; Mangahas, Khristian <Khristian.Mangahas@FloridaDEP.gov>
Cc: Jessica Beach <jbeach@citystaug.com>; Laura Mahoney <lmahoney@baxterwoodman.com>; Goodhart, Tianna N <Tianna.N.Goodhart@FloridaDEP.gov>; Matthew Canepa <Matthew.Canepa@swca.com>
Subject: RE: INLET DRIVE SEAWALL/0321819-001-EE

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Jessica,

Thank you for following up. We had a pre-application meeting several months ago with Matt in attendance. At that time everyone from the agency was of the opinion that this was an

exempt project. It will be very helpful to know what has changed and what we need to do to make this an exception project. As you know, we are on a very tight timeline with grant funding and any delay in the permit process will jeopardize that grant funding. We have to have this project in the ground and the funds spent by June 2026. Please keep us in the loop of any new developments with the permit process so that we can react immediately.

James L Pearce, PE

904-736-4425

jpearce@baxterwoodman.com

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From: Jennifer Brinkworth <Jennifer.Brinkworth@swca.com>
Sent: Wednesday, July 23, 2025 1:08 PM
To: Mangahas, Khristian <khristian.mangahas@floridadep.gov>
Cc: Jessica Beach <jbeach@citystaug.com>; James Pearce <jpearce@baxterwoodman.com>; Goodhart, Tianna N <Tianna.N.Goodhart@FloridaDEP.gov>; Matthew Canepa <Matthew.Canepa@swca.com>
Subject: Re: INLET DRIVE SEAWALL/0321819-001-EE

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Hi Khristian,

It was great to meet you in person today at the workshop. I am forwarding and including you in this email correspondence to help fast track the response.

The applicant would like to know which portions of their project do not fit under the exemption. They are willing to make some minor changes to the project if practical to fit the exemption criteria.

I am happy to schedule a pre-app meeting if necessary to discuss further.

Thanks!

Jennifer Brinkworth
Staff Environmental Scientist – Avian Biologist

SWCA Environmental Consultants

567 Bishop Gate Lane

Jacksonville, FL 32204

P 904.384.7020 | C 386.506.9010

jennifer.brinkworth@swca.com



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From: Jennifer Brinkworth <Jennifer.Brinkworth@swca.com>
Sent: Friday, July 18, 2025 11:31 AM
To: Goodhart, Tianna N <Tianna.N.Goodhart@FloridaDEP.gov>
Cc: Jessica Beach <jbeach@citystaug.com>; James Pearce <jpearce@baxterwoodman.com>
Subject: Re: INLET DRIVE SEAWALL/0321819-001-EE

Hi Tianna,

Just following up on my phone call and the previous email. This is a grant funded project with strict timelines. Please respond at your earliest convenience.

Jennifer Brinkworth
Staff Environmental Scientist – Avian Biologist

SWCA Environmental Consultants

567 Bishop Gate Lane

Jacksonville, FL 32204

P 904.384.7020 | C 386.506.9010

jennifer.brinkworth@swca.com



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From: Jennifer Brinkworth <Jennifer.Brinkworth@swca.com>
Sent: Monday, July 14, 2025 1:42 PM
To: Goodhart, Tianna N <Tianna.N.Goodhart@FloridaDEP.gov>
Cc: Jessica Beach <jbeach@citystaug.com>
Subject: Re: INLET DRIVE SEAWALL/0321819-001-EE

Hi Tianna,

Can you please list specifically what parts of the project do not meet the exemption criteria?

Jennifer Brinkworth
Staff Environmental Scientist – Avian Biologist

SWCA Environmental Consultants

567 Bishop Gate Lane

Jacksonville, FL 32204
P 904.384.7020 | C 386.506.9010

jennifer.brinkworth@swca.com



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From: Goodhart, Tianna N <Tianna.N.Goodhart@FloridaDEP.gov>
Sent: Monday, July 14, 2025 1:33 PM
To: Jennifer Brinkworth <Jennifer.Brinkworth@swca.com>
Cc: Jessica Beach <jbeach@citystaug.com>
Subject: RE: INLET DRIVE SEAWALL/0321819-001-EE

Hi Jennifer and Jessica!

Thank you for letting me know the best point of contact for this project. Upon initial review it appears the project does not meet our Exemption criteria. The works as proposed would need to be authorized under an Individual Permit.

If you'd like to withdraw and reapply for an Individual Permit, please let me know and I can transfer the \$100.00 payment that was made to the new application.

Feel free to reach out if you have any questions!

Best Regards,



Tianna Goodhart
Florida Department of Environmental Protection
Northeast District
Environmental Specialist III
Tianna.N.Goodhart@FloridaDEP.gov
Office: 904-256-1690

From: Jennifer Brinkworth <Jennifer.Brinkworth@swca.com>
Sent: Monday, July 7, 2025 4:47 PM
To: Goodhart, Tianna N <Tianna.N.Goodhart@FloridaDEP.gov>
Cc: Jessica Beach <jbeach@citystaug.com>
Subject: INLET DRIVE SEAWALL/0321819-001-EE

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Hello Tianna,

Please send project email correspondence to Jessica Beach instead of Stephen Slaughter. Her email is: jbeach@citystaug.com

Thanks!

Jennifer Brinkworth
Staff Environmental Scientist – Avian Biologist

SWCA Environmental Consultants

567 Bishop Gate Lane

Jacksonville, FL 32204

P 904.384.7020 | C 386.506.9010

jennifer.brinkworth@swca.com



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Attachment 5: Historical Review

MARSHA A. CHANCE
PRESERVATION CONSULTANT

October 13, 2018

Mr. Stephen C. Swann
Vice President
Applied Technology & Management
411 Pablo Avenue
Jacksonville, Florida 32250

Dear Mr. Swann:

Enclosed please find our final report concerning the history of the Little Beach on Inlet Drive in North Davis Shores. It particularly addresses the question of whether the stacked masonry located there is of historical significance. It has been determined that the stacked masonry "wall" does not have the characteristics required to meet federal, state, or local standards for historical significance.

It has been an interesting project to me, particularly when I determined that some of the stacked masonry elements are actually curb and gutter segments from the time of D.P. Davis. These were apparently removed from Arredondo Avenue and a short adjacent area on Minorca Avenue when the streets were paved in 1964 or 1965. Some are no doubt the ones I frequently sat on as a child, as our family home where I now live is on the corner of Arredondo and Minorca.

If you have any questions regarding the project findings, please do not hesitate to contact me by phone or email.

Sincerely,

Marsha A. Chance
Preservation Consultant
415 Arredondo Avenue
St. Augustine, Florida 32080
marshachance415@gmail.com
904-808-1432 (land line)
904-626-3933 (mobile)

**AN HISTORICAL EVALUATION OF THE ARMORING MATERIALS ON THE
BEACH AT INLET DRIVE, ST. AUGUSTINE, FLORIDA**

October, 2018

By

Marsha A. Chance

And

Greg C. Smith, PhD.

Prepared for

ATM Inc.

St. Augustine, Florida

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Conclusions	7
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Introduction

In 2018, the City of St. Augustine asked ATM Inc., an engineering firm, to prepare a concept design for shoreline stabilization along 443 feet of open beach along Inlet Drive. The beach curves parallel to the Inlet Drive right-of-way from NNW to SSE, with most of the beach lying in a north/south alignment. The project area is shown in Figure 1. Inlet Drive is located along the eastern perimeter of North Davis Shores on Anastasia Island. ATM's initial goal is to prepare a Technical Memorandum discussing Best Management Practices, which will allow the City to evaluate stabilization options.

As part of this project, it was necessary to determine whether any of the stabilization materials presently on the beach represent a historical resource. The City has described these materials as rubble, rip-rap, gravel, oyster shells, and "concrete slab gravity walls." Specifically, there are stacked, reused concrete and coquina slabs and brick wall fragments along a portion of the beach, which present a wall-like appearance (Figures 2 and 3). They are sometimes assumed by newer residents to represent the remains of a formal seawall. Examined in detail, the viewer can see that the masonry stack is composed of linear pieces that are repurposed segments salvaged from buildings, sidewalks, and curb and gutter systems. Certainly they were placed there by the City, because no other entity has had the right or the wherewithal to do so.

The masonry materials used are of several types. Some are rectangular coquina slabs, which are now quite valuable and could be repurposed repeatedly in historic St. Augustine. Others are concrete containing large gravel aggregate; and still others are concrete with a large quantity of coquina aggregate. The latter match the poured sidewalks and curbs and gutter segments made in St. Augustine in the early to mid-twentieth century. The original North Davis Shores sidewalks are of this material and can be seen on Arredondo Avenue and Oglethorpe Boulevard. The elements found on the beach are actually poured (single pour) curb and gutter segments. Most of these have been placed curb down, so that the curb element hangs down and in front of the blocks below it. These were probably salvaged from Davis Shores. Before the streets were paved, some of them were flanked by coquina aggregate concrete gutters and curbs such as these. They remain *in situ* on Oglethorpe Boulevard, but have been removed from Arredondo Avenue. The author has personal memories of the curb/gutter design in 1950s and 60s Davis Shores, having spent much time sitting on the curb while drawing in the adjacent dirt street in front of her home; and also of bumping her bicycle over these curbs while riding on the sidewalks of Arredondo Avenue and Oglethorpe Boulevard. A fourth type of material minimally evident is pieces of brick wall. Other than within the fragment of brick wall, there is no mortar present between the stacked masonry pieces. They are stacked at least three deep, are of varying lengths and thicknesses, and other pieces probably lie beneath them, pressed down into the beach by the weight of the pieces above them. Most of them are just stacked one above the other, rather than in a staggered pattern. There are no designed or engineered elements within the stacked masonry. That is, there are no poured or formed elements, there is no cap to the stack, and there is no predominant design to the stack.

Historical resources older than fifty years may be deemed significant according to state and federal standards. Using this standard, any seawall constructed prior to 1968 could conceivably have historical significance. If a resource is found to be historically significant using the specific criteria set forth in Section 106 of the National Historic Preservation Act, then the resource, which may be a structure, an archaeological site, or an individual feature such as a seawall, must be either preserved or mitigated in

conjunction with involved municipalities and agencies. If federal or state funding is used to carry out a project, evaluation and recommendations by a qualified professional must be undertaken, culminating in a report prepared to meet specific standards and submitted to state and/or federal agencies for review and concurrence.

The criteria for evaluation of historic properties are listed in 36 CFR, Part 800, entitled, "Protection of Historic Properties." They are as follows.

The quality of significance in American history... as present in districts, sites, buildings, structures and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and

- (a) that are associated with events that have made a significant contribution to the broad patterns of our history;
- (b) that are associated with the lives of persons significant in our past;
- (c) that embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- (d) that have yielded, or may be likely to yield, information important to our history.

The goal of this historical research project is to utilize historical documents and personal interviews to determine whether a historic seawall ever existed in the beach location, and secondly, if present, whether it is historically significant.

Project Procedures

In order to determine when or if a formal seawall was ever constructed along the beach on Inlet Drive in the past, it was determined that background research should include: Information on the construction of Davis Shores in the 1920s when the formal, extant seawall that encircles much of Davis Shores was constructed; a review of historical aerial photographs obtained from the St. Augustine Historical Society Library and from the collection of aials on file at the Smathers Historical Library at the University of Florida; and interviews with individuals who have personal knowledge of the beach extending over the last several decades. In addition, the author called upon her personal lifelong memories of the beach, visited it, and studied current photographs of the masonry and rip-rap/debris on the beach. The author has first-hand knowledge of the beach, having grown up about two and a half blocks from it. She presently resides in her childhood home, which has been owned by her family since 1949.

A Brief History of Davis Shores Development

The history of the development of Davis Shores is closely tied to the land boom of the early 1920s. During that era, the construction of the Dixie Highway and Ocean Boulevard (now A1A) through St. Augustine, was accompanied by a feasibility study to build a new bridge across Matanzas Bay. New subdivisions were

under construction around the perimeter of the City when, in 1925, D. P. Davis acquired 1,500 acres of marshland on the east side of the bay (Bowen 2010). Davis had recently been wildly successful in Tampa, where he had acquired two small islands in Tampa Bay, encircled them with seawalls, and filled them with dredged sand. The development was the first of its kind and was a huge success. In 1925, Davis announced similar plans for his "Davis Shores" development in St. Augustine.

Davis proposed to not only "create" Davis Shores, but to build many miles of streets and landscaping, a luxury hotel, golf courses, and a country club. Based on Davis' success in Tampa, local residents expected to benefit financially from his plan, and were very supportive of his endeavors. Interestingly, his removal of vast quantities of sand from the bay eventually resulted in a huge increase in costs for the new bridge, because the foundations at the east end had to be lengthened. When the first group of lots were offered for sale in November, 1925, they sold out quickly, and subsequent work on building seawalls and filling in the island moved fast.

Two-ton concrete slabs were cast on the island and jettied into place to form portions of the seawall. The wall was then capped with 20" wide reinforced caps and secured with tie-backs. About three fourths of the island was encircled by the wall, and most, if not all of it, still exists today (Bowen 2010). As the seawall evolved, four apartment buildings and six homes were built in the popular Mediterranean Revival style.

In early 1926 the Florida land boom began to decline, and then to collapse. Without completing the Davis Shores project, D.P. Davis sailed to France on the liner "Majestic." In October, 1926, Davis either fell or jumped overboard and disappeared. In 1935, local realtors Jack Thompson and Harold Ryman purchased the D.P. Davis Company for \$7,500 and paid off \$100,000 in back taxes. By this means they acquired all of the land that has become Davis Shores, with the exception of the lots previously sold. The property originally extended southward to include Fish Island, which is now on the north and south sides of the S.R. 312 Bridge (Thompson 2009).

Work on Davis Shores continued for a time after 1926, including the construction of foundations for a yacht club in what is now South Davis Shores. Eventually the remains of this undertaking were razed, and the rubble was used to form a bulkhead at the south end of the seawall at 151 Inlet Drive (Thompson 2009). The southeast end of the 1925 seawall is still at 151 Inlet Drive. A home was built there in the 1950s that still stands today. The east boundary of the lot is the seawall and the south edge of the lot is flanked by a sloping revetment or bulkhead that appears to have recently been refurbished by new owners of the property.

Many of the grand plans for magnificent Davis Shores were started and then never completed, specifically including the construction of the seawall. It stopped just south of the intersection of Murat Street and Inlet Drive (at 151 Inlet Drive), although the original plans intended the seawall and the filling process to continue along the east side of the island all the way to Anastasia Boulevard.

After the collapse of the Florida land boom, some of the lots in Davis Shores changed hands many times. A few houses were built, and eventually the U.S. Coast Guard occupied part of the island during World War II. Some of the buildings at and near The Conch House Motel and Restaurant on Comares Avenue, a southern continuation of Inlet Drive, were originally the Coast Guard installation. By the early 1950s, home construction began again in earnest on Anastasia Island. The sounds of hammers and saws were ubiquitous. By the mid-1950s, many lots supported houses and many children played in the dirt streets. Other than Oglethorpe Boulevard, most of the streets were loose coquina and sand.

The lots located on the east side of Inlet Drive south of the beach were created during the 1970s through filling. The apartment complex a little further south was built in the early 1960s. Farther south on Comares Avenue, an extension of Inlet Drive which begins at Oglethorpe Boulevard, is the Conch House complex, which was originally part of the Coast Guard installation during World War II. All of the lots south of the beach have seawalls, which were apparently constructed one segment at a time in conjunction with the construction of the adjacent structures. None of these seawalls are visible in the aerial photographs (Figures 4 and 5), which show a white sand beach extending southward from 151 Inlet Drive. The aerials date from 1953 and 1963.

The Story of the Little Beach

During its history the small beach located on Inlet Drive has been referred to by different names, usually whatever specific children and families chose to call it. Other than “Little Beach” it was also referred to as “Fiddlers Beach” by some children, because of the preponderance of fiddler crabs living there.

During the 1950s, the “Little Beach” on Inlet Drive served as a play area for many of the island children. There was no seawall of any kind on the beach then, and little rubble and rip-rap, if any, was present. The oyster bed that is there today had not formed yet, although swimming did require shoes to avoid being cut by individual oyster shells. A few children swam there in the early 1950s, even though St. Augustine’s raw sewage was being dumped directly into the bay at the time.

Figure 1 illustrates that lots had originally been platted in the water, apparently in preparation for continuing the seawall and filling behind it in 1925 – 26. These nine parcels, numbers 73 through 81, are in City ownership today, along with the adjacent Inlet Drive right-of-way. As shown in Figure 6, a Sanborn Insurance map prepared in 1960, several houses and an apartment building had been built in front of the beach by 1960. All of the lots on the south side of Inlet Drive supported homes, some of which are still there. The beach area has always been used by people living in the neighborhood. Today most people visit briefly to take in the view, or to watch birds or dolphins; although some visitors do launch kayaks and wind surfers there, and fishermen occasionally use the beach.

Personal Interviews

Several adults who grew up in the area and have specific memories of the beach were interviewed for this project. All are between the ages of 62 and 76, and all have personal knowledge of the beach throughout their lives. They have visited the beach intermittently for over fifty years, and some continue to do so today. The interviews took place between September 1 and September 26, 2018.

Marsha Chance (age 72)

Former and present address – 415 Arredondo Avenue

Time at this address – 1949 until 2018

Marsha is the author of this document and is an archaeologist and a preservation consultant. Her home is approximately 2.5 blocks from the beach. In her youth, she and all of the children of the neighborhood rode their bicycles past the beach to R. B. Hunt Elementary School and back, often stopping for a breather and to ponder the fiddler crabs. She has periodically visited the beach throughout her life since she was about eight years old. No formal seawall has ever been observed in this location by Ms. Chance, although stacked linear masonry is present. At times through the years, the masonry has been covered by sand and shells more than it is today.

Sheila Bacon Greenleaf (age 63)

Former address – 142 Inlet Drive (directly across from the beach)

Time at this address – 1954 until 1972

Sheila spent a great deal of time on the beach while growing up, often fishing there through the 1960s. She also fished from the corner of the extant seawall and the bulkhead on the lot designated 151 Inlet Drive, in the company of one of the children who lived in that house. She stated that there was some rip-rap on the beach in the 1960s, but never a formal seawall. She remembers that a linear stack of masonry did appear at some point, and that it did not originally extend the full length of the beach, but stopped about halfway to the south. At the time she thought that the rip-rap was dumped there as debris related to the ongoing house construction in the neighborhood. She also stated that the area south of the beach, where houses now stand on the east side of Inlet Drive between Arpieka Avenue and Oglethorpe Boulevard, was filled in during the 1970s, prior to the construction of some of the houses still there. She recalled that those lots were additionally filled on the seaward side later in time. Two houses have been constructed on two of those lots in the last two years.

Melinda Lang Hilsenbeck (age 71)

Former address – 83 Comares Avenue, Apartment 1A

Time at this address – June 1965 until August 1982

Melinda visited the beach primarily during her elementary school years. At that time it was “slimy mud” with a few oyster shells and little notable rip-rap or rubble. As children, she and her friends cooked out on the beach. She has continued to visit the beach until the present, with the exception of a 6-year gap from 1984 until 1991. She stated that there was never a constructed seawall on the beach.

Lucy Lang (age 68)

Former address – 83 Comares Avenue, apartment 1A

Time at this address – June 1965 until August 1982

Lucy says that she spent time on the beach looking for crabs when she was younger. Later she and her friends went there to just walk around and hang out. She smoked her first cigarette there. She says that she has no memory of a seawall.

Bonnie Chance McCrea (age 62)

Former address – 415 Arredondo Avenue

Time at this address – 1956 until 1980

Bonnie stated that she is quite certain that the streets of North Davis Shores were paved sometime between September, 1964 and June, 1965. This was after Hurricane Dora of September, 1964. She entered the third grade at R.B. Hunt School in 1964. While walking home from school one day that year, she and a friend walked through the wet asphalt, splashing it onto their legs and dresses. That day became a well-remembered experience because of the problems that the asphalt caused. She believes that the width of the soil between the beach itself and Inlet Drive was much wider prior to Hurricane Dora.

Penny Rolleston (age 71)

Former address – 1 Avista Circle

Time at this address – 1952 until 1967

Penny often went to the little beach to sit and walk around, especially as a teenager. She does not remember much rip-rap or a seawall.

John Thorpe (age 74)

Former address – 136 Inlet Drive (directly across from beach)

Time at this address – 1957 until 2018 (now his brother's residence)

John discussed how they used to walk "right down to the water all the time," and sometimes cut their feet on oyster shells that had washed up. The beach was sandier then. There were grasses present, and no seawall of any kind in the early days. John's brother Toby continues to live at 136 Inlet Drive today.

Toby Thorpe (age 76)

Former and present address – 136 Inlet Drive (directly across from the beach)

Time at this address – 1957 until 2018

Toby stated that there was never a formal seawall along the beach, because Davis quit building it when the Florida land boom collapsed. He said that he is "sketchy" on the precise year that the City placed the "stacked masonry" in a wall-like pattern, but he believes it was either after Hurricane Donna (1960) or

Hurricane Dora (1964); and/or that the pieces were placed there approximately when the streets were paved for the first time, which was also in the 1960s. He said it functioned fairly well for a while, but fell into disrepair in the late 1980s. It has never been maintained. Mr. Thorpe is a retired architect who lives in the Inlet Drive home purchased by his parents in 1957.

Aerial Photographs and the Sanborn Map

A Sanborn Insurance map compiled in 1960 shows the houses adjacent to the beach at that time (Figure 6). Most interesting however, is the fact that the end of the seawall constructed in 1925 – 26 is quite evident, forming the east boundary of the lot with the address of 151 Inlet Drive. Up to that point, the seaward lot boundaries are shown as a uniform line. After that point and moving southward, the seaward line is shown as a wavy line, representing the beach east of Inlet Drive. It appears much as it does today.

A collection of historical aerial photographs has been assembled and included herein as Figures 7 through 9. Flown in the years 1942, 1952, and 1960, they show essentially the same pattern as seen on the 1960 Sanborn map. The formal seawall ends at the southern edge of the last lot on the east side of Inlet Drive. The address is 151 Inlet Drive. These aerials also do not show any seawalls south of the project area, although they do exist today. Further historical research would probably yield the exact dates of their construction. It is the opinion of the author that segments of the southernmost seawall were built periodically, in conjunction with adjacent building construction. This formal seawall extends from the south end of Little Beach to the south end of the large condominiums now located on Comares Avenue, which is the southern extension of Inlet Drive.

Conclusions

In 1926, D.P. Davis built a substantial and well-engineered poured concrete seawall around portions of the northern and western boundaries of Anastasia Island. He originally intended to build much more seawall to the south and southeast. He dredged sand from Matanzas Bay, filled in behind the new seawall segments, and began to lay out streets, curbs and gutters, sidewalks and houses, and apartments. Early in the process the Florida Land Boom collapsed and the Davis Shores development ground to a halt for several years. The seawall on the east side of the development was terminated at the south end of the lot designated 151 Inlet Drive as shown in Figures 4 through 9. This lot flanks Little Beach on the north end.

A study of the 1960 Sanborn Insurance map, and of the aerial photographs included herein, indicate the absence of a formal seawall on Little Beach. By the mid to late 1950s, the lots across the street from the beach each supported a home. Longtime residents of some of those homes, as well as others who lived nearby as children and teenagers, spent time on the beach during the 1950s, 60s, and 70s. Personal interviews with eight of these individuals were conducted for the purpose of this investigation. It is important to note that when the “locals” are asked about the presence or absence of a seawall along the beach, their definition of a “seawall” refers to the formal type of major, engineered seawall construction originally built by D.P. Davis in 1926. They do not consider the stacked linear pieces of previously used

masonry material now evident on the beach to be anything other than more of the debris typically dumped on the beach throughout the decades.

Of the eight interviewees, two grew up in homes across Inlet Drive from the beach, specifically at numbers 136 and 142. Both Sheila Bacon Greenleaf and Toby Thorpe have stated that they believe the City placed the “stacked masonry” on the beach sometime in the 1960s, perhaps after a hurricane, and at about the same time that the streets on Davis Shores were paved. A recent examination of the linear masonry revealed that many of the pieces are remnants of a poured curb and gutter of the type originally built in Davis Shores. These were apparently removed when the streets were paved in 1964 or 1965, which was after Hurricane Dora. These pieces are of cement with a dense coquina shell aggregate included. The original sidewalks in Davis Shores are still present and are of the same material, and identical curb and gutter segments are still present on Oglethorpe Boulevard. This type of masonry material was made in St. Augustine and was ubiquitous for a time. Many very heavy, footed planters of this material could be seen on local front porches during the mid-twentieth century, and hollow construction blocks were also molded from it.

Historic structures and sites older than 50 years may be determined historically significant and can potentially be listed on the National Register of Historic Places. Significant structures and sites that are to be impacted by modern construction or other actions must be subjected to an evaluation, and then either preserved or mitigated. The reused stacked masonry located on Little Beach was apparently placed there by the City between forty-eight and fifty-eight years ago. The material does not represent a formal, constructed seawall, is not held together by any mortar, and does not exhibit any poured or formed elements. The stacked masonry is composed of various types of large concrete construction debris, pieces of local coquina, pieces of brick wall, and pieces of locally produced curb and gutter, as described previously. Therefore, not being a formal structure designed and built with purpose and intent, the stacked, reused masonry does not meet any of the previously listed criteria for significance and cannot be considered historically significant.

It is recommended that the City proceed with plans to construct protective elements along Little Beach without further concern for the stacked masonry. It is also recommended that if the stacked masonry is dismantled by the City, the coquina and possibly the curb and gutter segments be stored and reused whenever possible.

References Cited

Advisory Council on Historic Preservation

2000 Introduction of Section 106 Review ACHP. Washington.

Bowen, Beth Rogero

2010 *Bridge to a Dream: Building the Bridge of Lions and Davis Shores, 1925 – 26*. The St. Augustine Historical Society. St. Augustine, Florida.

Greenleaf, Sheila Bacon

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Hilsenbeck, Melinda Lang

2018 Personal Communication.

Lang, Lucy

2018 Personal Communication.

McCrea, Bonnie Chance

2018 Personal Communication.

Rolleston, Penny

2018 Personal Communication.

Thompson, Pierre

2009 Personal Communication to Beth Bowen.

Thorpe, John

2018 Personal Communication.

Thorpe, Toby

2018 Personal Communication.

APPENDIX A

List of Figures

- Figure 1 Inlet Drive Project Boundary
- Figure 2 Stacked Masonry Showing No Mortar as a Partial Layer of
Used Bricks, View to West
- Figure 3 Various Rubble, Rip-rap- and Remnants of Stacked Masonry,
View to South
- Figure 4 1953 Aerial Photograph, View to WSW
- Figure 5 1963 Aerial Photograph, View to ESE
- Figure 6 Sanborn Insurance Map, 1960, View to East
- Figure 7 1942 Aerial Photograph
- Figure 8 1952 Aerial Photograph
- Figure 9 1960 Aerial Photograph

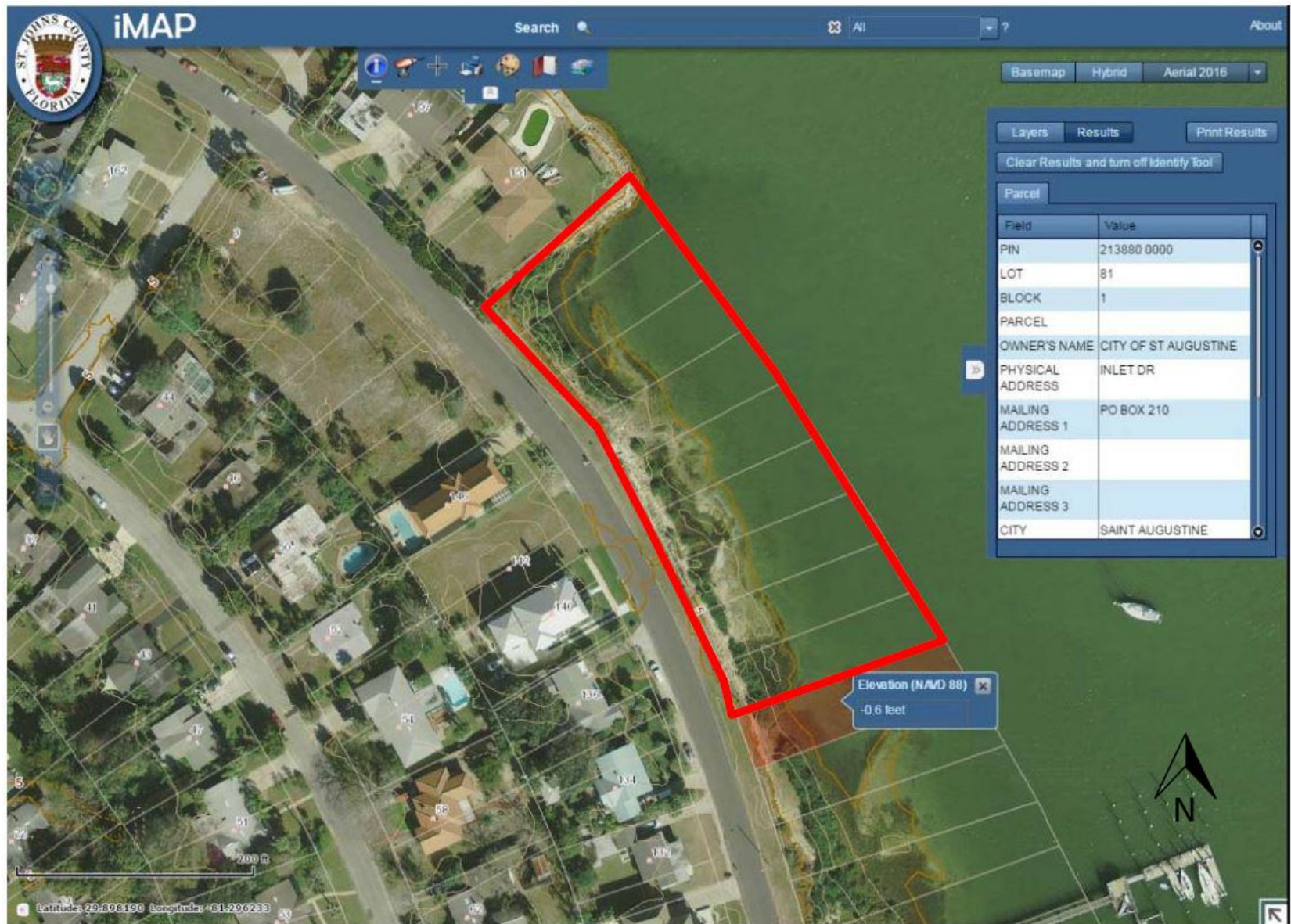


Figure 1 - Inlet Drive Project Boundary



Figure 2 - Stacked masonry showing no mortar and a partial layer of used bricks, view to west



Figure 3 - Various rubble, rip-rap, and remnants of stacked masonry, view to south



Figure 4 - 1953 Aerial Photograph, View to SW.



Approx. Project Area

Figure 5 - 1963 Aerial Photograph, View to ESE.

100
AUGUSTINE, FLA.
PR. 1930

36

"A"

APR. 1960

YELLOW COLOR IS OMITTED IN DESIGNATING FRAME
AND VENERED RESIDENTIAL BUILDINGS IN KEEPING
WITH CURRENT MAPPING PRACTICE

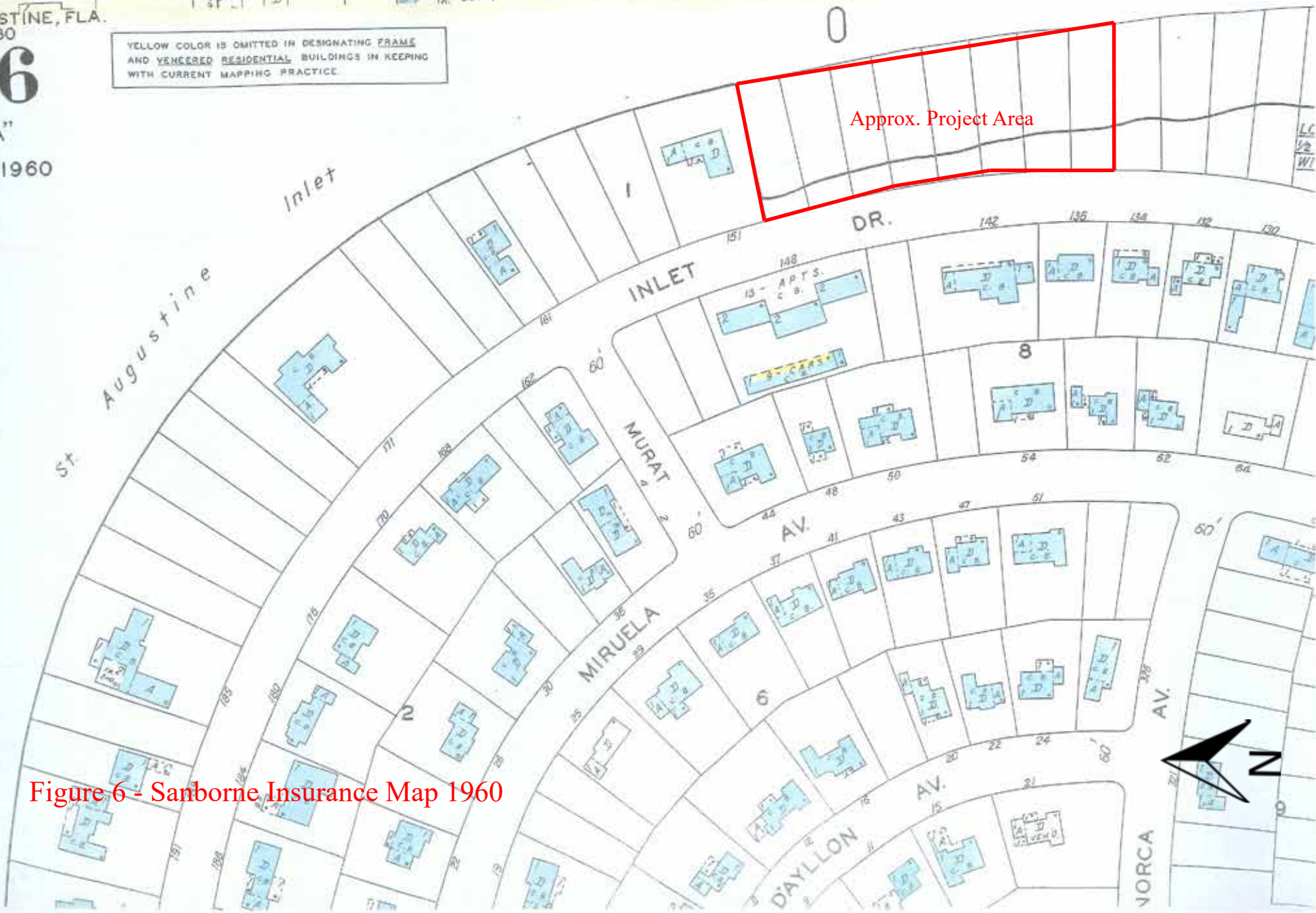
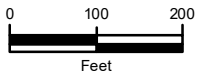


Figure 6 - Sanborn Insurance Map 1960



Legend

 Project Area



Sources: UF Smathers Library Aerial Photography
Information represented on this map is for planning purposes only.

1942 Aerial Photograph

Inlet Drive



Date: Oct 12 2018

St. Augustine, FL

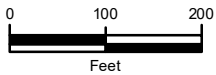
Figure:

7



Legend

 Project Area



Sources: UF Smathers Library Aerial Photography
Information represented on this map is for planning purposes only.

1952 Aerial Photograph

Inlet Drive

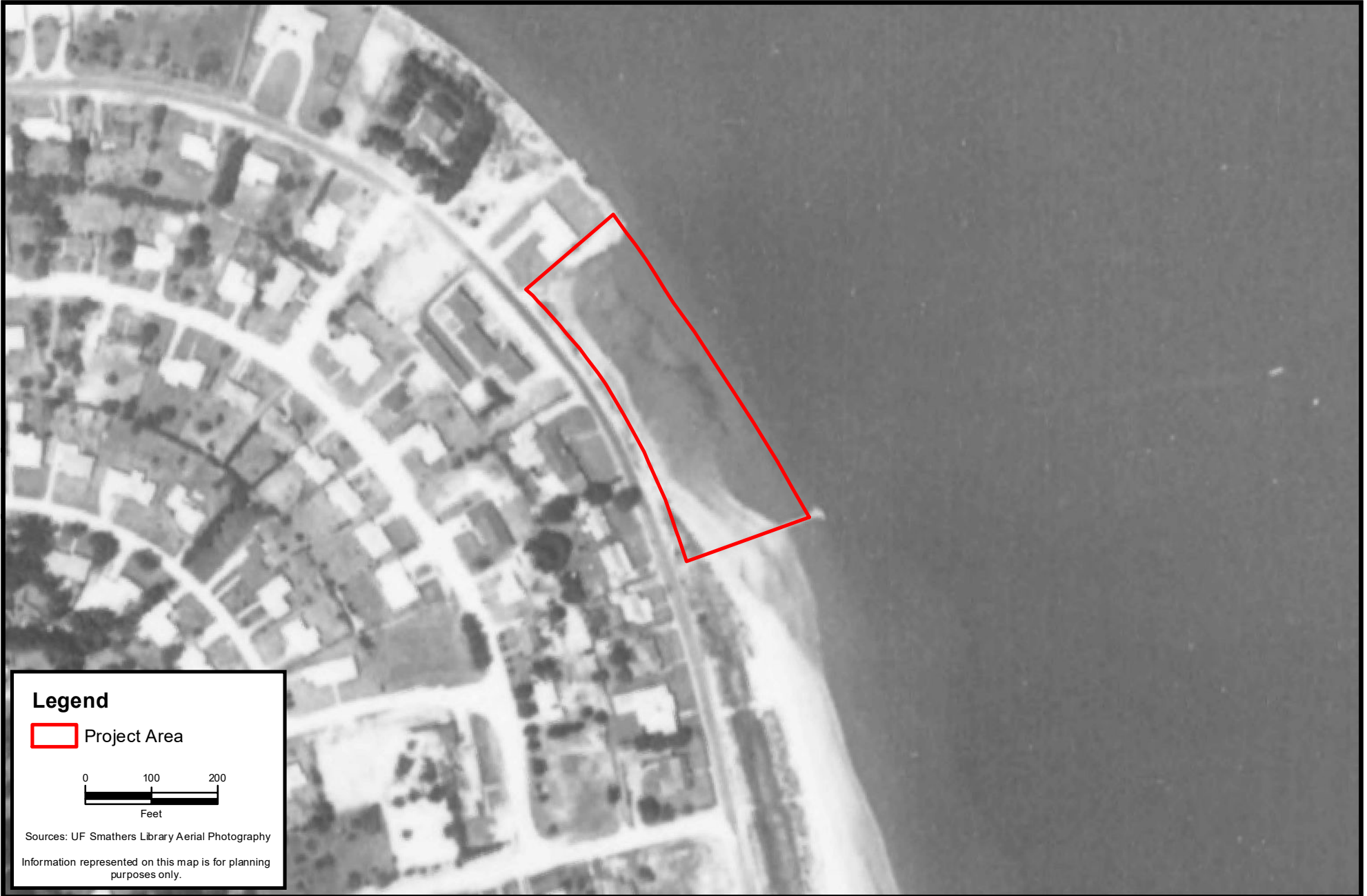


Date: Oct 12 2018

St. Augustine, FL

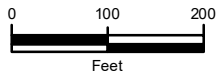
Figure:

8



Legend

 Project Area



Sources: UF Smathers Library Aerial Photography
Information represented on this map is for planning purposes only.

1960 Aerial Photograph

Inlet Drive



Date: Oct 12 2018

St. Augustine, FL

Figure:

9

Attachment 6:
ACOE Permit



DEPARTMENT OF THE ARMY
U.S. ARMY CORPS OF ENGINEERS, JACKSONVILLE DISTRICT
701 SAN MARCO BOULEVARD
JACKSONVILLE, FL 32207-8137

August 20, 2025

Regulatory Division
North Permits Branch
Jacksonville Section
SAJ-2025-01944 (NPR-ANS)

Jessica Beach
City of St. Augustine
75 King Street
St. Augustine, FL 32085
Email: jbeach@citystaug.com

Dear Ms. Beach:

Reference is made to the application received on July 3, 2025, for a Department of the Army permit to 1) construct a retaining wall adjacent to Inlet Drive between the addresses of 117 and 151 Inlet Drive. 2) Remove existing concrete riprap rubble located landward of an existing coquina seawall and install new riprap between the proposed retaining wall and coquina sea wall. 3) Remove an existing drainage pipe and structures located within Inlet Drive roadway right-of-way (ROW) and install a new stormwater pipe (same footprint). 4) Remove existing wood decking located adjacent to Inlet Drive and existing coquina seawall. 5) Remove portion of existing coquina headwall, located near 151 Inlet Dr. All proposed work would be landward of the mean high-water line and high tide line and would not result in the discharge of dredge or fill material into Waters of the United States. The proposed project site is located along Inlet Drive, St. Augustine, St. Johns County, Florida. The application has been assigned the file number SAJ-2025-01944 (NPR-ANS).

Section 10 of the Rivers and Harbors Act of 1899

The project as proposed will not require a Department of the Army permit in accordance with Section 10 of the Rivers and Harbors Act of 1899 as it is not located within a navigable water of the United States.

Section 404 of the Clean Water Act

The U.S. Army Corps of Engineers (Corps) has determined that the proposed project will not require a Department of the Army permit in accordance with Section 404 of the Clean Water Act as the proposed discharge of dredged or fill material would not occur within the delineated boundaries of any aquatic resource identified on-site, as depicted in the enclosed figure. Provided the work is done in accordance with the enclosed drawings, Department of the Army authorization will not be required.

This NPR does not address nor include any consideration for geographic jurisdiction and shall not be interpreted as such.

Additionally, your project site may contain species protected by the Endangered Species Act (ESA) of 1972, as amended. You should contact your local U.S. Fish and Wildlife Service (FWS) office to determine if federally listed species or their habitat are present on your project site. If it is determined that federally listed species may be affected by the proposed project, authorization for "incidental take" may be required. FWS can be contacted by emailing FW4FLESRegs@fws.gov.

This letter does not obviate the requirement to obtain any other Federal, State, or local permits that may be necessary for your project. Should you have any questions, please contact Amber Stroble at the letterhead address or by telephone at 904-860-7365.

Thank you for your cooperation with our permit program. The Corps Jacksonville District Regulatory Division is committed to improving service to our customers. We strive to perform our duty in a friendly and timely manner while working to preserve our environment. We invite you to take a few minutes to visit <http://per2.nwp.usace.army.mil/survey.html> and complete our automated Customer Service Survey. Your input is appreciated – favorable or otherwise. Please be aware this web address is case sensitive and should be entered as it appears above.

Sincerely,

Amber Stroble
Project Manager

Cc:

Agent, Jennifer Brinkworth, SWCA Environmental Consultants, jennifer.brinkworth@swca.com

Enclosure

1. Drawings



CITY OF
ST. AUGUSTINE
EST. 1565

INLET DRIVE SHORELINE RESILIENCY DESIGN

FOR

CITY COMMISSION



CITY OF ST. AUGUSTINE, FLORIDA

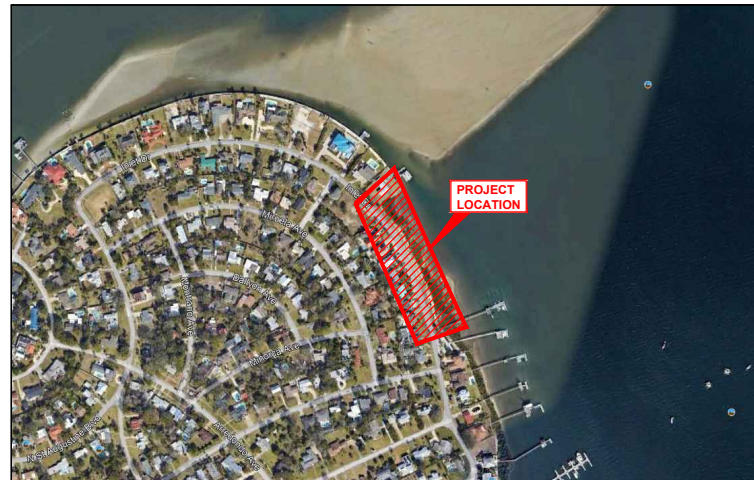
NANCY SIKES-KLINE - MAYOR
BARBARA BLONDER - VICE MAYOR
CYNTHIA GARRIS - COMMISSIONER
JIM SPRINGFIELD - COMMISSIONER
JOHN DePRETER - COMMISSIONER
STEPHEN SLAUGHTER, PE - DIRECTOR,
UTILITIES & PUBLIC WORKS
JESSICA BEACH, PE - CITY CHIEF RESILIENCY OFFICER,
DEPUTY DIRECTOR, PUBLIC WORKS & UTILITIES
& CITY PROJECT MANAGER

PROJECT OWNER AND CONSULTANTS

OWNER: City of St. Augustine
Ms. Jessica Beach
P.O. Box 210
St. Augustine, FL 32085
TEL: 904-209-4227

SURVEYOR: DRMP
Terry M. Durden
2804 N. Fifth St., Unit 101
St. Augustine, FL 32084
TEL: (904) 824-3086

ENGINEER: Tocol Engineering
a Baxter & Woodman Company
James L. Pearce, P.E.
405 Golfway West Drive, Suite 106
St. Augustine, FL 32095
TEL: 815-459-1260



LOCATION MAP
N.T.S.



INDEX OF DRAWINGS

1	COVER SHEET
2A-2D	NOTES, QUANTITIES, & COSA DETAILS
3A-3D	EXISTING GROUND & DEMOLITION PLAN
4	CONSTRUCTION EASEMENTS
5A-5D	GEOMETRY & DRAINAGE PLANS
6A-6D	PAVING & DRAINAGE DETAILS
7A-7I	SECTION PROFILES & CROSS SECTIONS
8	UTILITY PLAN
9A-9B	SEAWALL DETAILS

B&W JOB NO: 2401975
TE JOB NO: 23-660
CLIENT CODE: STAUG



CALL BEFORE YOU DIG
800-432-4770



405 GOLFWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32095
TEL: 815-459-1260 E.B. NUMBER: 26383

PRELIMINARY - NOT FOR CONSTRUCTION

PERMIT PLANS
July 17, 2025

JAMES L. PEARCE, P.E.
FLA. REGISTERED ENGINEER, #46390
I CERTIFY THAT THIS DRAWING IS IN COMPLIANCE WITH THE STANDARDS
ESTABLISHED IN SECTION 62B-33.0051(2)(C), FLORIDA ADMINISTRATIVE CODE.

Date: 7/17/25 AM 10:15 AM DWG Name: P:\STARS\2401975-Intl Drive Shoreline Resiliency (1) (1) - Multiple Work Types (1) (1) - CAD\01_23-660_SEAWALL COVER SHEET - ST. JOHNSCAMP Layout Cover

CITY OF ST. AUGUSTINE REQUIRED NOTES:

SUBMITTAL OF AS-BUILT SITE SURVEY, INCLUDING BENCHMARKS IS REQUIRED IN COMPLIANCE WITH THE ST. AUGUSTINE LAND DEVELOPMENT CODE, (AS-BUILTS) OF THE DEVELOPMENT REVIEW MANUAL, PRIOR TO SCHEDULING A FINAL INSPECTION OF THE WORK.

CITY OF ST. AUGUSTINE DEVELOPMENT REVIEW INSPECTOR SHALL BE CONTACTED 24 HOURS PRIOR TO ALL NECESSARY SITE WORK INSPECTIONS AND 5 DAYS PRIOR TO THE FINAL INSPECTION.

GENERAL NOTES:

1. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY DRMP, 2804 N. FIFTH ST., UNIT 101, ST. AUGUSTINE, FL 32084, (904) 824-3086.
2. TOCOI ENGINEERING AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.
3. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE CITY OF ST. AUGUSTINE SITE WORK SPECIFICATIONS.
4. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
5. WARRANTY / DISCLAIMER THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS. NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.
6. FOR BOUNDARY, ROADWAY AND BUILDING GEOMETRY INFORMATION SEE ENGINEERING SITE PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BUILDING DIMENSIONS SHOWN ON THE ENGINEERING PLAN AGREES WITH THE DIMENSIONS SHOWN ON THE ARCHITECTURAL PLAN. IF ANY DIMENSIONS DO NOT AGREE, THE ARCHITECT, ENGINEER AND OWNER SHALL BE NOTIFIED AND THE DIMENSIONS ADJUSTED PRIOR TO COMMENCING WITH CONSTRUCTION.
7. ALL CONSTRUCTION IN THE CITY OF ST. AUGUSTINE RIGHT-OF-WAY SHALL BE COORDINATED WITH THE PUBLIC WORKS DEPARTMENT. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION FOR VERIFICATION AND LOCATION OF ALL UTILITIES.
8. CONTRACTOR SHALL FURNISH SHOP DRAWINGS TO ENGINEER INDICATING MATERIALS AND MANNER OF INSTALLATION FOR ALL COMPONENTS OF THE PROJECT PRIOR TO PURCHASE OF MATERIALS AND CONSTRUCTION.
9. THESE ENGINEERING DRAWINGS MAY NOT SHOW ALL OF THE CITY OF ST. AUGUSTINE STANDARD DETAILS REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY THAT THE CONSTRUCTION, OUTSIDE THE U.S. 1 ROW, BE IN ACCORDANCE WITH ALL CURRENT CITY OF ST. AUGUSTINE STANDARD DETAILS AND SPECIFICATIONS. THE CONTRACTOR MAY OBTAIN A COPY OF THE CITY OF ST. AUGUSTINE, FLORIDA STANDARD DETAILS AND SPECIFICATIONS FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO BEGINNING CONSTRUCTION.
10. ALL CONTRACTORS SHALL FURNISH CERTIFIED "AS-BUILTS", SEE AS-BUILT REQUIREMENTS ON THIS SHEET.
11. CONTRACTOR SHALL VERIFY AND PROTECT ALL EXISTING TREES AND NATURAL VEGETATION THAT ARE TO REMAIN UNDISTURBED. THE AREAS INDICATED FOR CONSTRUCTION SHALL BE CLEARED AND GRUBBED TO REMOVE ALL ROOTS AND MISCELLANEOUS VEGETATION EXCEPT SPECIFIC TREES THAT SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION WITH THE USE OF TREE BARRIERS. TREES TO BE PRESERVED ARE FLAGGED, CONTRACTOR SHALL VERIFY BEFORE THE START OF CONSTRUCTION.
12. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF OSHA SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY INJURIES OF HIS EMPLOYEES, AND ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COSTS ASSOCIATED WITH COMPLYING WITH OSHA REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE INCLUDED IN THE CONTRACTORS BID.
13. ALL IMPROVEMENTS SHOWN ARE TO BE WARRANTED BY THE CONTRACTOR TO THE DEVELOPER FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. IF THE WORK IS IN THE CITY RIGHT-OF-WAY OR EASEMENT, THE CONTRACTOR'S ONE YEAR WARRANTY SHALL EXTEND TO THE CITY OF ST. AUGUSTINE.
14. THE CONTRACTOR WILL CONTRACT WITH AN INDEPENDENT TESTING LABORATORY TO PERFORM MATERIAL TESTING AND SOIL TESTING IN ACCORDANCE WITH THE CITY REQUIREMENT AND THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT. THIS SHALL INCLUDE DENSITY TESTING IN ALL PAVEMENT AREAS AND BUILDING PADS AND IN THE UTILITY TRENCHES LOCATED IN PAVEMENT AREAS, CONCRETE TESTING AND ALL OTHER MATERIAL TESTING. PRIOR TO LIMEROCK PLACEMENT, THE PROJECT GEOTECHNICAL ENGINEER SHALL MAKE RECOMMENDATIONS FOR UNDERDRAIN PLACEMENT.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE REQUIRED FOR THE PROJECT, INCL. THE CITY OF ST. AUGUSTINE RIGHT-OF-WAY PERMITS FOR WORK IN THE COUNTY RIGHT-OF-WAY OR EASEMENT.
16. THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN COUNTY OR STATE RIGHT-OF-WAY WITH THE PROPER AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION AND REPAIR.
17. THE CONTRACTOR SHALL PROVIDE NO LESS THAN A 6 INCH CLEARANCE BETWEEN ALL UTILITIES OTHER THAN WATER MAINS, WHICH SHALL . BE TO COUNTY HEALTH DEPARTMENT PERMIT CONDITIONS.

18. THESE PLANS DO NOT STAND BY THEMSELVES. BID DOCUMENTS, THE CITY UO WATER AND SEWER STANDARDS DETAILS & MATERIALS, SJC STANDARD SPECIFICATIONS & DETAILS AND ANY OTHER STANDARDS, LISTED OR REFERENCES, ARE INCLUDED IN THE PROJECT DOCUMENTS.

GRADING AND DRAINAGE NOTES:

1. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS AT CONNECTION POINTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
2. SEE GEOTECHNICAL REPORT FOR SITE PREPARATION REQUIREMENTS.
3. THE CONTRACTOR SHALL COORDINATE THE GRADING AND DRAINAGE CONSTRUCTION WITH ALL OTHER CONSTRUCTION.
4. CONTRACTOR SHALL FURNISH SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO BEGINNING CONSTRUCTION.
5. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM WITH ALL CITY OF ST. AUGUSTINE STANDARDS.
6. THE CONTRACTOR SHALL STAKE THE STORM SEWER SYSTEM AND THE SANITARY SEWER SYSTEM AND SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS PRIOR TO INSTALLATION OF ANY PIPE.
7. THE EXISTING UTILITY FACILITIES AND LOCATIONS SHOWN ON THE DRAWINGS ARE TAKEN FROM READILY AVAILABLE INFORMATION. THE ACTUAL LOCATIONS OF THE UTILITY FACILITIES MAY VARY SOMEWHAT FROM THE LOCATIONS SHOWN AND THERE MAY BE UTILITY FACILITIES EXISTING THAT ARE NOT SHOWN OR INDICATED ON THE DRAWINGS. THE SITE UTILITY CONTRACTOR SHALL CONTACT ALL AGENCIES WITH UTILITY FACILITIES IN THE VICINITY OF THE WORK AND SHALL LOCATE ALL UNDERGROUND FACILITIES BEFORE BEGINNING WORK. THE CONTRACTOR SHALL PROTECT ALL UTILITY FACILITIES AND REPAIR ANY DAMAGES RESULTING FROM THEIR WORK. IN CONFORMANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS AND RELOCATE IF REQUIRED AT NO COST TO THE OWNER.
8. ALL UNDERGROUND UTILITIES SHALL BE INSTALLED PRIOR TO PREPARATION OF SUBGRADE FOR PAVEMENT.
9. IF ANY UNSUITABLE MATERIAL IS ENCOUNTERED THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUB-BASE, LIMEROCK AND CONCRETE TESTING AS REQUIRED BY THE PROJECT SPECIFICATIONS.
11. SLOPES OF NEW POND SHALL BE SODDED TO ONE FOOT (VERTICAL) BELOW NORMAL WATER LINE. ONE ROW OF SOD SHALL BE INSTALLED ALONG ALL EDGES OF PAVEMENT AT A MINIMUM. ALL DISTURBED AREAS WHICH ARE NOT SODDED SHALL RECEIVE GRASS SEED, FERTILIZER AND MULCH. SEE LANDSCAPE PLANS FOR OTHER REQUIREMENTS. LANDSCAPE PLANS HAVE PRIORITY OVER THIS NOTE.
12. STORMWATER COLLECTION SYSTEM DESIGN IS BASED ON THE 5-YEAR RETURN FREQUENCY STORM (SCS METHOD). STORMWATER DETENTION POND HAS BEEN DESIGNED TO ATTENUATE PEAK FLOWS FROM THE 100-YEAR CRITICAL RETURN FREQUENCY STORM. (SCS METHOD).
13. ALL RCP PIPE SHALL MEET THE REQUIREMENTS OF ASTM C-76 AND SHALL BE CLASS III, WALL B.
14. ALL PIPE LENGTHS ARE APPROXIMATE AND MEASURED TO THE CENTER OF STRUCTURE OR MITERED END SECTION. ACTUAL LENGTHS MAY VARY.
15. CONTRACTOR SHALL LIMIT EXCAVATION TO NO MORE THAN 6" IN PAVED AREAS AND 12" IN THE POND AREA.
16. DO NOT SCALE THESE DRAWINGS. USE DIMENSIONS ONLY.
17. A QUALIFIED SOILS LABORATORY SHALL BE ON SITE DURING EXCAVATING TO DETERMINE THE SUITABILITY OF THE EXISTING SUB-GRADE AND EXISTING ON-SITE MATERIAL PRIOR TO BEGINNING ANY FILLING OPERATION.
18. GRADING CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING, OR BY OTHER METHODS AS DIRECTED BY ENGINEER AND/OR OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
19. CONTRACTOR TO COORDINATE ALL WORK WITH OTHER UTILITY INSTALLATIONS NOT COVERED IN THESE PLANS (ELECTRIC, TELEPHONE, GAS, CABLE, ETC) AND ALLOW FOR THEIR OPERATIONS AND CONSTRUCTION TO BE PERFORMED.
20. CUT AND FILL SLOPES ARE NOT TO EXCEED 4:1 UNLESS OTHERWISE NOTED.
21. CONTRACTOR SHALL REPAIR OR REPLACE IN-KIND ANY DAMAGE THAT OCCURS AS RESULT OF HIS WORK.
22. ALL SOILS TEST REPORTS TO BE SUBMITTED TO PROJECT ENGINEER.
23. THE CONTRACTOR SHALL COORDINATE CONNECTION WITH SITE PIPING AND BUILDING PIPING.
24. ALL AREAS SHOWN TO BE FILLED SHALL BE CLEARED AND GRUBBED IN ACCORDANCE WITH CITY STANDARDS AND SHALL BE FILLED WITH CLEAN STRUCTURAL FILL COMPACTED AND TESTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
25. ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR.
26. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED AND PRESERVED.
27. BURNING SHALL NOT BE PERMITTED.

28. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER AND THE CITY, IF REQUIRED, ON ALL MATERIALS, FOR REVIEW AND APPROVAL, PRIOR TO PURCHASE OR FABRICATION OF ANY UTILITY PIPE OR STRUCTURE.

29. ALL PIPE LENGTHS ARE SCALED DIMENSIONS. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO CONFORM TO CITY REQUIREMENTS AND SHALL BE CONSTRUCTED TO CONFORM TO CURBING, PROPERTY LINES AND LOW POINTS AS SHOWN ON PLANS.

30. CONTRACTOR SHALL ENSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEAN AND FUNCTIONING PROPERLY AT TIME OF ACCEPTANCE.

31. ALL DRAINAGE PIPE JOINTS IN CITY DRAINAGE EASEMENTS AND DRAINAGE RIGHT-OF-WAYS ARE TO BE FILTER-WRAPPED.

32. ALL INVERTS IN DRAINAGE STRUCTURES TO BE PRECAST OR BRICK WITH LAYER OF MORTAR BETWEEN EACH LAYER OF BRICK, OR REDDI-MIX CONCRETE WITH #57 STONE.

33. THE CONTRACTOR SHALL RESTORE ALL CULVERTS, HEADWALLS AND STORM DRAIN INLETS REMOVED OR DISTURBED BY THE CONSTRUCTION OPERATION. THE COST OF THESE ITEMS SHALL BE PROVIDED IN THE PRICE BID FOR FURNISHING AND INSTALLING ANY NEW ITEM CAUSING SUCH DAMAGE.

34. CORRUGATED POLYETHYLENE PIPE (CPP), SHALL BE PER AASHTO M252 OR 294 WITH SMOOTH INNER LINING TYPE S WITH BELL AND SPIGOT, SILT-TIGHT, RUBBER-GASKETED JOINTS.

AS-BUILT REQUIREMENTS

CONTRACTOR SHALL PROVIDE COMPLETE AS-BUILT INFORMATION TO THE PROJECT ENGINEER IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS: AS-BUILT DRAWINGS SHALL BE PREPARED IN AUTOCAD FORMAT BY A REGISTERED LAND SURVEYOR.

1. ONE SET OF SIGNED MYLARS AND A SET OF COMPUTER DISKS OF THE PROJECT SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. SIGNED AND SEALED PRINTS SHALL BE PROVIDED TO THE ENGINEER AS REQUESTED.
2. AS-BUILT DRAWINGS SHALL BE IN ACCORDANCE WITH ALL AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL COORDINATE AS-BUILT SUBMITTALS AND APPROVALS WITH JURISDICTIONAL AGENCIES UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER.
3. PROVIDE BUILDING LOCATIONS, FINISH FLOOR ELEVATIONS, PAVEMENT GRADES AND ALL UNDERGROUND FACILITIES.
4. PROVIDE PERIMETER DIMENSIONS AT TOP OF BANK AND AT BOTTOM OF POND.
5. PROVIDE ELEVATIONS AT TOP OF BANK AND BOTTOM OF POND.
6. PROVIDE SPECIAL DETAIL DRAWINGS WHERE INSTALLATIONS WERE NOT AS SHOWN ON CONTRACT DRAWINGS DUE TO FIELD CONDITIONS OR WHERE REQUIRED FOR CLARITY.
7. PROVIDE LOCATION, ELEVATION AND DESCRIPTION OF BENCHMARK(S).
8. LOCATE AND PROVIDE ELEVATIONS OF ALL STRUCTURES. LOCATION OF ALL STRUCTURES SHALL BE FROM TWO (2) DIRECTIONS.
9. LOCATE ALL PIPES AND PROVIDE SIZE, ELEVATION, INVERT ELEVATIONS, LENGTH AND TYPE.
10. PROVIDE DIMENSIONS AND ELEVATIONS OF THE POND OUTFALL STRUCTURE(S).
11. WATER AS-BUILTS SHALL INDICATE THE LOCATION OF BACTERIOLOGICAL SAMPLE POINTS. SAMPLE POINTS SHALL BE INDICATED IN RED OR PINK.
12. THE AS-BUILTS SHALL INCLUDE A DETAIL OF EVERY CROSSING OF THE NEW WATER MAIN WITH GRAVITY SEWERS, FORCE MAINS AND STORM PIPES CLEARLY SHOWN & INDICATING THE VERTICAL CLEARANCES AT EACH CROSSING. DETAILS SHALL BE FURNISHED FOR PARALLEL RUNS WHERE THE HORIZONTAL SEPARATION IS LESS THAN 10 FEET.
13. THE CENTERING OF UNCLUT LENGTHS OF PIPE AT POINTS OF CROSSING SHALL BE DOCUMENTED ON THE AS-BUILTS AND ALL MITIGATING CONSTRUCTION MEASURES CLEARLY DEPICTED IN CASES WHERE A MINIMUM OF 18" OF VERTICAL CLEARANCE BETWEEN THE WATER AND SEWER (INCLUDING STORM) LINES IS NOT POSSIBLE.

TOCOI Engineering
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105 COWWAY WEST DRIVE SUITE 106, ST. AUGUSTINE, FL 32086
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ENGINEER OF RECORD
JAMES L. PEARCE
FLORIDA
REGISTRATION NUMBER:
46390

INLET DRIVE SHORELINE RESILIENCY DESIGN
FOR
CITY OF ST. AUGUSTINE

PRELIMINARY GROWTH AND CONSTRUCTION

SHEET NO.
2A

GENERAL NOTES

- THE CITY OF ST. AUGUSTINE (C.O.S.A.) STANDARDS AND SPECIFICATIONS DESIGN MANUAL AND DETAILS, LATEST EDITION, SHALL PRECEDE THESE NOTES AND THIS PLAN SET ARE NOT INTENDED TO BE ALL INCLUSIVE WITH REGARD TO ALL POSSIBLE CONSTRUCTION REQUIREMENTS FOR THIS PROJECT.
- THE C.O.S.A. STANDARDS MANUAL, DETAILS, AND UTILITY CONSTRUCTION AND DEDICATION REQUIREMENTS' (LATEST EDITIONS ARE AVAILABLE ONLINE, LINKS TO WHICH CAN BE FOUND ON THE PLANS; BIDDING AND REVISIONS' PAGE OF THE CITY'S WEBSITE, GO TO www.staugustine.com -> Forms, Applications & Docs -> Public Works Resources and Issues).
- A PRE-CONSTRUCTION MEETING IS REQUIRED WITH THE DEVELOPER AND/OR OWNER'S REPRESENTATIVE, THE ENGINEER OF RECORD, THE GENERAL CONTRACTOR, THE UNDERGROUND UTILITY CONTRACTOR, AND THE C.O.S.A. PRIOR TO THE START OF ANY CONSTRUCTION. A PRE-CONSTRUCTION MEETING WITH THE C.O.S.A. IS REQUIRED REGARDLESS OF OTHER AGENCIES REQUIREMENTS.
- FOR PRE-CONSTRUCTION MEETING REQUIREMENTS, REFER TO THE C.O.S.A.'S UTILITY CONSTRUCTION AND DEDICATION REQUIREMENTS' LATEST EDITION, PLAN AHEAD - PRE-CONSTRUCTION MEETING. APPROVAL OF PRE-CON SUBMITTAL TENDS IS REQUIRED PRIOR TO SCHEDULING THE PRE-CON MEETING.
- ALL WATER, SEWER, AND/OR RECLAIMED WATER SHALL BE PERFORMED BY A CONTRACTOR LICENSED UNDER THE PROVISIONS OF CHAPTER 489, FLORIDA STATUTES. A COPY OF THE CONTRACTOR'S GENERAL LICENSE AND/OR UNDERGROUND UTILITY LICENSE SHALL BE PROVIDED PRIOR TO THE PRE-CONSTRUCTION MEETING.
- STAKE AREAS FOR C.O.S.A. DEDICATION AND ACCEPTANCE REQUIREMENTS FOR UTILITIES, THE CITY MUST OFFICIALLY ACCEPT ALL UTILITIES TO BE DEDICATED TO THE CITY PRIOR TO INSTALLING ANY UTILITY. METERS AND/OR TO SIGN OFF ON ANY USE PERMIT OR CERTIFICATE OF COMPLIANCE. REFER TO THE C.O.S.A.'S UTILITY CONSTRUCTION AND DEDICATION REQUIREMENTS' LATEST EDITION, FOR SUBMITTAL REQUIREMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL REQUIRED DOCUMENTS ACCURATELY, DILIGENTLY AND IN A TIMELY MANNER. THE C.O.S.A. WILL NOT BE RESPONSIBLE FOR REQUESTING OR MANAGING SUBMITTAL OF THESE DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING THE SITE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL LOCATIONS AND ELEVATIONS, PROPERTY LINES AND LOCATIONS OF ALL EXISTING UTILITIES. CONSTRUCTION, CONSTRUCTION SHALL LOCATE, VERIFY, AND IDENTIFY ALL EXISTING UTILITIES AND UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS PRIOR TO ANY EXCAVATING ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES. IN THE EVENT OF NO ADDITIONAL COST TO THE OWNER OR C.O.S.A. (INCLUDING MEASURES SPECIFIED BY C.O.S.A. TO PROTECT EXISTING UTILITIES) DURING CONSTRUCTION OF ANY UTILITY OR COMPONENT BECOME DAMAGED OR REQUIRE RELOCATION, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE AFFECTED UTILITY CONTRACTOR AND PROVIDE A MINIMUM OF 72 HOURS TO THE CONTRACTOR SHALL ENSURE PROTECTION OF ALL EXISTING UTILITIES BY FOLLOWING THE COMMON GRROUND ALIANCE BEST PRACTICES, INCLUDING THE USE OF SHIELDING MATERIALS TO BE INSTALLED TO IN ADVANCE BY THE CITY CONTRACTOR SHALL COORDINATE UTILITIES LOCATES WITH SUNSHINE STATE ONE-CALL OF FLORIDA. SUNSHINE STATE ONE-CALL SHALL BE USED TO VERIFY THE CONTRACTOR SHALL VERIFY EACH UTILITY (INCLUDING ANY SERVICE LATERALS, I.E. WATER, SEWER, CABLE, GAS, ELECTRIC, PHONE, ETC.) AND THOSE WITHIN EACH PAVED AREA. VERIFICATION MAY BE PERFORMED UTILIZING GROUND PENETRATING RADAR, HAND DIGS OR SURFACE EXCAVATION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL RECORD ON THE DRAWINGS BOTH THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES AND PRE-EXISTING DEDICATION.
- THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO LOCATE, EXCAVATE AND PREPARE FOR CONNECTIONS TO THE TERMINUS OF THE C.O.S.A.'S EXISTING WATER OR SEWER SYSTEMS AT THOSE POINTS SHOWN ON THE DRAWINGS OR WHERE DIRECTED BY THE C.O.S.A. OR THE ENGINEER. ALL COSTS ASSOCIATED WITH THIS WORK AND FOR THE ACTUAL CONNECTION OF THE EXISTING MAINS SHALL BE INCLUDED IN THE BID FOR THE PROJECT AND SHALL NOT RESULT IN ANY ADDITIONAL COST TO THE C.O.S.A.
- THE CONTRACTOR SHALL FIELD VERIFY THE CONNECTION POINTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE REPORTED TO THE ENGINEER OF RECORD AND THE C.O.S.A. IMMEDIATELY.
- THE WATER AND/OR SEWER SYSTEM SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE C.O.S.A. APPROVED AND REVISED DETAILS AND SPECIFICATIONS. IF THERE IS ANY DEVIATION FROM THE APPROVED CONSTRUCTION DRAWINGS, DETAILS OR SPECIFICATIONS, WITHOUT PRIOR AUTHORIZATION AND APPROVAL FROM THE C.O.S.A., THE CONTRACTOR SHALL REMOVE THE DEVIATION AND RESTORE IT TO THE APPROVED CONSTRUCTION DRAWINGS. INTERFERENCES AT THE SITE SHALL BE IDENTIFIED AND REPORTED TO THE ENGINEER OF RECORD. ACCORDINGLY WILL DELAYS IN OBTAINING SERVICE, C.O.S.A. REFUSAL TO ACCEPT THE UTILITIES AND UNAUTHORIZED COSTS TO CONSTRUCTION OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE C.O.S.A. WILL NOT ALIEN THE CONTRACTOR FROM THE C.O.S.A. STANDARDS AND SPECIFICATIONS.
- EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED USING AVAILABLE MEANS. THE C.O.S.A. WILL NOT BE RESPONSIBLE FOR INCOMPLETE OR INADEQUATE SURVEY INFORMATION, AND ANY RESULTANT DELAYS AND COSTS.
- VERTICAL LOCATIONS OF ALL UTILITIES SHOWN ON THE PLANS HAVE BEEN REFERENCED TO A BENCH MARK NOTED ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE BENCH MARK LOCATION. EXISTING UTILITIES SHOWN ON THE PLANS SHALL NOTIFY THE ENGINEER IF LOCATION DIFFERS FROM THAT SHOWN ON THE PLANS BEFORE CONTINUING WITH CONSTRUCTION.
- SHOULD CONDITIONS WARE FROM THOSE SHOWN ON THESE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND THE C.O.S.A. PRIOR TO CONTINUING CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT SURVEY MARKERS, MONUMENTS, ETC. DURING CONSTRUCTION. THE CONTRACTOR SHALL RESTORE/REPLACE, AT NO ADDITIONAL EXPENSE TO THE OWNER, ANY DAMAGE DONE BY CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES CAUSED BY HIS OR HER OPERATIONS. ANY DAMAGE SHALL BE REPLACED/REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER OR THE C.O.S.A.
- THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION AND BUILDING PERMITS WITH ALL OTHER UTILITIES CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ANY UNSUITABLE MATERIAL FROM THE OPERATION, FURNISHING AND COMPACTING SUITABLE REPLACEMENT BACKFILL MATERIAL, SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- UNDESIRABLE MATERIALS UNDER WATER AND/OR SEWER MAINS SHALL BE REMOVED AND REPLACED WITH FINE SAND. THE CONTRACTOR SHALL BE RESPONSIBLE TO BOX OF MAXIMUM DENSITY. BACKFILL SHALL BE COMPACTED TO A MINIMUM OF ONE-FOOT (1') LITS. DENSITY TESTS SHALL BE PERFORMED AT THE END OF EACH 100' OF TRENCH.
- THE CONTRACTOR(S) SHALL NOTIFY ALL APPLICABLE UTILITIES COMPANIES, THE ENGINEER OF RECORD, THE PROPERTY OWNER, AND THE C.O.S.A. 72 HOURS PRIOR TO INITIATING ANY EXCAVATION ACTIVITIES, OR AS SPECIFIED BY THE UTILITIES COMPANIES AND THE PERMITS OBTAINED FOR THE WORK.
- THE ENGINEER OF RECORD AND THE C.O.S.A. SHALL BE GIVEN FORTY-EIGHT HOURS (48-HR) NOTICE OF ALL REQUESTED MEETINGS AND/OR TESTING MEASURES RELATED TO THE PROJECT.
- ALL WORK, MATERIALS, AND EQUIPMENT SHALL BE IN COMPLETE ACCORDANCE WITH ALL RELEVANT C.O.S.A. STANDARDS AND REQUIREMENTS AS WELL AS STATE AND LOCAL REGULATIONS.
- ALL UNDERGROUND UTILITY EQUIPMENT, MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CITY OF ST. AUGUSTINE (C.O.S.A.) STANDARDS AND SPECIFICATIONS DESIGN MANUAL, AND DETAILS, LATEST EDITION, AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, AND THE APPROVED PLANS.
- ALL UTILITY CROSSINGS SHALL COMPLY WITH F.D.E.P. REGULATIONS (CHAPTER 62-555.314, F.A.C.)
- ALL EXCAVATION ACTIVITIES NEAR EXISTING C.O.S.A. UTILITIES, CONTRACTOR SHALL RESTORE EXISTING PAVED SURF FROM DAMAGE AND SUPPORT PIPE AS NECESSARY. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE, AND THE EXISTING UTILITIES SHALL BE REPLACED/REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER OR THE C.O.S.A.
- LANDSCAPING TREES SHALL HAVE A MINIMUM OF 7.5 FEET SEPARATION FROM THE EDGE OF PAVEMENT TO THE EDGE OF THE TRUNK CANOPY.

CITY OF ST. AUGUSTINE (C.O.S.A.) WATER AND SEWER GENERAL NOTES

GENERAL NOTES (CONTINUED)

- ALL ROCK AND UNSUITABLE SOFT STONES (AS DESCRIBED IN APPLICABLE AWWA AND C.O.S.A. STANDARDS AND/OR PIPE MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES) FOUND IN TRENCHES FOR NEW AND RELOCATED PIPE SHALL BE REMOVED TO A DEPTH OF AT LEAST 50 (6) INCHES BELOW THE BOTTOM OF THE PIPE. UNDESIRABLE MATERIALS UNDER WATER AND/OR SEWER MAINS SHALL BE REMOVED TO A DEPTH OF AT LEAST 50 (6) INCHES BELOW THE BOTTOM OF THE PIPE. UNDESIRABLE MATERIAL SHALL BE TAMPED IN LAYERS AROUND THE NEW AND RELOCATED PIPES AND TO A SUFFICIENT HEIGHT ABOVE SUCH PIPE TO FULLY ENCASE THE PIPE WITH A MINIMUM OF 12 INCHES OF COVER.
- OPENINGS SHALL BE PROVIDED TO KEEP GROUNDWATER ELEVATION A MINIMUM OF 6 INCHES BELOW UTILITIES BEING LAID. CONTRACTOR SHALL SECURE ALL REQUIRED FEDERAL, STATE AND LOCAL PERMITS FOR DETERMINING, WATER AND WASTEWATER MAINS SMALLER THAN 12 INCHES, THE MINIMUM AND MAXIMUM COVER SHALL BE 30 INCHES AND 38 INCHES, RESPECTIVELY, IN UNPAVED AREAS, AND 38 INCHES AND 42 INCHES, RESPECTIVELY, IN PAVED AREAS, OR AS REQUIRED WITH F.P.O.D., OR RAILROAD RIGHTS-OF-WAY, FOR MAINS GREATER THAN 12 INCHES, THE MINIMUM AND MAXIMUM COVER SHALL BE 42 INCHES AND 54 INCHES, RESPECTIVELY. EXCEPTIONS MAY BE MADE FOR CONDUITS.
- INSTALLATION OF FORCE MAINS OR WATER MAINS USING PIPE DEFLECTION WITHOUT FITTINGS SHALL ONLY BE ALLOWED AS APPROVED IN ADVANCE BY THE CITY CONTRACTOR SHALL USE FITTINGS AS NECESSARY TO INSTALL PIPE WITHOUT JOINT DEFLECTION AT NO ADDITIONAL COST TO THE CITY. WHERE FORCE MAINS OR WATER MAINS ARE DEFLECTED WITHOUT FITTINGS, THE MAXIMUM JOINT DEFLECTION SHALL BE BOX OF THAT APPROVED BY THE MANUFACTURER.
- FITTINGS SHALL BE USED AT LOCATIONS INDICATED ON THE PLANS, UNLESS OTHERWISE SPECIFIED BY THE ENGINEER. ALL FITTINGS SHALL BE RESTRAINED PER THE RESTRAINED JOINT TABLE IN THE APPROVED PLAN SET.
- ALL UNDERGROUND MAINS SHALL BE INSTALLED WITH AN ADJUSTABLE CAST IRON VALVE BOX WITH TOP SET TO FINAL GRADE IN ACCORDANCE WITH THE C.O.S.A. DETAILS AND SPECIFICATIONS. ALL VALVES SHALL HAVE PEG LOCATORS (14.57 KILOMETER).
- ALL UNDERGROUND VALVES SHALL BE INSTALLED SO THAT THE OPERATING NUT IS ACCESSIBLE USING A STANDARD VALVE KEY. VALVE EXTENSIONS SHALL BE INSTALLED AS NECESSARY SO THAT THE OPERATING NUT IS A MINIMUM OF 36" BELOW FINAL GRADE.
- LOCATE WIRE AND LOCATOR PRESS SHALL BE INSTALLED ACCORDING TO C.O.S.A. STANDARDS, LATEST EDITION, IN CONFORMANCE WITH APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) AND THE C.O.S.A. STANDARDS.
- ALL NEW AND RELOCATED WATER MAIN PIPE AND FITTINGS WILL COMPLY WITH THE LATEST F.D.E.P. AND AWWA STANDARDS FOR LEAK TIGHTNESS.
- ALL NEW AND RELOCATED WATER MAINS SHALL BE PRESSURE TESTED AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD 605, LATEST EDITION.
- ALL NEW AND RELOCATED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651 AND ANGLE 62-555.304, F.A.C.
- ALL NEW AND RELOCATED WATER SERVICES SHALL BE IN CONFORMANCE WITH THE STATE PLUMBING CODE AND THE C.O.S.A. STANDARDS.
- THE BACTERIOLOGICAL SAMPLE POINTS SHALL BE INDICATED ON THE AS-BUILT DRAWINGS. THE SAMPLE POINT (INCLUDING AND STATIONING SHALL CORRESPOND TO THOSE ON THE BACTERIOLOGICAL SAMPLE CHAIN OF CUSTODY FORMS).
- ALL METER BOX ASSEMBLIES ARE TO BE INSTALLED OUTSIDE PAVED AREAS UNLESS CONDITIONS NECESSITATE OTHERWISE AND ALTERNATE LOCATIONS ARE APPROVED IN ADVANCE BY THE CITY.

POTABLE WATER SYSTEM NOTES

- ALL WATER MAINS 4" THROUGH 12" DIAMETER SHALL BE PVC C-900, DR-18, COLOR "BLUE" WITH PUSH-ON GASKETED JOINTS OR C-900 HDPE DR 11 COLOR "BLUE" OR DR CLASS 350.
- ALL WATER MAINS 16" THROUGH 24" DIAMETER SHALL BE PVC C-905, DR-25, COLOR "BLUE" WITH PUSH-ON GASKETED JOINTS OR C-900 HDPE DR 11 COLOR "BLUE" OR DR CLASS 350.
- ALL WATER MAINS 24" AND LARGER DIAMETER SHALL BE DUCTILE IRON PIPE.
- ALL WATER LINES 2" DIAMETER OR LESS SHALL BE HDPE CTS DR 9 COLOR "BLUE".
- ALL CURB STOPS ARE TO BE FORD BALL-TYPE OR EQUAL WITH LOOSING CAPACITY AND LARGE NUT. 1" MINIMUM. SEE C.O.S.A. APPROVED MATERIALS AND MANUFACTURER'S LIST, LATEST EDITION.
- THE SEPARATION REQUIREMENT BETWEEN POTABLE WATER MAINS AND OTHER UTILITIES SHALL BE PER CHAPTER 62-555, F.A.C.
- A FULL LENGTH OF WATER MAIN PIPE (USUALLY 20 FEET) SHALL BE CENTERED AT THE POINT OF CROSSING OF ALL OTHER WORK (INCLUDING STORM LINES) AT THE POINT OF CROSSINGS REGARDLESS OF THE VERTICAL SEPARATIONS.
- WHERE SOLVENT CONTAMINATION IS FOUND IN THE TRENCH, WORK WILL BE STOPPED AND THE PROPER AUTHORITIES NOTIFIED. WITH THE APPROVAL OF THE C.O.S.A. AND THE HEALTH DEPARTMENT, DUCTILE IRON PIPE, FITTINGS AND APPROVED SOLVENT RESISTANT CASSETT MATERIAL SHALL BE USED IN THE CONTAMINATED AREA. THE DUCTILE IRON PIPE WILL EXTEND AT LEAST 100 FEET BEYOND ANY DISCOVERED CONTAMINATION.
- NO CONNECTION TO EXISTING POTABLE WATER SYSTEM SHALL BE ALLOWED UNTIL ALL PROPOSED LINES HAVE BEEN PRESSURE TESTED, DISINFECTED, CLEANED FOR SERVICE AND ACCEPTED FOR MAINTENANCE BY THE C.O.S.A. AND F.D.E.P.
- JUMPER CONNECTIONS WITH BACKFLOW PREVENTION DEVICE SHALL BE USED TO ALL FOR FLUSH WATER MAINS.
- ALL NEW AND RELOCATED WATER MAIN PIPE, FITTINGS, VALVES, AND FIRE HYDRANTS SHALL BE IN CONFORMANCE WITH APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) AND THE C.O.S.A. STANDARDS.
- ALL NEW AND RELOCATED WATER MAIN PIPE AND FITTINGS WILL COMPLY WITH THE LATEST F.D.E.P. AND AWWA STANDARDS FOR LEAK TIGHTNESS.
- ALL NEW AND RELOCATED WATER MAINS SHALL BE PRESSURE TESTED AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD 605, LATEST EDITION.
- ALL NEW AND RELOCATED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651 AND ANGLE 62-555.304, F.A.C.
- ALL NEW AND RELOCATED WATER SERVICES SHALL BE IN CONFORMANCE WITH THE STATE PLUMBING CODE AND THE C.O.S.A. STANDARDS.
- THE BACTERIOLOGICAL SAMPLE POINTS SHALL BE INDICATED ON THE AS-BUILT DRAWINGS. THE SAMPLE POINT (INCLUDING AND STATIONING SHALL CORRESPOND TO THOSE ON THE BACTERIOLOGICAL SAMPLE CHAIN OF CUSTODY FORMS).
- ALL METER BOX ASSEMBLIES ARE TO BE INSTALLED OUTSIDE PAVED AREAS UNLESS CONDITIONS NECESSITATE OTHERWISE AND ALTERNATE LOCATIONS ARE APPROVED IN ADVANCE BY THE CITY.

STANDARD WATER/SEWER/RECLAIMED WATER SEPARATION REQUIREMENTS (CONTINUED)

- (C) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
- (C) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST 36 FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER. WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE RELOCATED UNDER WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
- (D) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST 12 FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED ON-SITE SEWER TREATMENT AND DISPOSAL SYSTEM, AS DEFINED IN SECTION 381.008(2)(2), F.S., AND RULE 64E-6.002, F.A.C.
- (A) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- (B) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- (C) AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B), ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED AND FULLY ENCASED BY THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. THE WATER MAIN JOINTS SHALL BE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, OR PIPELINE CONVEYING RECLAIMED WATER. RECLAIMED WATER NOT REGULATED UNDER PART OF CHAPTER 62-810, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS FOR EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART OF CHAPTER 62-810, F.A.C.
- (S) SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES.
- (A) NO WATER MAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A:
 - EFFECTIVE AUGUST 28, 2003, WATER MAINS SHALL NOT BE CONSTRUCTED OR ALTERED TO PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A STORM SEWER MANHOLE OR INTERCEPTOR UNLESS TECHNICAL FEASIBILITY OR ECONOMICALLY SENSIBLE. OTHERWISE, SUCH CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SUB-PARAGRAPHS A THROUGH D, BELOW.
 - IF THE WATER MAIN IS NOT TECHNICALLY FEASIBLE OR IS NOT ECONOMICALLY SENSIBLE, THE SEPARATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SUB-PARAGRAPHS A THROUGH D, BELOW.
 - IF THE WATER MAIN IS NOT TECHNICALLY FEASIBLE OR IS NOT ECONOMICALLY SENSIBLE, THE SEPARATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SUB-PARAGRAPHS A THROUGH D, BELOW.
 - IF THE WATER MAIN IS NOT TECHNICALLY FEASIBLE OR IS NOT ECONOMICALLY SENSIBLE, THE SEPARATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SUB-PARAGRAPHS A THROUGH D, BELOW.

NOTICE OF PROCEDURE

- ALL BUILDING PERMITS AND WATER METERS PROCESSED THROUGH THE C.O.S.A. PLANNING & BUILDING DEPARTMENT, OR THE C.O.S.A. CUSTOMER SERVICE DEPARTMENT SHALL BE ACCOMPANIED BY A SET OF CIVIL SITE DESIGN AND CONSTRUCTION PLANS STAMPED APPROVED BY THE C.O.S.A. PUBLIC WORKS DEPARTMENT SITE PLAN APPROVAL IS REQUIRED PRIOR TO OBTAINING A BUILDING PERMIT.
- ALL CONNECTIONS TO THE WATER AND/OR SEWER SYSTEM, FLUSHING, AND PRESSURE TESTS TO BE PERFORMED BY THE UTILITY CONTRACTOR OR LICENSED MASTER PLUMBER MUST BE SCHEDULED AT LEAST FIVE (5) WORKING DAYS IN ADVANCE. THE C.O.S.A. INSPECTOR MUST BE PRESENT PRIOR TO THE CONNECTION BEING MADE OR TESTING.
- IT IS THE ENGINEER OF RECORD'S RESPONSIBILITY TO SECURE APPLICABLE PERMITS PRIOR TO CONSTRUCTION.
- THE OWNER SHALL PURCHASE ALL WATER METERS THROUGH THE C.O.S.A.
- WATER AND/OR SEWER UTILITY CONNECTION FEES SHALL BE PAID PRIOR TO ISSUANCE OF A SITE AND/OR BUILDING PERMIT.
- ALL ON-SITE SEWAGE TREATMENT AND/OR SEWER CONNECTION, THE WATER OR CLEANOUT AND BUILDING MAY BE SUBJECT TO THE C.O.S.A. TO ENSURE STANDARDS CONCERNING DISCONNECTED LOCATION POINTS.
- ALL REQUIREMENTS BY THE C.O.S.A. (I.E. FINAL INSPECTION, CONNECTION OF PUNCH LIST ITEMS, "AS-BUILTS", F.D.E.P. CERTIFICATION OF COMPLETION, BILL OF SALE, RECORDED EASEMENTS, ETC.) MUST BE SATISFIED PRIOR TO ISSUANCE OF CERTIFICATES OF OCCUPANCY.

AS-BUILT NOTES

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRODUCE, SUBMIT AND OBTAIN APPROVAL OF REPRODUCIBLE "AS-BUILT" DRAWINGS FOR ALL CONSTRUCTION AND SERVICE CHANGES.
- "AS-BUILT" INFORMATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL EMPLOY THE SERVICES OF A SURVEYOR REGISTERED IN THE STATE OF FLORIDA TO DETERMINE ALL "AS-BUILT" INFORMATION.
- REFER TO C.O.S.A.'S "UTILITY CONSTRUCTION AND DEDICATION REQUIREMENTS" AND SECTION 30 OF THE CITY'S MANUAL, LATEST EDITION, FOR A COMPLETE DESCRIPTION AND LISTING OF THE CITY'S AS-BUILT REQUIREMENTS.
- ALL C.O.S.A. AS-BUILT REQUIREMENTS ARE REQUIRED TO BE MET PRIOR TO C.O.S.A. ACCEPTANCE OF UTILITIES, INSTALLATION OF WATER METERS, OR FINAL PAVEMENT.
- ALL AS-BUILT PLANS AND CAD DRAWINGS MUST BE PROVIDED ON THE CD AS STATE PLANE, FLORIDA EAST COAST SYSTEM (NAD 83) FEET, AND CONTAINING THE STATIONING AND DISCONNECTED LOCATION POINTS. THE C.O.S.A. WILL NOT ACCEPT AS-BUILT PLANS OR CAD DRAWINGS NOT REFERENCED TO S.F.C.
- A MINIMUM OF FIVE WORKING DAYS PRIOR TO THE PRELIMINARY FIELD INSPECTION, TWO (2) SETS OF THE DRAWING BACKLOG "AS-BUILTS" SHOWING THE REQUIRED INFORMATION, SHALL BE SUBMITTED TO THE ENGINEER OF RECORD AND THE C.O.S.A.
- THE RECORD ON "AS-BUILT" DRAWINGS TO BE PREPARED BY THE CONTRACTOR AND SUBMITTED AT THE TIME OF THE FINAL INSPECTION FOR A LETTER OF REQUEST FOR THE CORRECTION OF DISCREPANCIES. THE CORRECTING THE VERTICAL CLEARANCES BETWEEN WATER, SEWER (INCLUDING STORM) AND REUSE LINES AT ALL CROSSINGS AND PARALLEL RUNS. WHERE THE VERTICAL CLEARANCE IS LESS THAN 10 FEET, IN ADDITION, THE CONTENTS OF UNJOINT LENGTHS OF PIPE (USUALLY 20 FEET) AT POINTS OF CROSSINGS WILL BE DOCUMENTED ON ALL DRAWINGS AND ALL TRENCHES AND UNDERGROUND MANHOLES. IN SPECIAL CASES WHERE A MINIMUM OF 18 INCHES OF VERTICAL CLEARANCE BETWEEN THE WATER AND SEWER (INCLUDING STORM) LINES IS NOT POSSIBLE.

WASTEWATER SYSTEM NOTES

- INTERIOR LINERS ARE REQUIRED ON JUNCTION MANHOLES WITH THREE OR MORE INVERTS, AND/OR MANHOLES RECEIVING FORCE MAIN FLOW. LINERS SHALL BE SPECTRASHIELD, SEMPERCOAT, OR EQUAL AS APPROVED BY THE C.O.S.A. AND F.D.E.P.
- SANITARY SEWER LINE TO DEPTHS OF 10' SHALL BE SDR-35 PVC PIPE CONFORMING TO ASTM D-3034 COLORED GREEN. SANITARY SEWER LINE OF DEPTHS 10' TO 12' SHALL BE SDR-26 PVC. ALL SANITARY SEWER LINES SHALL BE SDR-26 PVC UNLESS OTHERWISE SPECIFIED.
- SANITARY SEWER FORCE MAIN 4" AND LARGER SHALL BE C900 DR18 PVC PIPE CONFORMING TO ASTM D-1784, D-1786, AND D-2241. DUCTILE IRON PIPE SHALL ONLY BE USED WITH PRIOR APPROVAL BY THE C.O.S.A. SANITARY SEWER MAIN SHALL BE COLOR CODED GREEN AND CLEARLY MARKED.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD AND THE C.O.S.A. ALL VIDEO LOGS, WRITTEN REPORTS, AND DEFLECTION TEST RESULTS FOR REVIEW AND APPROVAL.
- THE CONTRACTOR SHALL CONTACT THE C.O.S.A. FOR INSPECTION AFTER INSTALLATION OF GRAPE TRAPS, INTERCEPTORS, AND/OR OIL-WATER SEPARATORS.

HYDROSTATIC TESTING NOTES

- AFTER ALL PRESSURE AND HYDROSTATIC JOINTS COMPLETED, AND THE TRENCH BACKFILLED, THE NEWLY LAID PIPE AND APPURTEANCES SHALL BE SUBMITTED TO A HYDROSTATIC TEST FOR A PERIOD OF AT LEAST TWO (2) HOURS. THE ENGINEER AND THE C.O.S.A. MUST BE NOTIFIED AT LEAST 48 HOURS BEFORE A TEST IS TO BE PERFORMED. TEST SHALL BE AS SET FORTH IN AWWA STANDARD 605. ANY TRENCH DETACHED SHALL BE CORRECTED AND THE SECTION OF PIPELINE REJECTED. THE TWO HOUR TEST PERIOD SHALL BEGIN WHEN ALL JOINTS HAVE BEEN DETERMINED TO BE WATER-TIGHT. LEAKAGE SHALL BE LIMITED TO THAT ALLOWED SET FORTH IN SECTION 4 OF AWWA STANDARD 605 LATEST EDITION. HYDROSTATIC AND LEAKAGE TEST AND BLOW-DOWN (ZEROING OF GAUGE) MUST OCCUR BEFORE SAMPLING FOR BACTERIOLOGICAL TEST. THE MAXIMUM ALLOWABLE PRESSURE LOSS IS 5 PSI.

UTILITY ABANDONMENT

- EXISTING WATER AND SEWER UTILITY SERVICES THAT WILL NO LONGER BE UTILIZED MUST BE PROPERLY ABANDONED BY CUTTING, CAPPING, AND REPAIRING SERVICE CONNECTIONS AT THE UTILITY MAIN LOCATIONS BY METHODS DIRECTED BY THE CITY INSPECTOR AND UNDER CITY INSPECTOR'S OBSERVATION. EXCAVATION MAY BE REQUIRED IN ORDER TO DETERMINE PROPER ABANDONMENT METHODS.
- EXISTING WATER AND SEWER UTILITY SERVICES INTENDED TO BE REUSED MUST BE INVESTIGATED BY THE CITY CONTRACTOR TO BE RESPONSIBLE FOR REPAIRS AND/OR REPLACEMENT TO RENEW EXISTING POTABLE WATER, SEWER, AND SEWER SERVICE LATERALS. ALL UTILITIES MUST BE RETURNED TO GOOD WORKING ORDER. ALL WATERED BACKFLOW PREVENTION DEVICES SHALL BE REPAIRED OR REPLACED. THE CITY CONTRACTOR AND INSPECTOR'S OBSERVATION, EXCAVATION AND OTHER PROCEDURES SUCH AS CLOSED-CIRCUIT TV MAY BE REQUIRED IN ORDER TO DETERMINE CONDITION.

STANDARD WATER/SEWER/RECLAIMED WATER SEPARATION REQUIREMENTS

- 72-555.314 LOCATION OF PUBLIC WATER SYSTEM MAINS.
- FOR THE PURPOSE OF THIS SECTION, THE PHRASE "WATER MAIN" SHALL MEAN MAINS, INCLUDING CONDUITS, UNDERGROUND UTILITY MAINS, AND UNDERGROUND UTILITY MAINS, INCLUDING DRINKING WATER, FIRE HYDRANT LEADS, AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER.
- (H) HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWER TREATMENT AND DISPOSAL SYSTEMS.
- (A) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER. RECLAIMED WATER REGULATED UNDER PART OF CHAPTER 62-810, F.A.C.
- (A) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER. RECLAIMED WATER REGULATED UNDER PART OF CHAPTER 62-810, F.A.C.
- (B) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST 36 FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER. WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE RELOCATED UNDER WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
- (D) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST 12 FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED ON-SITE SEWER TREATMENT AND DISPOSAL SYSTEM, AS DEFINED IN SECTION 381.008(2)(2), F.S., AND RULE 64E-6.002, F.A.C.
- (A) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- (B) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- (C) AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B), ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED AND FULLY ENCASED BY THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. THE WATER MAIN JOINTS SHALL BE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, OR PIPELINE CONVEYING RECLAIMED WATER. RECLAIMED WATER NOT REGULATED UNDER PART OF CHAPTER 62-810, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS FOR EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART OF CHAPTER 62-810, F.A.C.
- (S) SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES.
- (A) NO WATER MAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A:
 - EFFECTIVE AUGUST 28, 2003, WATER MAINS SHALL NOT BE CONSTRUCTED OR ALTERED TO PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A STORM SEWER MANHOLE OR INTERCEPTOR UNLESS TECHNICAL FEASIBILITY OR ECONOMICALLY SENSIBLE. OTHERWISE, SUCH CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SUB-PARAGRAPHS A THROUGH D, BELOW.
 - IF THE WATER MAIN IS NOT TECHNICALLY FEASIBLE OR IS NOT ECONOMICALLY SENSIBLE, THE SEPARATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SUB-PARAGRAPHS A THROUGH D, BELOW.
 - IF THE WATER MAIN IS NOT TECHNICALLY FEASIBLE OR IS NOT ECONOMICALLY SENSIBLE, THE SEPARATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SUB-PARAGRAPHS A THROUGH D, BELOW.
 - IF THE WATER MAIN IS NOT TECHNICALLY FEASIBLE OR IS NOT ECONOMICALLY SENSIBLE, THE SEPARATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SUB-PARAGRAPHS A THROUGH D, BELOW.

TTCOL Engineering
a MASTERWORKS company

INLET DRIVE SHORELINE RESILIENCY/DESIGN FOR CITY OF ST. AUGUSTINE

PRELIMINARY GENERAL NOTES/CONSTRUCTION

I CERTIFY THAT THIS DRAWING IS IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 628-3.0006(C)(3), FLORIDA ADMINISTRATIVE CODE.

REVISIONS

NO.	DATE	DESCRIPTION

PLOT DATE: 6/25/25
DESIGN BY:
CHECKED BY:
CLIENT CODE:
JOB NO.:

CITY OF ST. AUGUSTINE
WATER AND SEWER
GENERAL NOTES

REVISION DATE: FEB 2017
NOT TO SCALE
N-1

SHEET NO. 20



GENERAL NOTES

THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THESE MEASURES SHOWN ON THE CLEARING AND EROSION CONTROL PLAN. THE CONTRACTOR SHALL UNDERSTAND ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS.

SEQUENCE OF MAJOR ACTIVITIES

THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. INSTALL SILT FENCES, SYNTHETIC BALES AND OTHER EROSION/SEDIMENTATION CONTROLS AS REQUIRED.
3. CLEAR AND GRUB FOR DIVERSION SWALES/DIKES AND SEDIMENT BASIN IF REQUIRED.
4. CONSTRUCT SEDIMENTATION BASIN IF REQUIRED.
5. CONTINUE CLEARING AND GRUBBING.
6. STOCK PILE TOP SOIL IF REQUIRED.
7. PERFORM PRELIMINARY GRADING ON SITE AS REQUIRED.
8. STABILIZE DENuded AREAS AND STOCKPILES AS SOON AS PRACTICABLE.
9. INSTALL STORM WATER, WASTER AND IRRIGATION.
10. COMPLETE GRADING AND INSTALL PERMANENT SEEDING/SOD AND PLANTING.
11. REMOVE ACCUMULATED SEDIMENT FROM BASIN.
12. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ANY TEMPORARY DIVERSION SWALES/DIKES AND RESEED/SOD AS REQUIRED.

TIMING OF CONTROLS / MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND SYNTHETIC BALES, STABILIZED CONSTRUCTION ENTRANCE AND SEDIMENT BASIN WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER AREAS OF THE SITE. STABILIZATION MEASURES SHALL BE INSTALLED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. EROSION CONTROL ACTIVITY CEASING PERMANENTLY IN AN AREA THAT AREA SHALL BE STABILIZED PERMANENTLY IN ACCORDANCE WITH THE PLANS. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE TRAPS AND THE EARTH DIKE/SWALES WILL BE REGRADDED/REMOVED AND STABILIZED IN ACCORDANCE WITH THE CLEARING AND EROSION CONTROL PLAN.

CONTROLS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE PLANS. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE PLANS AND ADD ADDITIONAL CONTROL MEASURES, AS REQUIRED, TO ENSURE THE SITE MEETS ALL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE CONTRACTOR WILL FOLLOW THE BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE PLANS AND AS REQUIRED BY EROSION AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY THE REGULATORY AGENCIES.

STABILIZED CONSTRUCTION ENTRANCE.

1. CONTRACTOR SHALL INSTALL AND MAINTAIN FOR THE DURATION OF THE CONSTRUCTION A STONE STABILIZED AND LOCATED AT THE POINT OF ENTRY TO THE CONSTRUCTION SITE. THE STABILIZER SHALL BE FOOT SIZE NO. 1 COARSE AGGREGATE.

EROSION AND SEDIMENT CONTROL STABILIZATION PRACTICES:

1. SYNTHETIC BALE BARRIER: SYNTHETIC BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
 - A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
 - B. IN SLOPE SWALES OR DIKE LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.
 - C. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS.
 - D. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF SYNTHETIC BALE BARRIERS CONSTRUCTED IN LIVE STREAMS OR SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT.
 - E. REFER TO THE DETAILS FOR CONSTRUCTING THE SYNTHETIC BALE BARRIER. ALSO, REFER TO THE DETAILS FOR PROPER LOCATOR MATERIAL AND USAGE.
2. FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS:
 - F. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT.
 - G. IN SLOPE SWALES OR DIKE LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES.
 - H. REFER TO THE DETAILS FOR PROPER CONSTRUCTION OF THE FILTER FABRIC BARRIER.
3. BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH RESIDUE MATERIAL IS AVAILABLE ON SITE.
4. LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT-FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE GRADED AREAS ONTO UNDISTURBED STABILIZED AREAS. THIS PRACTICE APPLIES ONLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE CONSTRUCTED ON UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL UP IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE. LEVEL SPREADER SHALL BE CONSTRUCTED IN ACCORDANCE TO THE DETAILS.
5. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY.
6. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 2 ACRES. THIS REQUIREMENT MAY BE WAIVED FOR LARGE PROJECTS WITH AN EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENING OF ADDITIONAL AREAS WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.
7. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDEMENT-LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.
8. TEMPORARY SEEDING: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-VEGETATED OR DRESSED AND RECEIVED FRESH MASSINGS WITHIN 7 DAYS SHALL BE SEEDING WITH A SEEDING MIX WHICH WILL PROVIDE A FAST GROWING PERMANENT GRASSING IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING.
9. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PART 620 OF THE FDOT MANUAL SHALL RECEIVE MULCHING OF APPROXIMATELY 2 INCHES DEEP MEASUREMENT OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDING AREA ADDITIONAL TO PREVENT MOVEMENT OF SEED AND MULCH.
10. TEMPORARY GRASSING: THE SEEDS OF SEEDED AND MULCHED AREAS SHALL BE ROLLED AND WATERED ON HYDRO MULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GERMINATION CONDITIONS. FOR THE ESTABLISHMENT OF GOOD PERMANENT GRASSING, SEEDING SHALL BE THE SAME MIX COMPOSITION REQUIRED FOR PERMANENT GRASSING IN THE CONTRACT SPECIFICATIONS.
11. TEMPORARY REGRASSING: IF AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER.
12. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE DESIGNED AND CONSTRUCTED.
13. PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFF-SITE FACILITIES.
14. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL, AS A MINIMUM, BE SEEDED. THE SEEDING SHALL PROVIDE BOTH LONG-TERM VEGETATION AND FAST GROWING SEASONAL VEGETATION. SLOPES STEEPER THAN 4:1 SHALL BE SEEDED AND MULCHED OR SODDED.

STORM WATER POLLUTION PREVENTION PLAN

CONTROLS (CONTINUED)

STRUCTURAL PRACTICES:

1. TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY AND IT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS.
2. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP SHALL BE INSTALLED IN A DRAINAGE WAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA. THE FOLLOWING SEDIMENT TRAP SHALL BE CONSTRUCTED EITHER INDEPENDENTLY OR IN COMBINATION WITH A TEMPORARY DIVERSION DIKE:
 - A. BLOCK AND GRAVEL SEDIMENT FILTER - THIS PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE. REFER TO THE DETAILS FOR CONSTRUCTION OF A CURB INLET SEDIMENT FILTER AND FOR CONSTRUCTION OF A DROP INLET SEDIMENT FILTER.
 - B. GRAVEL SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCUNDENCE OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED SEDIMENT TRAP.
 - C. DROP INLET SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (5:1 OR GREATER) WHERE SHEET OR OVERLAND FLOWS (< 0.5 CFS) ARE TYPICAL. THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREET OR HIGHWAY MEDIANS. REFER TO THE DETAILS FOR CONSTRUCTION OF SYNTHETIC BALE AND FABRIC SEDIMENT FILTER.
3. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE FLOW COULD CAUSE EROSION AND SEDIMENT PROBLEMS TO THE RECEIVING WATER BODY. SILT FENCES AND SYNTHETIC BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON THE GULLET PROTECTION DETAIL.
4. SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH OR MORE DISTURBED AREAS AT ONE TIME. THE PROPOSED STORM WATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR THE SITE. THE 3000 GALLON PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE. THE 3000 GALLON PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE. THE 3000 GALLON PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE. THE 3000 GALLON PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE.

OTHER CONTROLS

WASTE DISPOSAL:

WASTE MATERIALS:
ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECONDARY LEAKED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. THE CONTRACTOR WILL BE NOTIFIED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE PROJECT SITE. THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE MATERIALS:
ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND THE SITE SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES DAY-TO-DAY OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

WASTE DISPOSAL:

SANITARY WASTE:
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE TOILETS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DEPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS.

OFFSITE VEHICLE TRACKING:
A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF EROSION AND SEDIMENT TO THE ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP/AULIN.

MAINTENANCE / INSPECTION PROCEDURES

EROSION AND SEDIMENT CONTROL INSPECTIONS AND MAINTENANCE PRACTICES:
THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.

- NO MORE THAN 10 ACRES OF THE SITE WILL BE DENUDED AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.
- ALL CONSTRUCTION MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT. THE PERSON RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATION OR SOMEONE APPROVED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.25 INCHES OR GREATER.
- ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE MADE WITHIN 24 HOURS OF REPORT.
- BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
- SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT TRENCH, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.
- THE SEDIMENT BASIN WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT AND BUILT UP SEDIMENT WILL BE REMOVED IMMEDIATELY TO PERCENT OF THE DESIGN CAPACITY AT THE END OF THE JOB, WHOEVER COMES FIRST.
- DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
- TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
- A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.
- THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE ENGINEER AND LOCAL GOVERNMENT AGENCIES. THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE EROSION AND SEDIMENT CONTROL PLAN. THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE EROSION AND SEDIMENT CONTROL PLAN. THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE EROSION AND SEDIMENT CONTROL PLAN.
- THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILING OUT THE INSPECTION AND MAINTENANCE REPORT.
- PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ON-SITE IN GOOD WORKING ORDER.

NON-STORM WATER DISCHARGES:

IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:

- WATER FROM WATER LINE FLUSHING.
- PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).
- UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION).

ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE. ALL SUCH DISCHARGES SHALL MEET STATE WATER QUALITY STANDARDS AND ALL NECESSARY PERMITS SHALL BE OBTAINED.

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES:

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GENERAL:

- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
- ALL MATERIALS STORED ON-SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.
- SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
- WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
- MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ON-SITE RECEIVE PROPER USE AND DISPOSAL.

HAZARDOUS PRODUCTS:

THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:

- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
- ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
- IF SURPLUS PRODUCT MUST BE DISPOSED, OF MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES:

PETROLEUM PRODUCTS:

ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS:

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS:

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS:

CONCRETE TRUCKS SHALL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DIRT WASH WATER ONLY AT DISCHARGE POINT. NO OFFSITE DISCHARGE WILL BE PERMITTED.

SPILL CONTROL PRACTICES:

IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIALS INCLUDE BUT ARE NOT LIMITED TO: BROOMS, DUST PANS, MOPS, BRUSHES, GLOVES, SHOES, LIQUID ABSORBENT (IE. KITTY LITTER OR EQUAL), SAND, SANDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

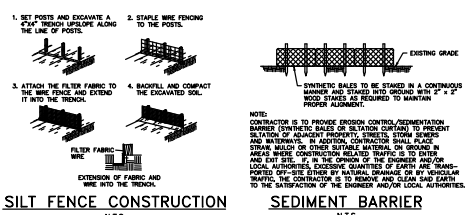
ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT HAZARD FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

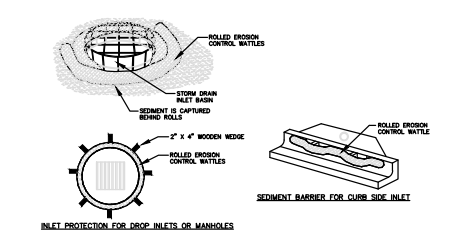
SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

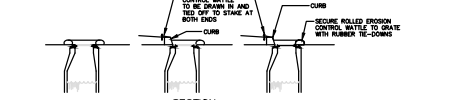
THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SH/IT WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER ON-SITE.



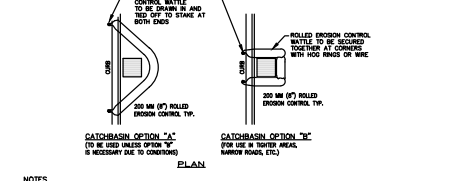
SILT FENCE CONSTRUCTION N.T.S. **SEDIMENT BARRIER** N.T.S.



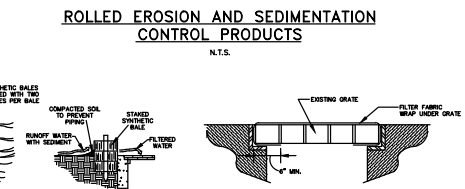
INLET PROTECTION FOR DROP INLETS OR MANHOLES N.T.S.



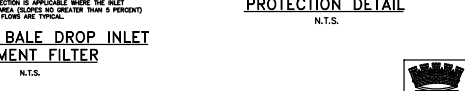
CATCHMENT SECTION "A" (TO BE USED UNLESS OPTION "B" IS NECESSARY DUE TO CONDITIONS) **CATCHMENT SECTION "B"** (FOR USE IN SLOPE AREAS, WASHWAYS, ETC.)



ROLLED EROSION AND SEDIMENTATION CONTROL PRODUCTS N.T.S.



CATCH BASIN SEDIMENT PROTECTION DETAIL N.T.S.



SYNTHETIC BALE DROP INLET SEDIMENT FILTER N.T.S.

CITY OF ST. AUGUSTINE STORM WATER POLLUTION PREVENTION PLAN	REVISION DATE: FEB 2017
NOT TO SCALE	N-2

TTCOOL Engineering
a BAXTER BOONHILLS company

PRELIMINARY GROWTH PORES CONSTRUCTION

INLET DRIVE SHORELINE RESILIENCY DESIGN
FOR
CITY OF ST. AUGUSTINE

I CERTIFY THAT THIS DRAWING IS IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 6208-33.00(6)(C), FLORIDA ADMINISTRATIVE CODE.

REVISIONS:

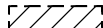


NO.	DATE	DESCRIPTION
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2		DESIGNED BY: []
3		CHECKED BY: []
4		CLIENT CODE: []
5		JOB NO.: []

PLOT DATE: 6/25/20
DRAWN BY: []
DESIGNED BY: []
CHECKED BY: []
CLIENT CODE: []
JOB NO.: []

SHEET NO. 2D

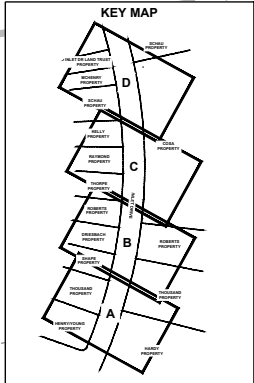
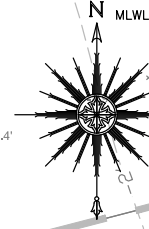
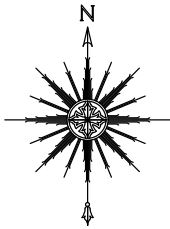
MATCHLINE "B"
MATCHLINE "A"

LEGEND

-  ITEMS TO BE REMOVED UNLESS OTHERWISE NOTED
-  SF SILT FENCE
-  TC TURBIDITY CURTAIN

NOTES

1. TEMPORARY CONSTRUCTION FENCE SHALL BE 6' HIGH CHAINLINK SECURELY INSTALLED AND ATTACHED TO PREVENT ACCESS BY THE GENERAL PUBLIC AND CONTRACT EMPLOYEES TO PRIVATE PROPERTY BEYOND THE LIMITS OF CONSTRUCTION. FENCING SHALL BE ATTACHED TO THE ADJACENT EXISTING FENCING.
2. CONTRACTOR SHALL MAINTAIN THE 1" PVC WATER LINE TO THE ADJACENT PROPERTY THROUGH OUT CONSTRUCTION.
3. IF SPRINKLER HEADS ARE DISTURBED ON THE ADJACENT PROPERTY DURING CONSTRUCTION, CONTRACTOR SHALL PROVIDE TEMPORARY SPRINKLERS DURING THE CONSTRUCTION PROCESS AND REINSTALL SPRINKLER HEADS IN THEIR ORIGINAL LOCATIONS AT THE COMPLETION OF CONSTRUCTION.
4. AT THE COMPLETION OF THE CONSTRUCTION IN THE AREA AROUND STA 11+00, CONTRACTOR SHALL RESTORE THE ADJACENT PROPERTY DISTURBED DURING CONSTRUCTION TO ITS PRE-CONSTRUCTION CONDITION, INCLUDING REINSTALLING THE FENCE, SPRINKLER HEADS, AND LANDSCAPING.



CONTROL BENCHMARK
SET MAG NAIL
N.=2022668.88'
E.=561916.12'
5' (NAVD 88 DATUM)

FFE= 8.88

N 2022573.580
E 561927.556

PTOCO Engineering
a MAXTER WOODMAN Company
408 GOLDWAY WEST DRIVE, SUITE 100, ST. AUGUSTINE, FL 32095
TEL: 813-454-1200 E.R. NUMBER: 26383

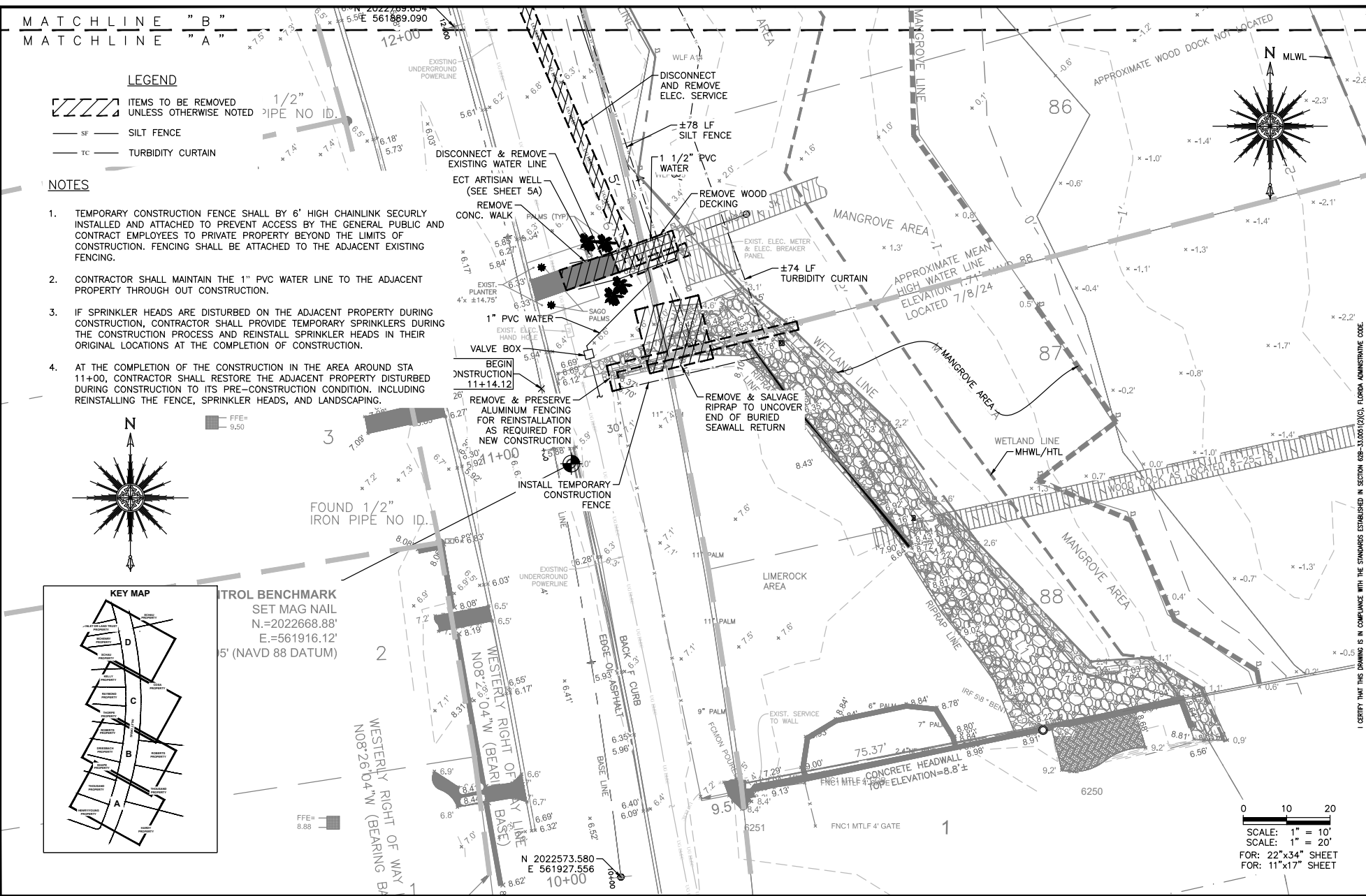
ENGINEER OF RECORD
JAMES L. PEARCE
FLORIDA REGISTRATION NUMBER: 46390

INLET DRIVE SHORELINE RESILIENCY DESIGN
FOR
CITY OF ST. AUGUSTINE
PRELIMINARY SURVEY & PRODUCTION CONSTRUCTION

NO.	DATE	DESCRIPTION

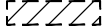


SHEET NO.
3A

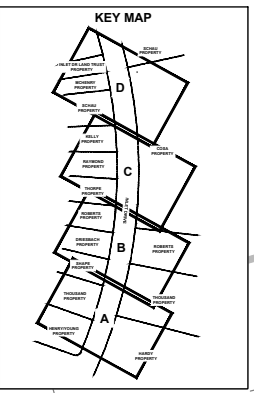
0 10 20
SCALE: 1" = 10'
SCALE: 1" = 20'
FOR: 22"x34" SHEET
FOR: 11"x17" SHEET



MATCHLINE "C" IND 1/2"
 MATCHLINE "B" N PIPE NO ID.

LEGEND

-  ITEMS TO BE REMOVED UNLESS OTHERWISE NOTED
-  SF SILT FENCE
-  TC TURBIDITY CURTAIN



MATCHLINE "B"
 MATCHLINE "A"

0 10 20
 SCALE: 1" = 10'
 SCALE: 1" = 20'
 FOR: 22"x34" SHEET
 FOR: 11"x17" SHEET

π TOCOI Engineering
 a **MAXTER WOODMAN** company
 426 GOLDWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32095
 TEL: 815-464-2900 E.R. NUMBER: 26383

ENGINEER OF RECORD
JAMES L. PEARCE
 FLORIDA REGISTRATION NUMBER: 46390

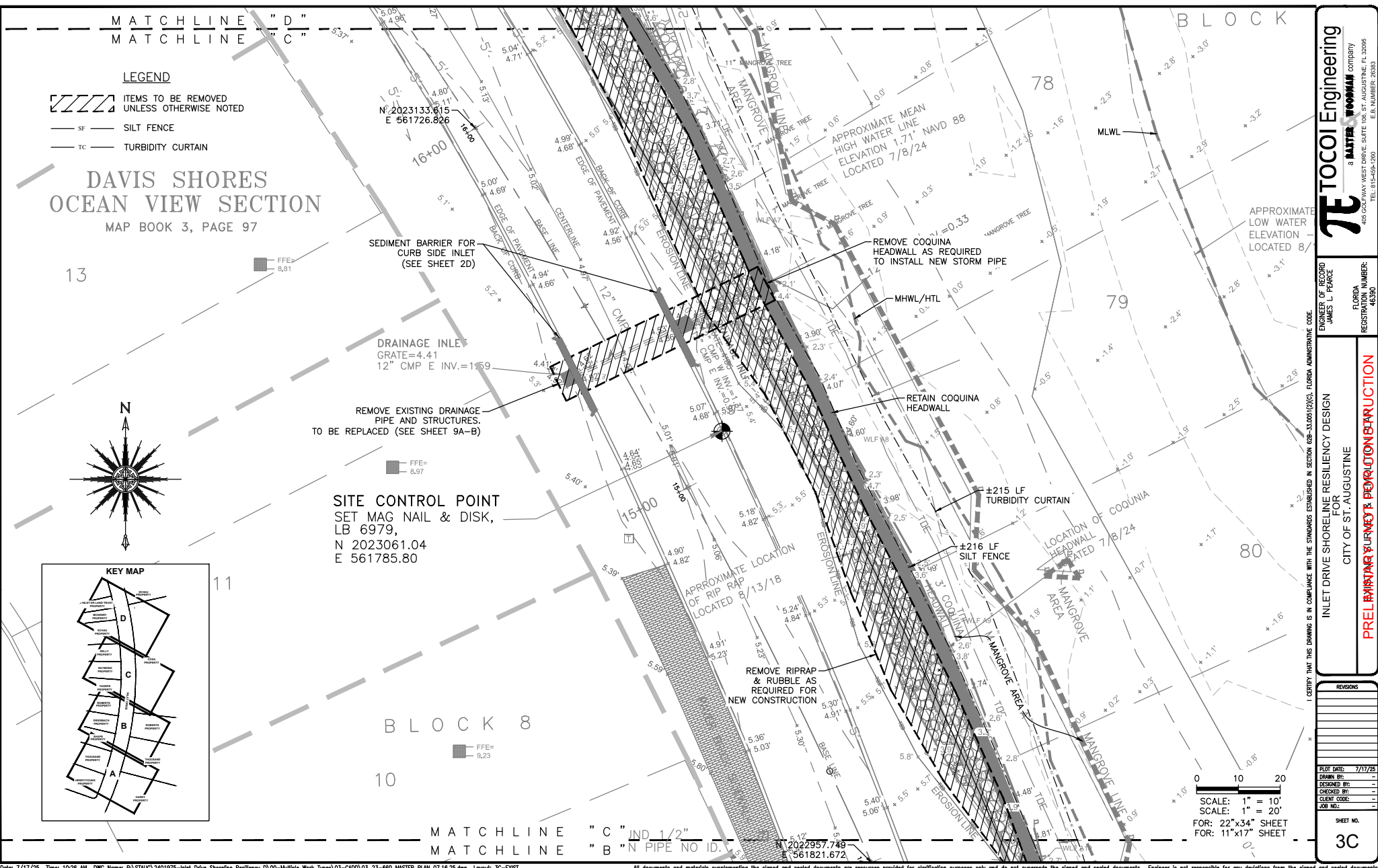
PRELIMINARY SURVEY & PRODUCTION CONSTRUCTION

INLET DRIVE SHORELINE RESILIENCY DESIGN
 FOR
 CITY OF ST. AUGUSTINE

NO.	DATE	REVISIONS

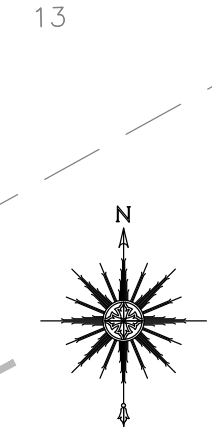
PROJECT DATE: 7/17/25
 DRAWN BY: _____
 DESIGNED BY: _____
 CHECKED BY: _____
 CLIENT CODE: _____
 JOB NO.: _____

SHEET NO.
3B



- LEGEND**
- ITEMS TO BE REMOVED UNLESS OTHERWISE NOTED
 - SF SILT FENCE
 - TC TURBIDITY CURTAIN

**DAVIS SHORES
OCEAN VIEW SECTION**
MAP BOOK 3, PAGE 97



N 2023133.615
E 561726.826

SEDIMENT BARRIER FOR CURB SIDE INLET (SEE SHEET 2D)

DRAINAGE INLET
GRATE=4.41
12" CMP E INV.=11.59

REMOVE EXISTING DRAINAGE PIPE AND STRUCTURES TO BE REPLACED (SEE SHEET 9A-B)

FFE= 8.97

SITE CONTROL POINT
SET MAG NAIL & DISK,
LB 6979,
N 2023061.04
E 561785.80

FFE= 9.23

0 10 20

SCALE: 1" = 10'
SCALE: 1" = 20'
FOR: 22"x34" SHEET
FOR: 11"x17" SHEET

TOCOI Engineering
a MAXTER WOODMAN COMPANY
426 GOLDWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32095
TEL: 813-464-1260 FAX: 813-464-1261 E.R. NUMBER: 26383

ENGINEER OF RECORD
JAMES L. PEARCE
FLORIDA REGISTRATION NUMBER: 46390

INLET DRIVE SHORELINE RESILIENCY DESIGN
FOR
CITY OF ST. AUGUSTINE

PRELIMINARY SURVEY & PRODUCTION CONSTRUCTION

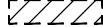
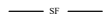

NO.	DATE	DESCRIPTION

PROJECT DATE: 7/17/25
DRAWN BY: -
DESIGNED BY: -
CHECKED BY: -
CLIENT CODE: -
JOB NO.: -

SHEET NO.
3C

19

LEGEND

-  ITEMS TO BE REMOVED UNLESS OTHERWISE NOTED
-  SF SILT FENCE
-  TC TURBIDITY CURTAIN

N 20233258.800
E 561574.369

REMOVE DECKING & PRESERVE FOR REINSTALLATION ONLY AS REQUIRED FOR CONSTRUCTION

REMOVE COQUINA HEADWALL AS REQUIRED FOR NEW CONSTRUCTION

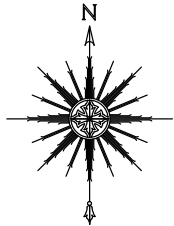
APPROX LOW WATER ELEVATION LOCATED

18

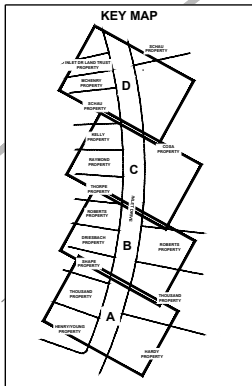
17

16

15



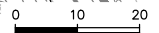
KEY MAP



FFE= 7.80

FFE= 7.48

MATCHLINE "D"
MATCHLINE "C"



SCALE: 1" = 10'
SCALE: 1" = 20'
FOR: 22"x34" SHEET
FOR: 11"x17" SHEET

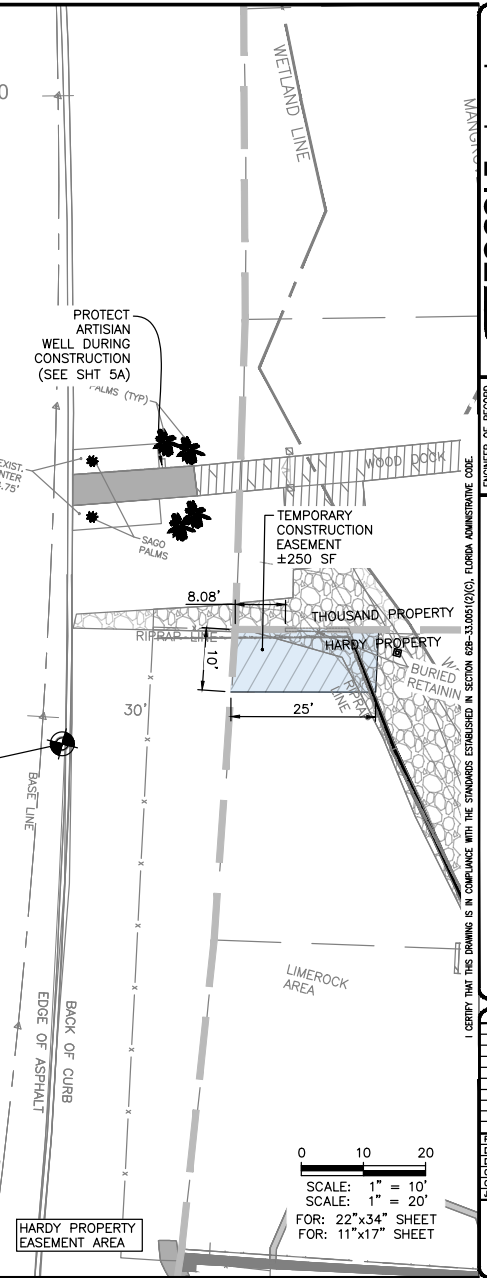
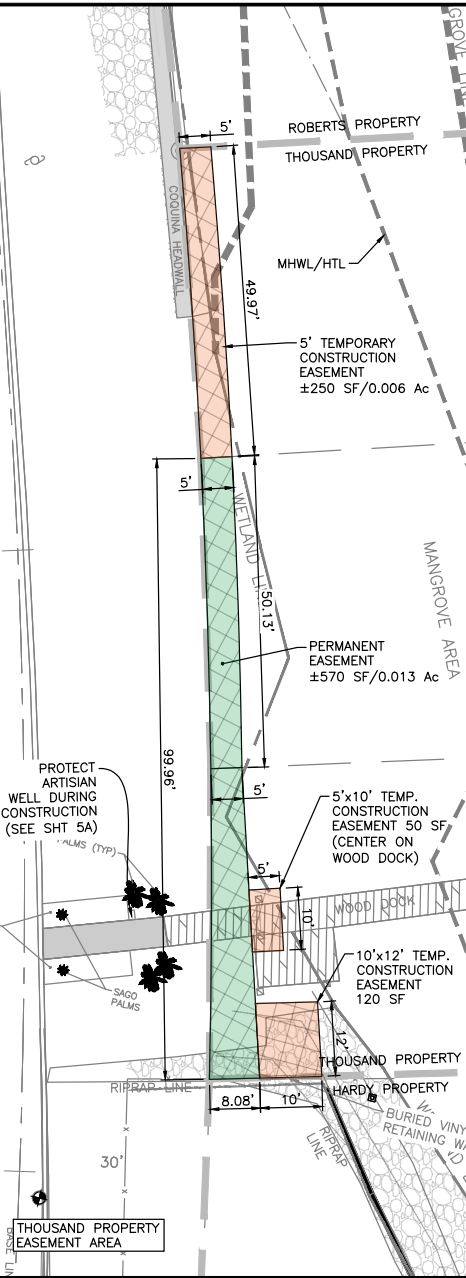
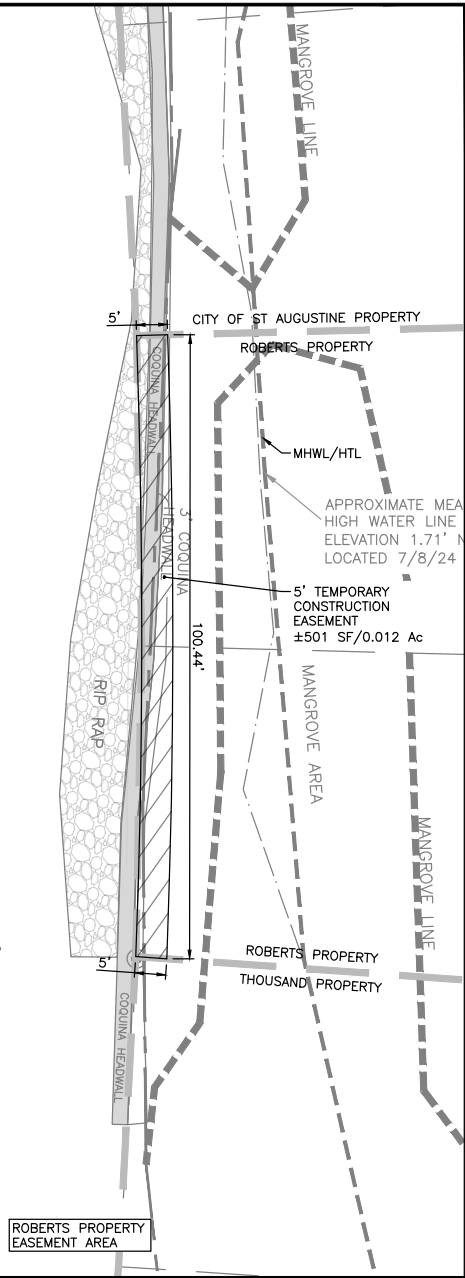
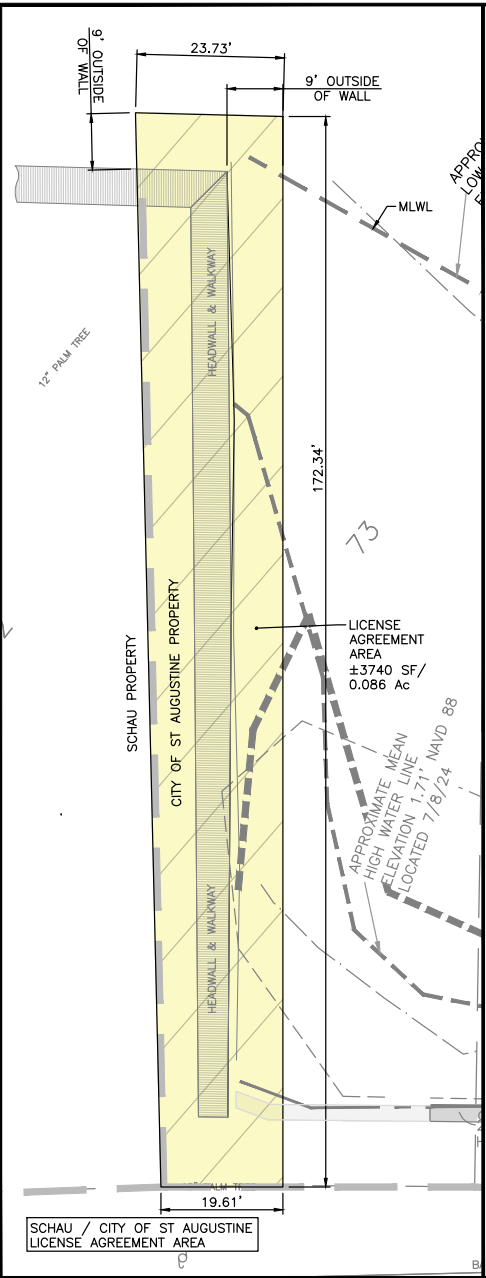
TOTOCOI Engineering
a **MASTRA WOODMAN** company
428 GOLDWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32095
TEL: 813-454-1260 E.R. NUMBER: 28383

ENGINEER OF RECORD
JAMES L. PEARCE
FLORIDA REGISTRATION NUMBER: 46390

INLET DRIVE SHORELINE RESILIENCY DESIGN
FOR
CITY OF ST. AUGUSTINE
PRELIMINARY SURVEY & PROVISIONAL CONSTRUCTION

NO.	DATE	DESCRIPTION
1	7/17/25	ISSUED FOR CONSTRUCTION

SHEET NO.
3D



Date: 7/17/25 Time: 10:29 AM DWG Name: P:\STAUG\2401975-Inlet Drive Shoreline Resiliency D\00-Multiple Work Types\03-CADD\03_23-660 MASTER PLAN 07.18.25.dwg Layout: 4-ESMT

All documents and materials supplementing the signed and sealed documents are resources provided for clarification purposes only and do not supersede the signed and sealed documents. Engineer is not responsible for any deviations from the signed and sealed documents.

TC TOCOI Engineering
 a **MASTER WORKMAN** company
 426 GOLFWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32095
 TEL: 813-468-1260 E.R. NUMBER: 26383

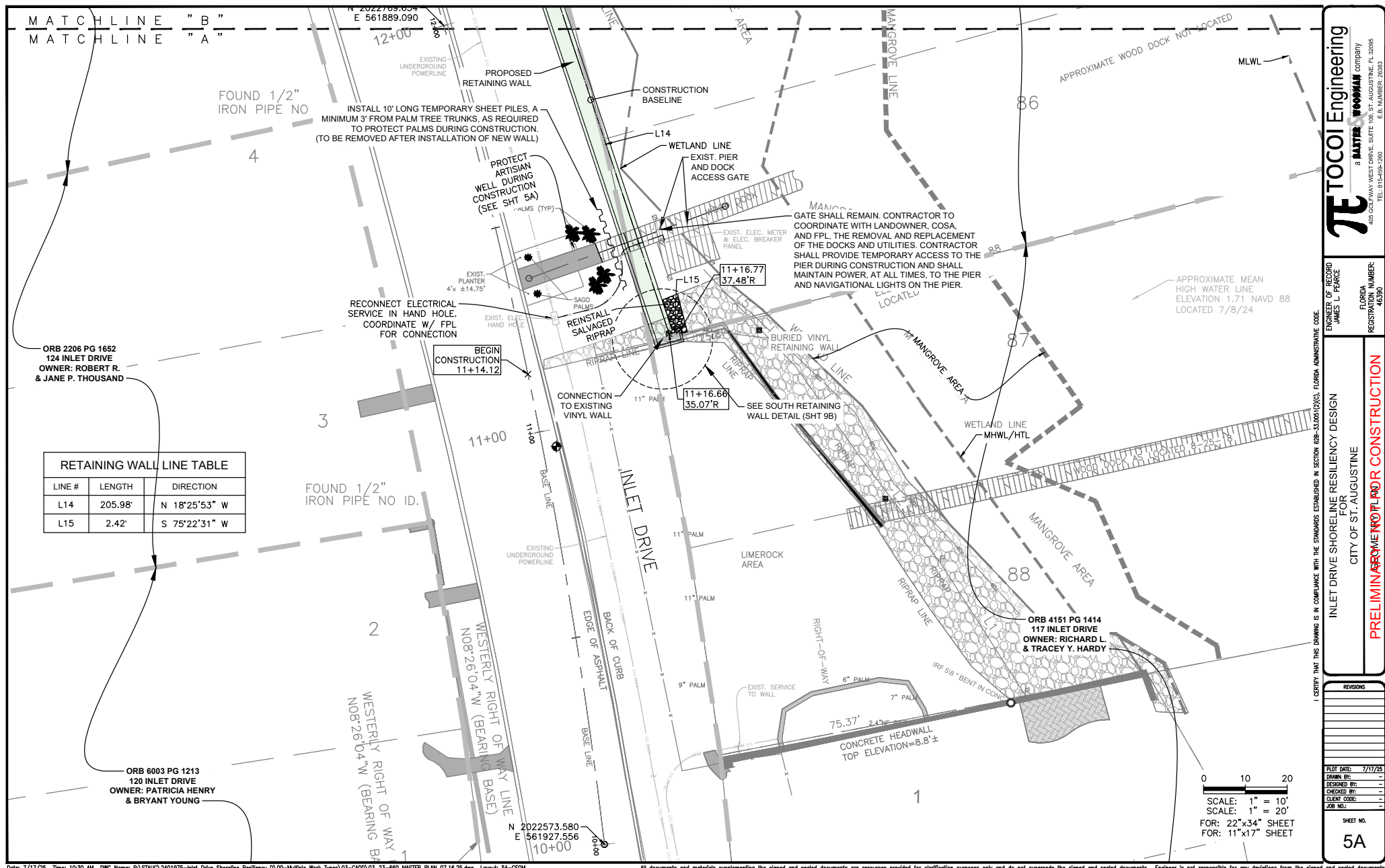
ENGINEER OF RECORD
JAMES L. PEARCE
 FLORIDA
 REGISTRATION NUMBER:
 46390

INLET DRIVE SHORELINE RESILIENCY DESIGN
 FOR
 CITY OF ST. AUGUSTINE
PRELIMINARY/PROPOSED CONSTRUCTION

REVISIONS

SHEET NO.
4

0 10 20
 SCALE: 1" = 10'
 SCALE: 1" = 20'
 FOR: 22"x34" SHEET
 FOR: 11"x17" SHEET



LINE #	LENGTH	DIRECTION
L14	205.98'	N 18°25'53" W
L15	2.42'	S 75°22'31" W

0 10 20
 SCALE: 1" = 10'
 SCALE: 1" = 20'
 FOR: 22"x34" SHEET
 FOR: 11"x17" SHEET

TECOCOI Engineering
 a **MAXTER WOODMAN** company
 426 GOLDWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32095
 TEL: 813-454-1200
 E.R. NUMBER: 26383

ENGINEER OF RECORD
JAMES L. PEARCE
 FLORIDA REGISTRATION NUMBER:
 46390

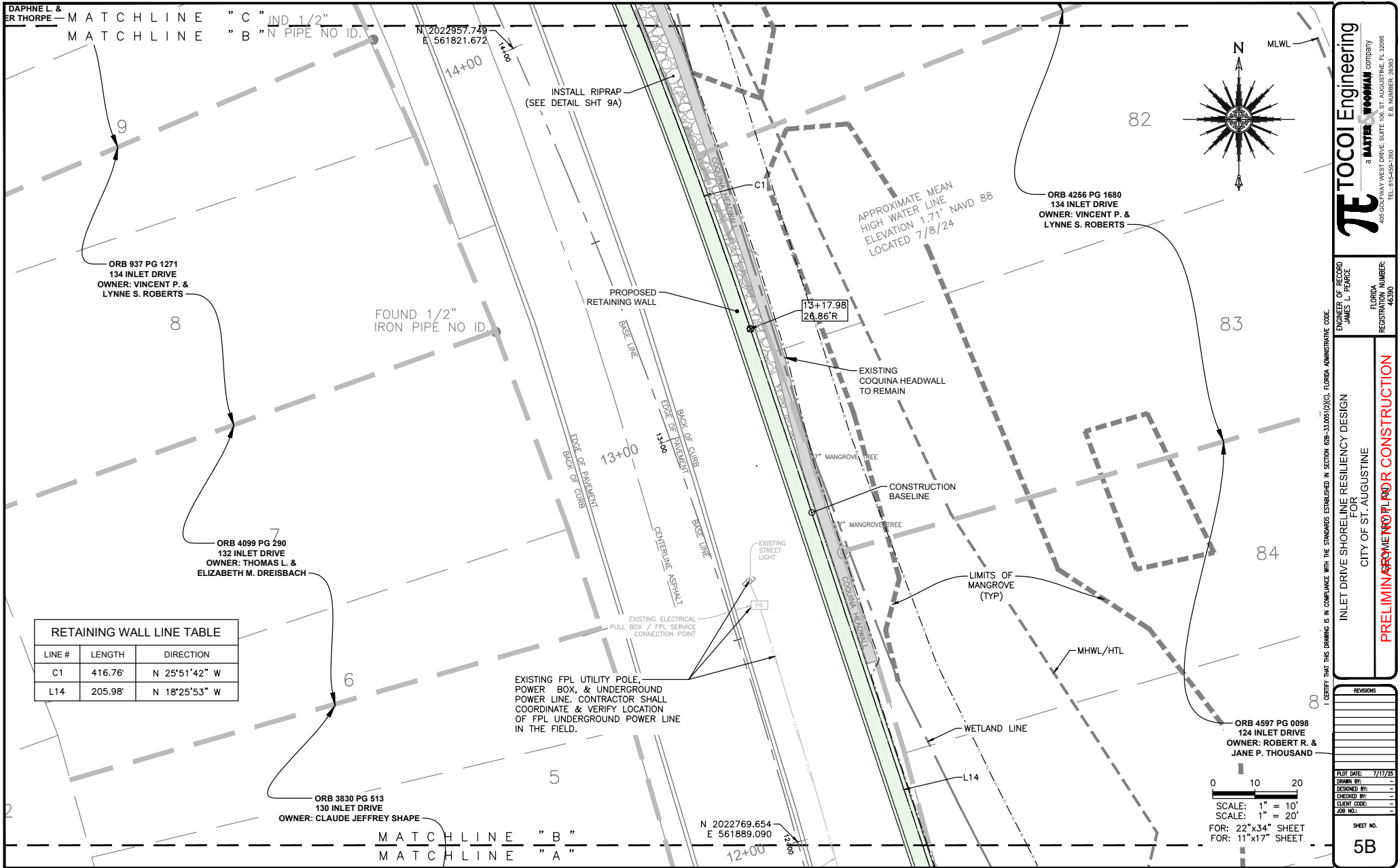
INLET DRIVE SHORELINE RESILIENCY DESIGN
 FOR
 CITY OF ST. AUGUSTINE
PRELIMINARY PERMITS AND CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION
1	7/17/25	ISSUED FOR PERMITS
2		
3		
4		
5		
6		
7		
8		
9		
10		

SCALE: 1" = 10'
 SCALE: 1" = 20'
 FOR: 22"x34" SHEET
 FOR: 11"x17" SHEET

SHEET NO.
5A



RETAINING WALL LINE TABLE		
LINE #	LENGTH	DIRECTION
C1	416.76'	N 25°51'42" W
L14	205.98'	N 18°25'53" W

TOCOI Engineering
 a **BAKSTER WOODMAN** company
 426 GOLDWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32095
 TEL: 815-454-1200 E.B. NUMBER: 26383

ENGINEER OF RECORD
 JAMES L. PEARCE
 FLORIDA REGISTRATION NUMBER:
 46390

INLET DRIVE SHORELINE RESILIENCY DESIGN
 FOR
 CITY OF ST. AUGUSTINE
 PRELIMINARY DESIGN AND CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION
1	7/17/25	ISSUED FOR PERMIT

DATE: 7/17/25
 DRAWN BY: []
 CHECKED BY: []
 CLIENT CODE: []
 JOB NO.: []

SHEET NO.
5B

MATCHLINE "D"
MATCHLINE "C"

BLOCK

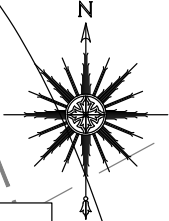
STRUCTURE TABLE					
NAME	TYPE	LOCATION	RIM/TOP	IN DATA	OUT DATA
S-1	CURB INLET	15+36.64 -9.96' L	4.40	N 2023133.615 E 561726.826	INV OUT: 2.25 (P-1)
S-2	CURB INLET	15+34.45 15.92' R	4.40	INV IN: 2.15 (P-1)	INV OUT: 2.15 (P-2)
S-3	CHECK VALVE	15+32.28 41.70' R	3.44	INV IN: 2.05 (P-2)	

NOTE: STATIONING IS BASED OFF SURVEY BASELINE

PIPE DATA TABLE			
NAME	SIZE	LENGTH	SL _{CR} %
P-1	14"x23" RCP	25.97'	0.39%
P-2	14"x23" RCP	25.88'	0.39%

SEDIMENT BARRIER FOR CURB SIDE INLET (SEE SHEET 2D)

RETAINING WALL CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CH LENGTH	CH DIRECTION
C1	416.76'	1300.00'	18°22'05"	414.98'	N 27°36'55" W



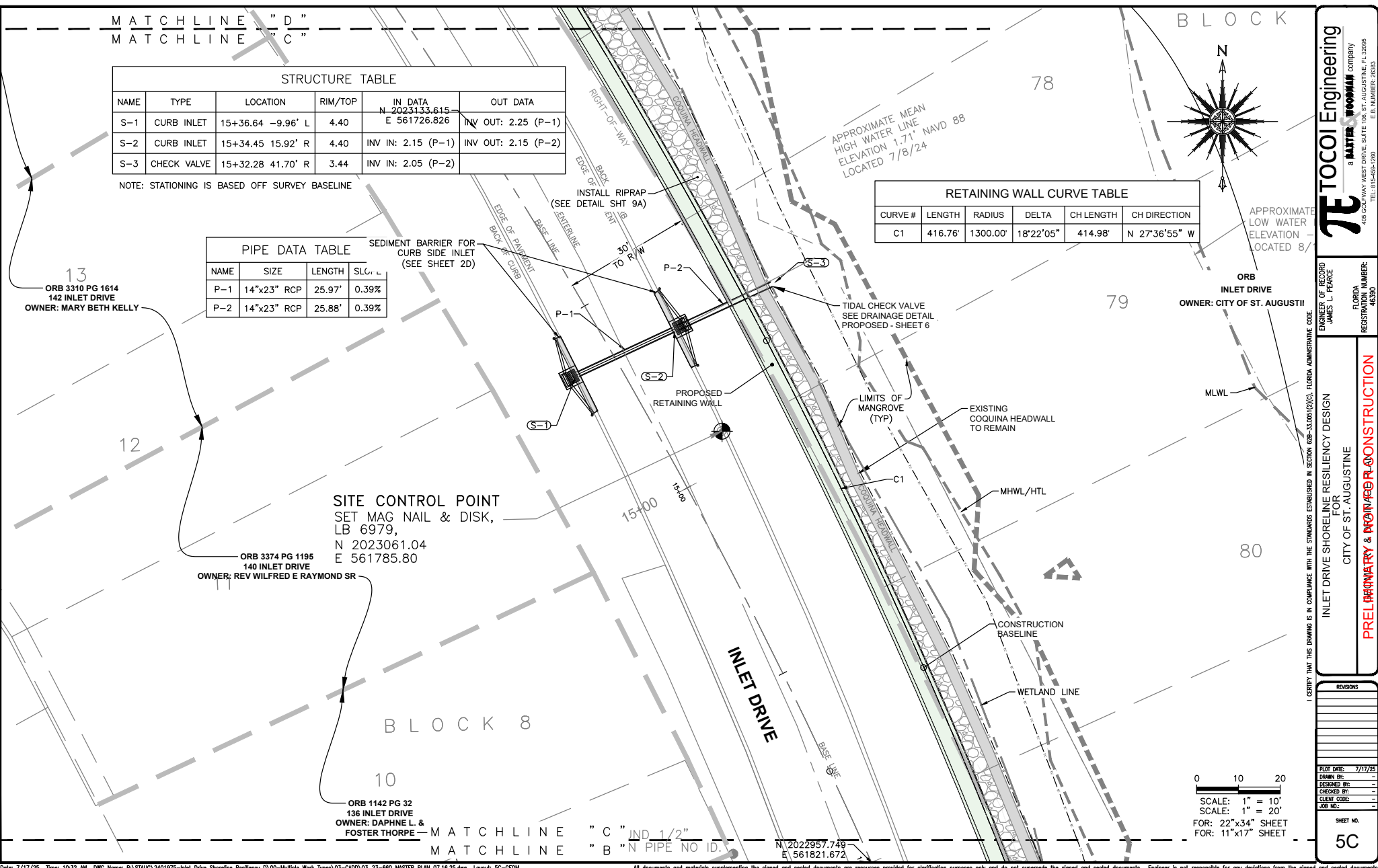
TOCO Engineering
a **WALTER WOODMAN** company
408 GOLDWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32095
TEL: 813-468-1260 E.R. NUMBER: 26383

ENGINEER OF RECORD
JAMES L. PEARCE
FLORIDA REGISTRATION NUMBER:
46390

INLET DRIVE SHORELINE RESILIENCY DESIGN
FOR
CITY OF ST. AUGUSTINE
PRELIMINARY & PROPOSED CONSTRUCTION

NO.	DATE	DESCRIPTION

SHEET NO.
5C



SITE CONTROL POINT
SET MAG NAIL & DISK,
LB 6979,
N 2023061.04
E 561785.80

0 10 20
SCALE: 1" = 10'
SCALE: 1" = 20'
FOR: 22"x34" SHEET
FOR: 11"x17" SHEET

19

18

17

16

15

74

75

LINE #	LENGTH	DIRECTION
L16	0.50'	N 49°32'53" E
L17	65.06'	N 36°47'58" W

N 20233258.800
E 561574.369

18+48

END
CONSTRUCTION
18+00.00

17+87.44
42.26'R

17+87.45
41.76'R

17+24.36
38.85'R

17+00

17+00

ORB 5501 PG 1325
INLET DRIVE
OWNER: INLET DRIVE
LAND TRUST

ORB 4296 PG 0617
INLET DRIVE
OWNER: DAVID MCHENRY

ORB 3537 PG 1222
146 INLET DRIVE
OWNER: WOLFGANG MIKI SCHAU

CONNECTION
TO EXISTING
VINYL WALL

HEADWALL & WALKWAY

APPROXIMATE MEAN
HIGH WATER LINE
ELEVATION 1.71' NAVD 88
LOCATED 7/8/20

SEE NORTH RETAINING
WALL DETAIL (SHT 9B)

PROPOSED
RETAINING WALL

CONSTRUCTION
BASELINE

ORB
INLET DRIVE
OWNER: CITY OF ST. AUGUSTINE

INSTALL RIPRAP
(SEE DETAIL SHT 9A)

LIMITS OF
MANGROVE
(TYP)

EXISTING
COQUINA HEADWALL
TO REMAIN

WETLAND LINE

MHWL/HTL

±30' WIDTH
TO R/W

0 10 20

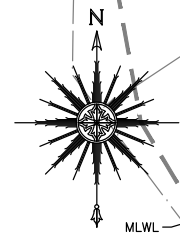
SCALE: 1" = 10'

SCALE: 1" = 20'

FOR: 22"x34" SHEET

FOR: 11"x17" SHEET

MATCHLINE "D"
MATCHLINE "C"



APPROXIMATE
LOW WATER
ELEVATION
LOCATED

PTOCOOL Engineering
a **MAXTER WOODMAN** company
426 GOLDWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32095
TEL: 813-454-1200 FAX: 813-454-1200

ENGINEER OF RECORD
JAMES L. PEARCE
FLORIDA
REGISTRATION NUMBER:
46390

INLET DRIVE SHORELINE RESILIENCY DESIGN
FOR
CITY OF ST. AUGUSTINE
PRELIMINARY DESIGN AND CONSTRUCTION

REVISIONS

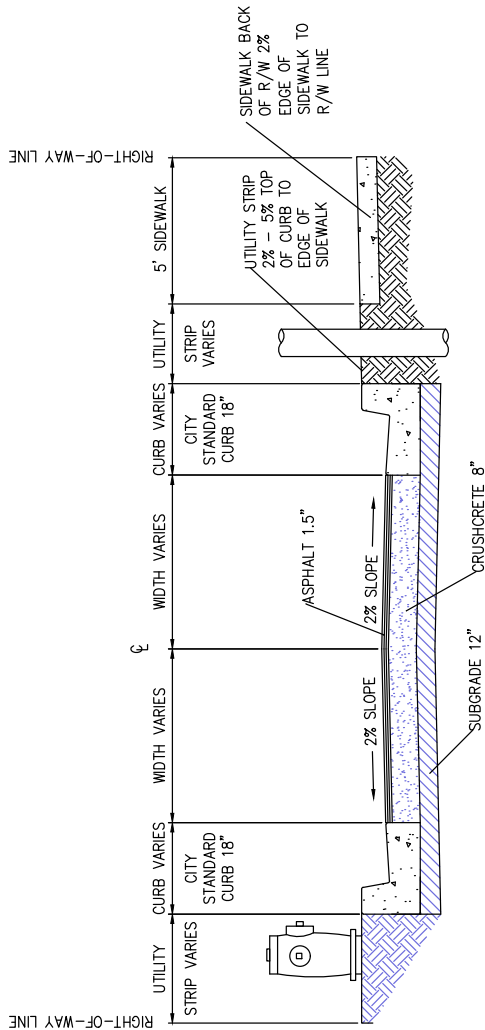
PROJECT DATE: 7/17/25
DRAWN BY:
DESIGNED BY:
CHECKED BY:
CLIENT CODE:
JOB NO.:

SHEET NO.
5D



Paving and Drainage Details PD-01A

DESCRIPTION	DATE	REVISED
TYPICAL ROADWAY LIGHT TRAFFIC	1/8/08	3/10/08



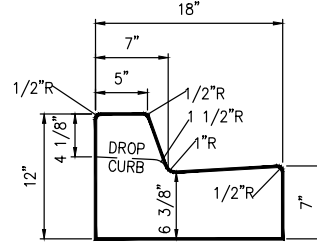
NOTE:

1. WIDTH OF RIGHT-OF-WAY VARIES.
2. WIDTH OF PAVEMENT SHALL BE APPROVED BY THE PUBLIC WORKS DEPT. CROWN OF PAVEMENT SHALL BE THE CENTERLINE OF THE ROADWAY UNLESS APPROVED BY THE PUBLIC WORKS DEPT.
3. TYPE ST ASPHALT SHALL BE PLACED AND COMPACTED WITH AN APPROVED COMPACTOR TO A MINIMUM OF 98% OF MAXIMUM DENSITY. THICKNESS OF ASPHALT SHALL BE 1 1/2". ALL SPECIFICATIONS SHALL BE FOLLOWED FROM F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2000, SECTION 331 TYPE S ASPHALT CONCRETE.
4. CRUSHED SHALL BE PLACED AND COMPACTED WITH AN APPROVED COMPACTOR TO A MINIMUM OF 100% AS DETERMINED BY AASHTO T180. CRUSHED SHALL BE COMPACTED IN 4" LIFTS, ASTM C33 FOR GRADATION 7(1/2" TO NO.4) SHALL BE FOLLOWED FOR AGGREGATE GRADATION. LBR SHALL BE AT LEAST 100 PRIOR TO PAVING. ALL SPECIFICATIONS SHALL BE FOLLOWED FROM F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2007, SECTION 200 ROCK BASE AND SECTION 204 GRADED AGGREGATE BASE.
5. STABILIZED SUBGRADE SHALL BE COMPACTED BY AN APPROVED COMPACTOR TO A MINIMUM OF 98% OF MAXIMUM DENSITY. LIMEROCK BEARING RATIO SHALL BE A MINIMUM OF 40. THICKNESS OF STABILIZED SUBGRADE SHALL BE 12".



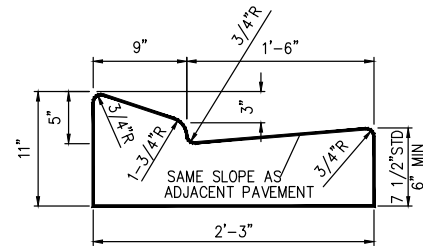
Paving and Drainage Details PD-02A

DESCRIPTION	DATE	REVISED
CURB AND GUTTER	11/12/96	10/4/07



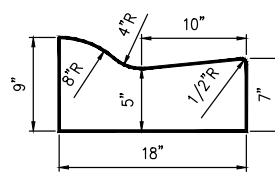
STANDARD CURB & GUTTER

.038850 CU. YDS. PER LINEAR FOOT



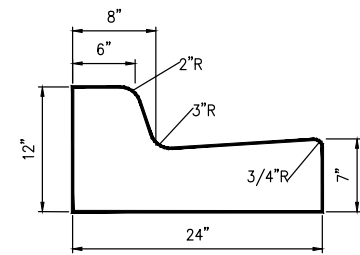
F.D.O.T. TYPE 'E' CURB

STANDARD: .0530852 CU. YDS. PER LINEAR FOOT
NON-STANDARD: VARIES



MIAMI CURB & GUTTER

.0321169 CU. YDS. PER LINEAR FOOT



F.D.O.T. 'F' CURB & GUTTER WITH 24" BASE

.0514011 CU. YDS. PER LINEAR FOOT

ALL CURB SHOULD BE 3000 PSI CONCRETE



TTCOI Engineering
a HASTEN BUSHMAN company
105 EDUWAY WEST DRIVE, SUITE 100, ST. AUGUSTINE, FL 32095
TEL: 814-498-1200

INLET DRIVE SHORELINE RESILIENCY DESIGN
FOR
CITY OF ST. AUGUSTINE
PRELIMINARY AND NOT FOR CONSTRUCTION

REVISIONS	

DESIGNED BY: _____
CHECKED BY: _____
CLIENT CODE: _____
JOB NO.: _____
SHEET NO. **6A**

Date: 7/17/25 Time: 10:53 AM DWG Name: P:\ST AUG\2401975-Inlet Drive Shoreline Resiliency D\00-Multiple Work Types\03-CADD\DRAINAGE DETAILS.dwg Layout: 6A

All documents and materials supplementing the signed and sealed documents are resources provided for clarification purposes only and do not supersede the signed and sealed documents. Engineer is not responsible for any deviations from the signed and sealed documents.



DESCRIPTION	TYPICAL TRENCHING DETAIL	DATE	1/8/08
		REVISED	3/10/08

NOTES:

- OPEN ROAD CUTS ARE GENERALLY NOT AN ACCEPTABLE MEANS OF CONSTRUCTION UNLESS APPROVED IN ADVANCE BY THE DEVELOPMENT REVIEW DEPARTMENT AND/OR THE ENGINEERING RIGHT OF WAY DIVISION. SEE NOTE #3.
- MATERIALS, MIX PROPORTIONS, PRODUCTION, PLACING, CONSTRUCTION REQUIREMENTS, AND ACCEPTANCE OF FLOWABLE FILL SHALL BE IN ACCORDANCE WITH THIS MANUAL.
- ALL OPEN CUTS SHALL REQUIRE A PERMIT AND A 48 HOUR ADVANCE NOTICE TO THE INSPECTION STAFF PRIOR TO COMMENCEMENT OF CONSTRUCTION. A REPRESENTATIVE FROM THE HIGHWAY INSPECTION STAFF MUST BE PRESENT AT THE TIME OF INSTALLATION OF THE UTILITY.
- PUBLIC SAFETY SHALL BE MAINTAINED DURING CONSTRUCTION IN ACCORDANCE WITH THE PROVISIONS OF PART 6, WORK ZONE TRAFFIC CONTROL OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR SHALL PROVIDE TO THE HIGHWAY INSPECTOR CERTIFICATION OF THE MIX DESIGN FROM THE SUPPLIER AT THE TIME OF CONSTRUCTION.
- AN OVERLAY UP TO 100' IS REQUIRED ON ALL OPEN ROAD CUTS AND WILL BE DETERMINED AT THE TIME OF PERMIT APPLICATION REVIEW.

TYPICAL TRENCHING DETAIL
N.T.S.

PIPE DIAMETER OR SPAN WIDTH	"X"
≤ 12"	12" INCHES
≤ 30"	30" INCHES
≤ 42"	42" INCHES
≤ 48"	48" INCHES
≤ 60"	60" INCHES
> 60"	60" INCHES

I CERTIFY THAT THIS DRAWING IS IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 62B-3.0065(2)(C), FLORIDA ADMINISTRATIVE CODE.

INLET DRIVE SHORELINE RESILIENCY DESIGN
FOR
CITY OF ST. AUGUSTINE

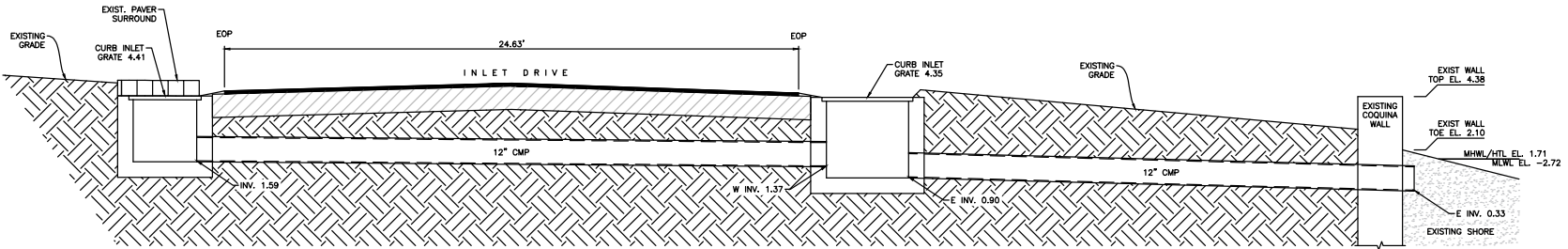
PRELIMINARY AND FOR CONSTRUCTION

π TOCOI Engineering
a **HALTER & GOODMAN** company
105 GOLFWAY WEST DRIVE SUITE 100, ST. AUGUSTINE, FL 32095
TEL: 814-488-1200
E.B. NUMBER: 20383

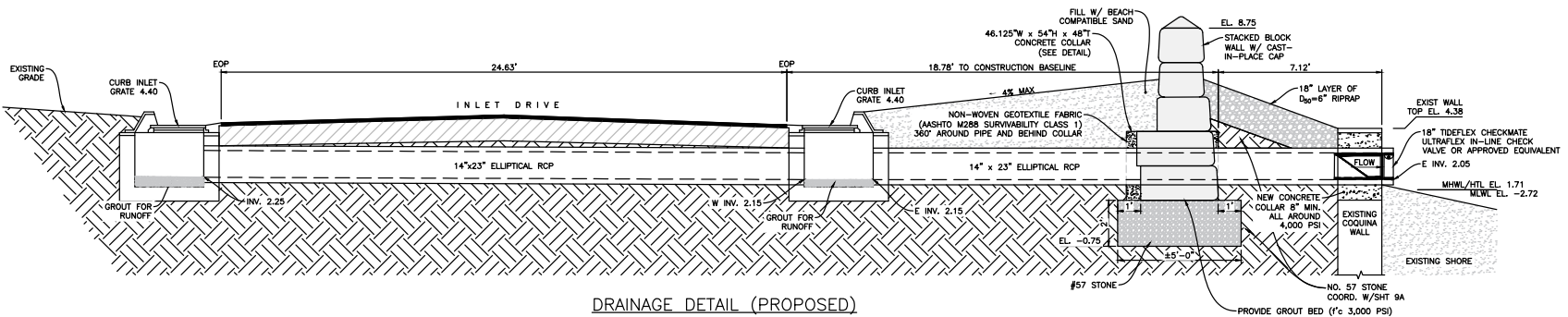
REVISIONS	NO.	DATE	BY	CHECKED	APP. NO.	JOB NO.

PLOT DATE: 7/17/25
DRAWN BY: -
DESIGNED BY: -
CHECKED BY: -
CLIENT CODE: -
JOB NO.: -

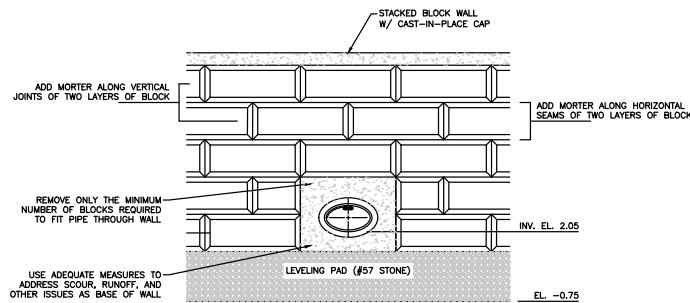
SHEET NO.
6C



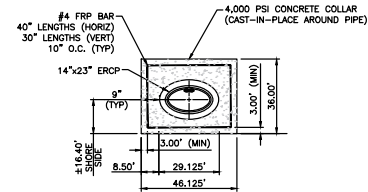
DRAINAGE DETAIL (EXISTING)
N.T.S.



DRAINAGE DETAIL (PROPOSED)
N.T.S.



CONCRETE COLLAR (FRONT)
N.T.S.



CONCRETE COLLAR DETAIL
N.T.S.

NOTE:
CONTRACTOR SHALL PROVIDE SHOP DRAWING OF PIPE THROUGH REDI-ROCK GRAVITY WALL.

REMOVE ONLY THE MINIMUM NUMBER OF BLOCKS REQUIRED TO FIT PIPE THROUGH WALL

USE ADEQUATE MEASURES TO ADDRESS SCOUR, RUNOFF, AND OTHER ISSUES AS BASE OF WALL

I CERTIFY THAT THIS DRAWING IS IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 62B-3.0065(2)(C), FLORIDA ADMINISTRATIVE CODE.

ENGINEER OF RECORD

JAMES L. PEARCE

FLORIDA

REGISTRATION NUMBER: 46390

INLET DRIVE SHORELINE RESILIENCY DESIGN

FOR CITY OF ST. AUGUSTINE

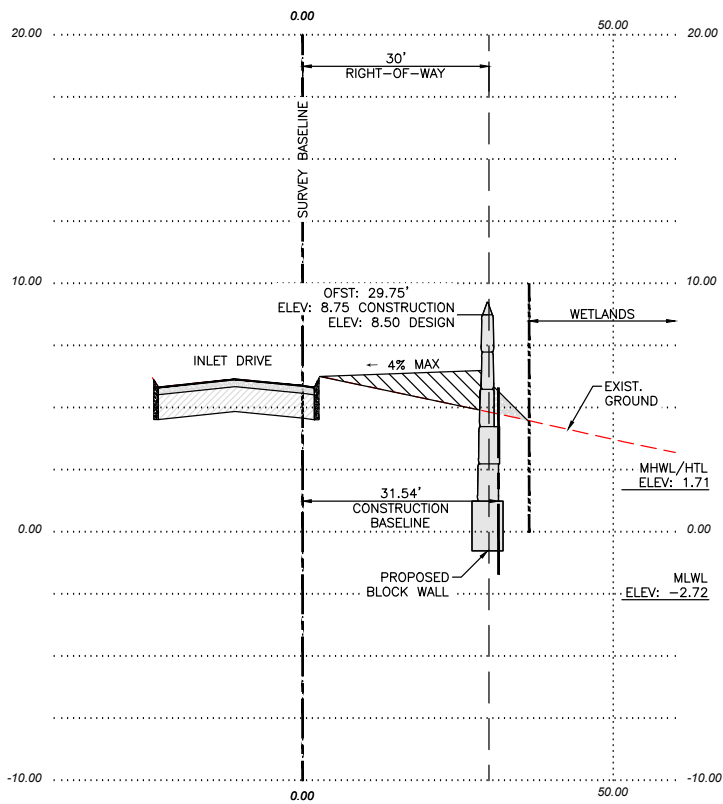
PRELIMINARY DESIGN AND CONSTRUCTION

REVISIONS

PLOT DATE: 7/17/25
DRAWN BY: -
DESIGNED BY: -
CHECKED BY: -
CLIENT CODE: -
JOB NO.: -

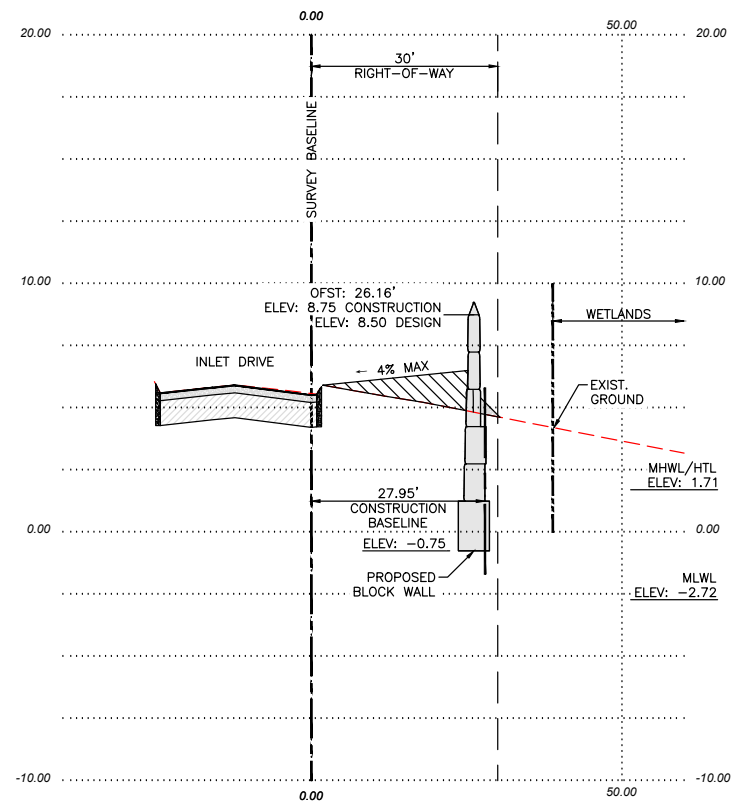
SHEET NO.

6D



SECTION VIEW: 11+50.00
 1"=20.00' Horiz.
 1"=4.00' Vert.

NOTE:
 SURVEY BASELINE IS THE CENTER OF THE RIGHT-OF-WAY
 AND DOES NOT FOLLOW THE CENTER OF THE ROADWAY.



SECTION VIEW: 12+00.00
 1"=20.00' Horiz.
 1"=4.00' Vert.

I CERTIFY THAT THIS DRAWING IS IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 658-33.005(2)(C), FLORIDA ADMINISTRATIVE CODE.

ENGINEER OF RECORD
 JAMES L. PEARCE

INLET DRIVE SHORELINE RESILIENCY DESIGN
 FOR
 CITY OF ST. AUGUSTINE

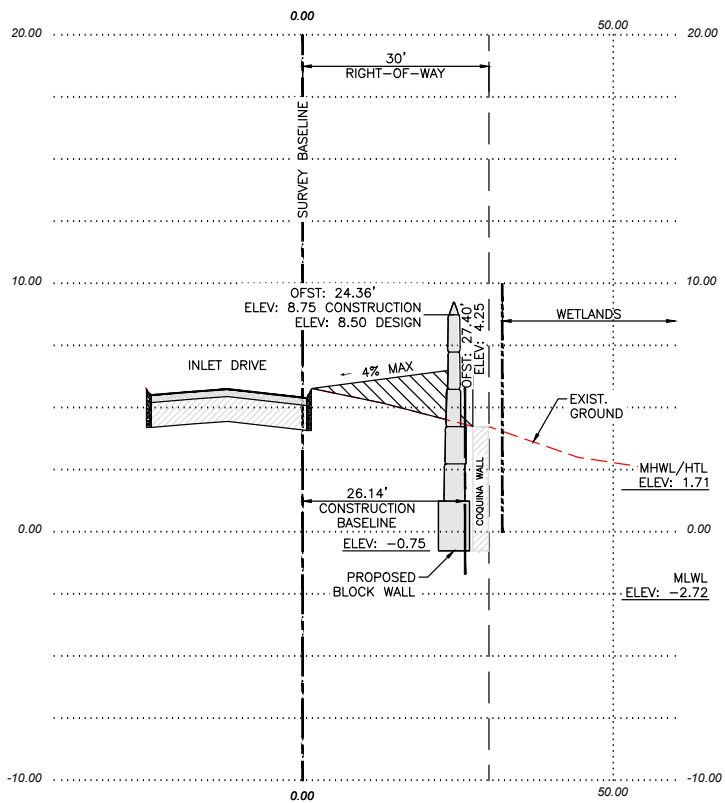
FLORIDA
 REGISTRATION NUMBER
 46390

PRELIMINARY NOT FOR CONSTRUCTION

NO.	DATE	BY	REVISION

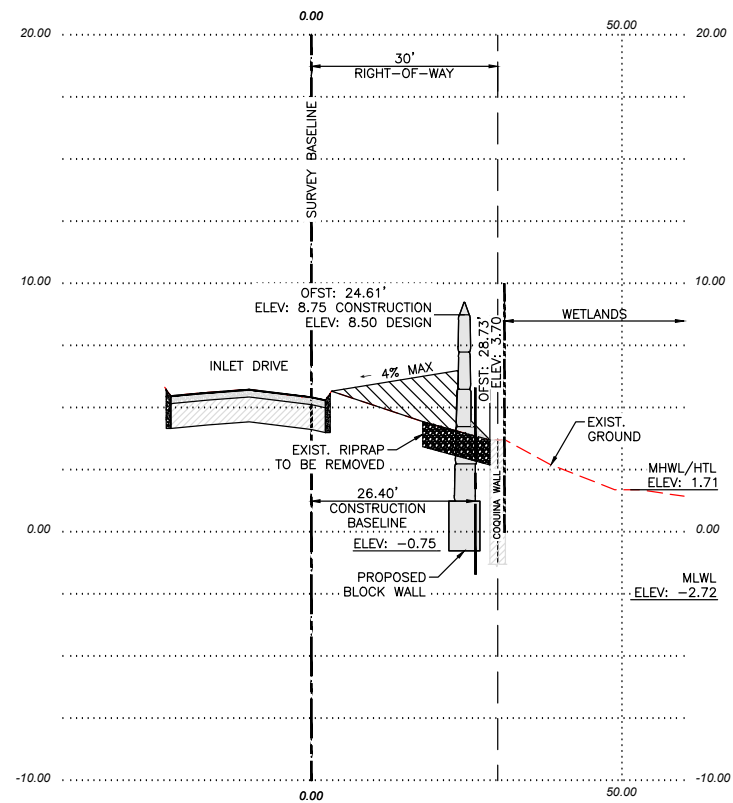
SHEET NO.

7A



SECTION VIEW: 12+50.00
 1"=20.00' Horiz.
 1"=4.00' Vert.

NOTE:
 SURVEY BASELINE IS THE CENTER OF THE RIGHT-OF-WAY
 AND DOES NOT FOLLOW THE CENTER OF THE ROADWAY.



SECTION VIEW: 13+00.00
 1"=20.00' Horiz.
 1"=4.00' Vert.

I CERTIFY THAT THIS DRAWING IS IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 658-33.005(2)(C), FLORIDA ADMINISTRATIVE CODE.

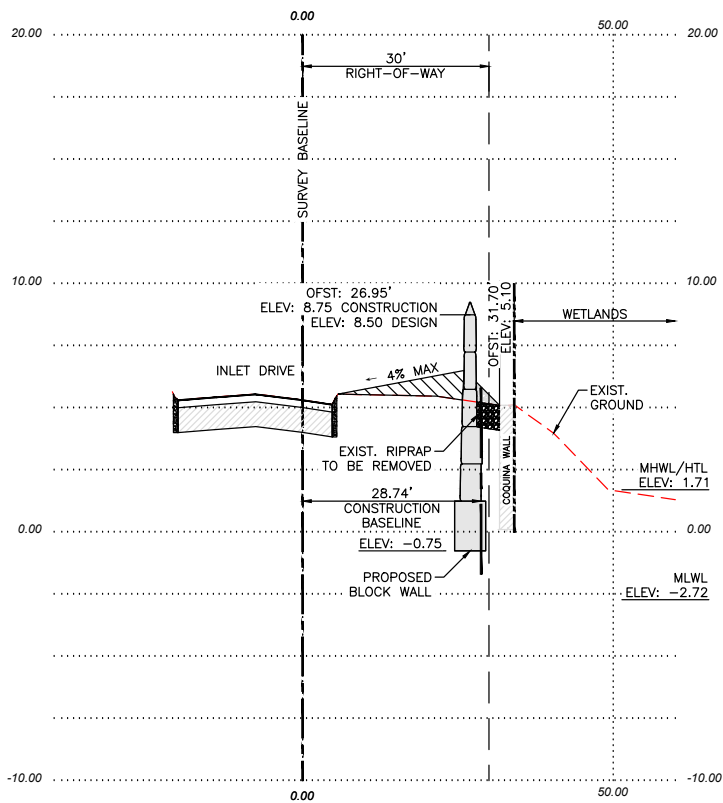
ENGINEER OF RECORD
 JAMES L. PEARCE
 FLORIDA
 REGISTRATION NUMBER:
 46390

INLET DRIVE SHORELINE RESILIENCY DESIGN
 FOR
 CITY OF ST. AUGUSTINE
 PRELIMINARY VIEW FOR CONSTRUCTION

NO.	DATE	BY	REVISIONS

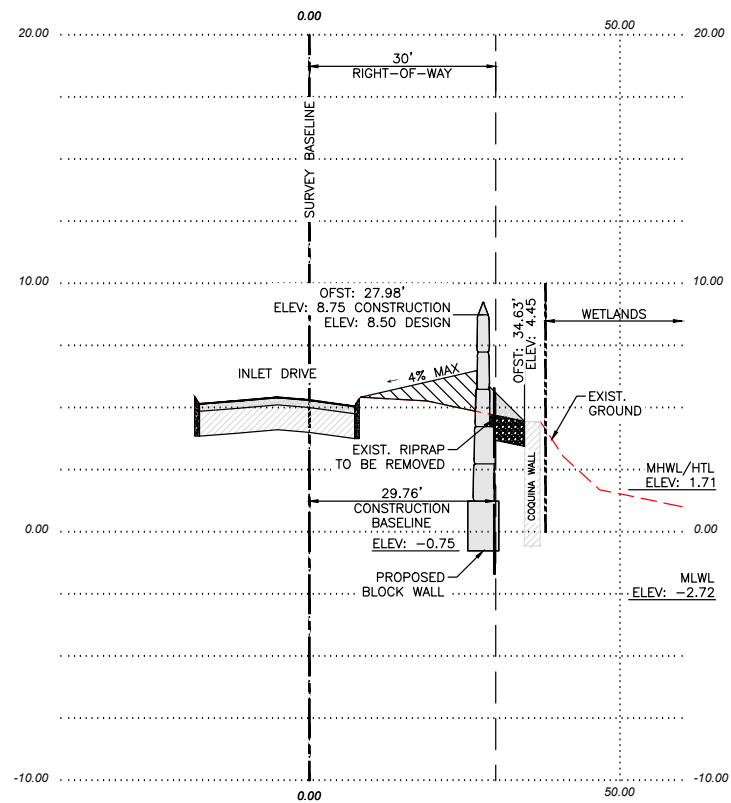
SHEET NO.
7B

TE TOCOI Engineering
 a MAXTER WOODMAN company
 426 GOLFWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32095
 TEL: 815-468-1200 E.R. NUMBER: 26383



SECTION VIEW: 13+50.00
 1"=20.00' Horiz.
 1"=4.00' Vert.

NOTE:
 SURVEY BASELINE IS THE CENTER OF THE RIGHT-OF-WAY
 AND DOES NOT FOLLOW THE CENTER OF THE ROADWAY.



SECTION VIEW: 14+00.00
 1"=20.00' Horiz.
 1"=4.00' Vert.

I CERTIFY THAT THIS DRAWING IS IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 658-33.005(2)(C), FLORIDA ADMINISTRATIVE CODE.

ENGINEER OF RECORD

JAMES L. PEARCE

INLET DRIVE SHORELINE RESILIENCY DESIGN

FOR

CITY OF ST. AUGUSTINE

PRELIMINARY VIEW FOR CONSTRUCTION

FLORIDA

REGISTRATION NUMBER

46390

REVISIONS

NO.	DATE	DESCRIPTION

DRAWN BY:

DESIGNED BY:

CHECKED BY:

CLIENT CODE:

JOB NO.:

SHEET NO.

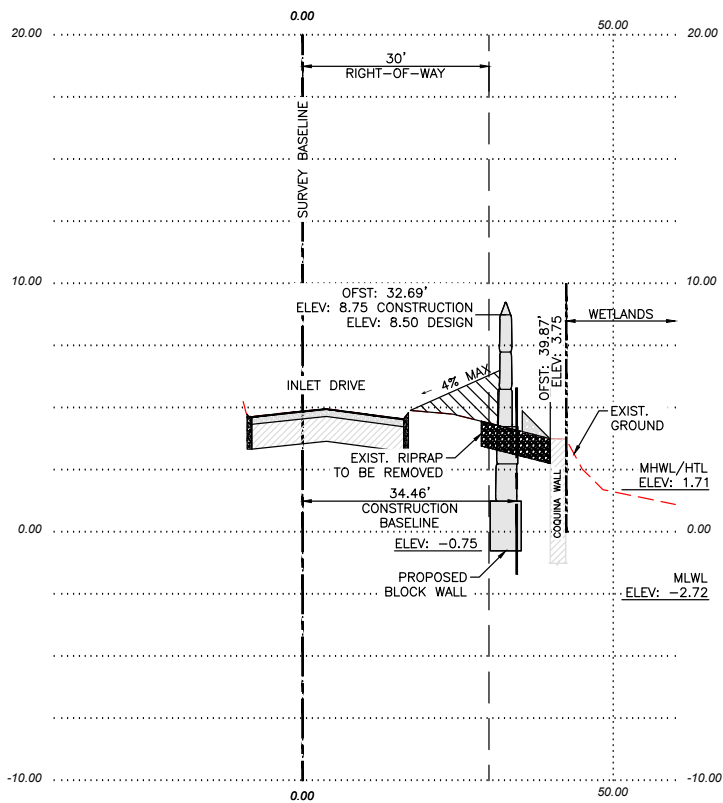
7C

TE TOCOI Engineering

a MAXTER WOODMAN company

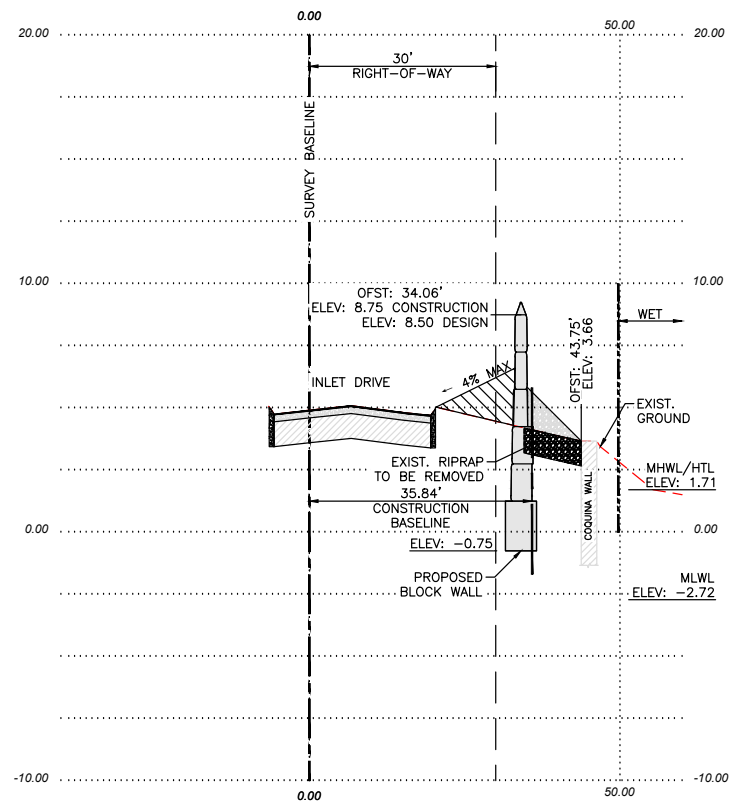
426 GOLFWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32095

TEL: 815-468-1200 E.R. NUMBER: 26383



SECTION VIEW: 15+50.00
 1"=20.00' Horiz.
 1"=4.00' Vert.

NOTE:
 SURVEY BASELINE IS THE CENTER OF THE RIGHT-OF-WAY
 AND DOES NOT FOLLOW THE CENTER OF THE ROADWAY.



SECTION VIEW: 16+00.00
 1"=20.00' Horiz.
 1"=4.00' Vert.

I CERTIFY THAT THIS DRAWING IS IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 626-33.005(2)(C), FLORIDA ADMINISTRATIVE CODE.

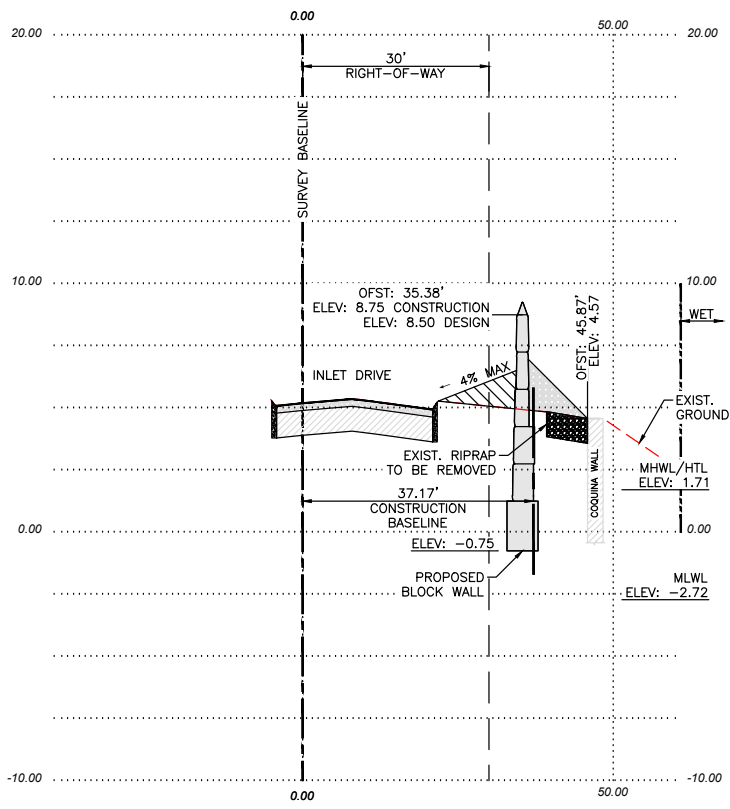
ENGINEER OF RECORD
JAMES L. PEARCE
 FLORIDA
 REGISTRATION NUMBER:
46390

INLET DRIVE SHORELINE RESILIENCY DESIGN
 FOR
 CITY OF ST. AUGUSTINE
 PRELIMINARY VIEW FOR CONSTRUCTION

NO.	DATE	DESCRIPTION

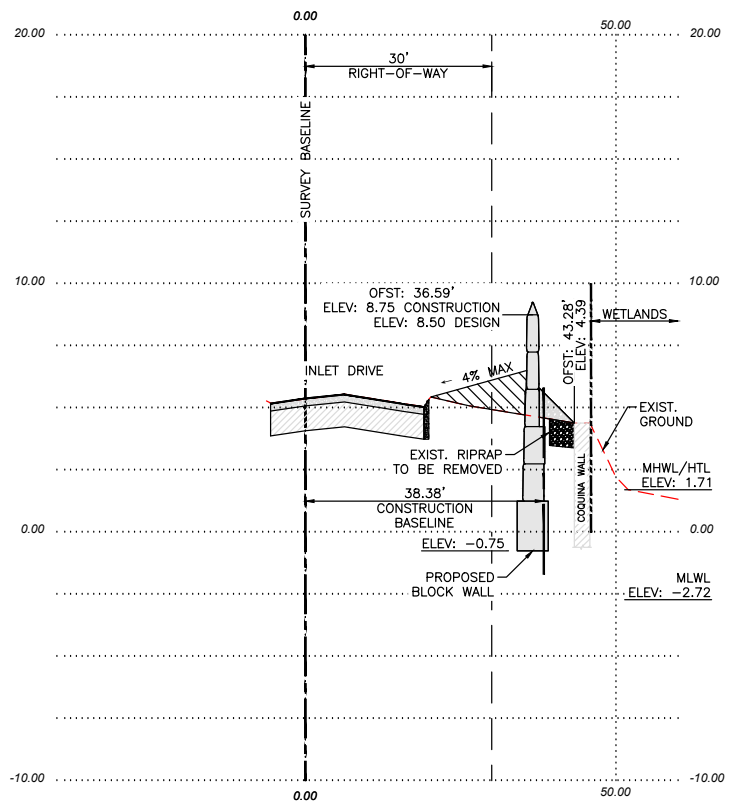
PLOT DATE: 7/17/25
 DRAWN BY: -
 DESIGNED BY: -
 CHECKED BY: -
 CLIENT CODE: -
 JOB NO.: -

SHEET NO.
7E



SECTION VIEW: 16+50.00
 1"=20.00' Horiz.
 1"=4.00' Vert.

NOTE:
 SURVEY BASELINE IS THE CENTER OF THE RIGHT-OF-WAY
 AND DOES NOT FOLLOW THE CENTER OF THE ROADWAY.



SECTION VIEW: 17+00.00
 1"=20.00' Horiz.
 1"=4.00' Vert.

CERTIFY THAT THIS DRAWING IS IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 626-33.005(2)(C), FLORIDA ADMINISTRATIVE CODE.

ENGINEER OF RECORD
JAMES L. PEARCE
 FLORIDA
 REGISTRATION NUMBER
46390

PRELIMINARY VIEW NOT FOR CONSTRUCTION

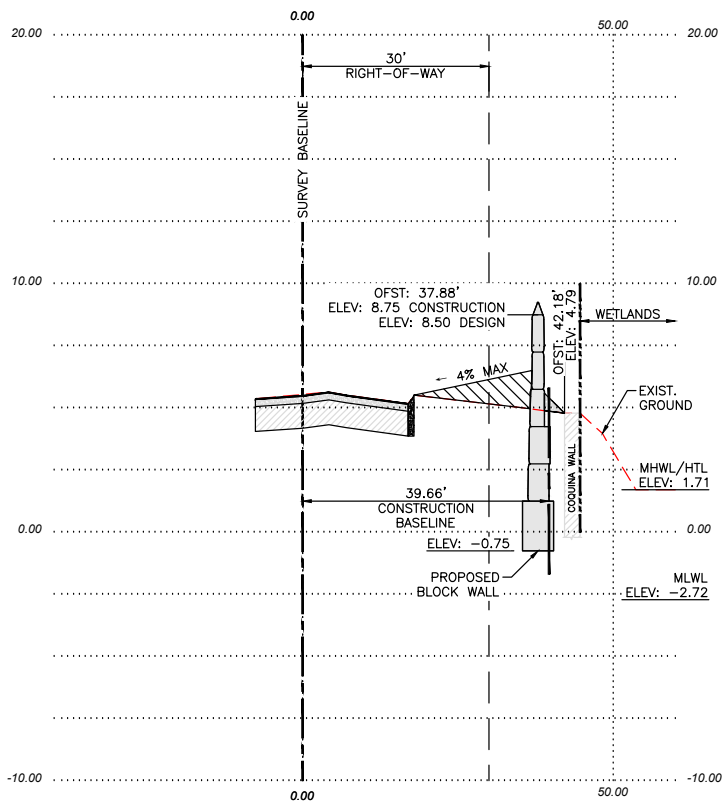
INLET DRIVE SHORELINE RESILIENCY DESIGN
 FOR
 CITY OF ST. AUGUSTINE

T E T O C O I Engineering
 a MAXTRA WOODMAN company
 428 GOLDWAY WEST DRIVE, SUITE 108, ST. AUGUSTINE, FL 32095
 TEL: 815-454-2260 E.R. NUMBER: 26383

NO.	DATE	DESCRIPTION

PROJECT DATE: 7/17/25
 DRAWN BY: -
 DESIGNED BY: -
 CHECKED BY: -
 CLIENT CODE: -
 JOB NO.: -

SHEET NO.
7F



SECTION VIEW: 17+50.00
1"=20.00' Horiz.
1"=4.00' Vert.

NOTE:
SURVEY BASELINE IS THE CENTER OF THE RIGHT-OF-WAY
AND DOES NOT FOLLOW THE CENTER OF THE ROADWAY.

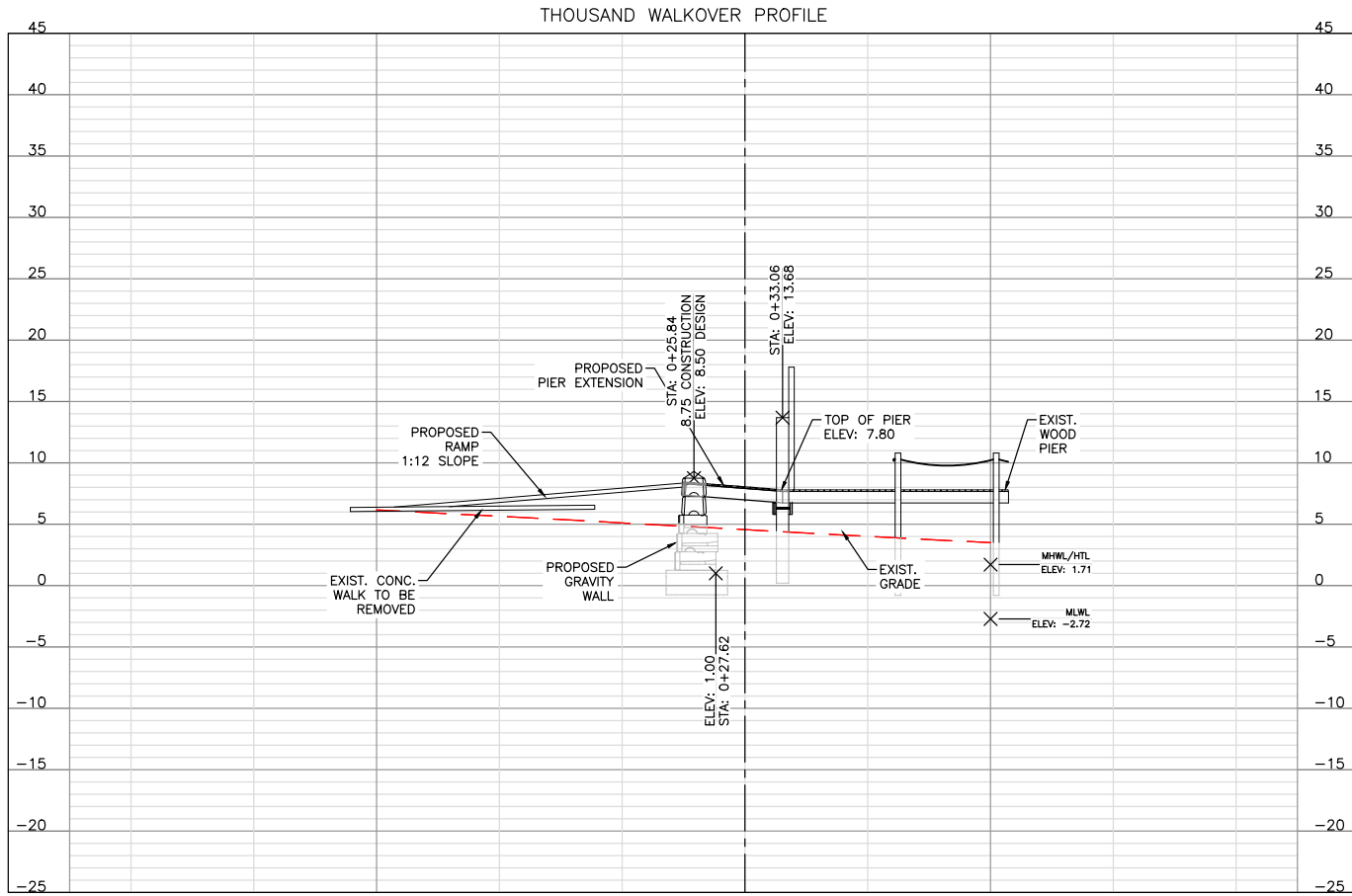
I CERTIFY THAT THIS DRAWING IS IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 658-33.005(2)(C), FLORIDA ADMINISTRATIVE CODE.

ENGINEER OF RECORD
 JAMES L. PEARCE
 FLORIDA
 REGISTRATION NUMBER:
 46390

INLET DRIVE SHORELINE RESILIENCY DESIGN
 FOR
 CITY OF ST. AUGUSTINE
 PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS
 NO. DATE DESCRIPTION
 1 7/17/25
 DRAWN BY:
 DESIGNED BY:
 CHECKED BY:
 CLIENT CODE:
 JOB NO.:
 SHEET NO.
 7G

TE TOCOI Engineering
 a MAXTER WOODMAN company
 426 GOLFWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32095
 TEL: 815-464-2900 E.R. NUMBER: 26383



INLET DRIVE SHORELINE RESILIENCY DESIGN
FOR
CITY OF ST. AUGUSTINE

PRECISION **PERFORMANCE** **TRUST**

TOCOI Engineering
a MASTER WOODMAN company
426 GOLFWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32095
TEL: 815-454-1200 E.R. NUMBER: 26383

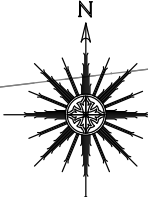
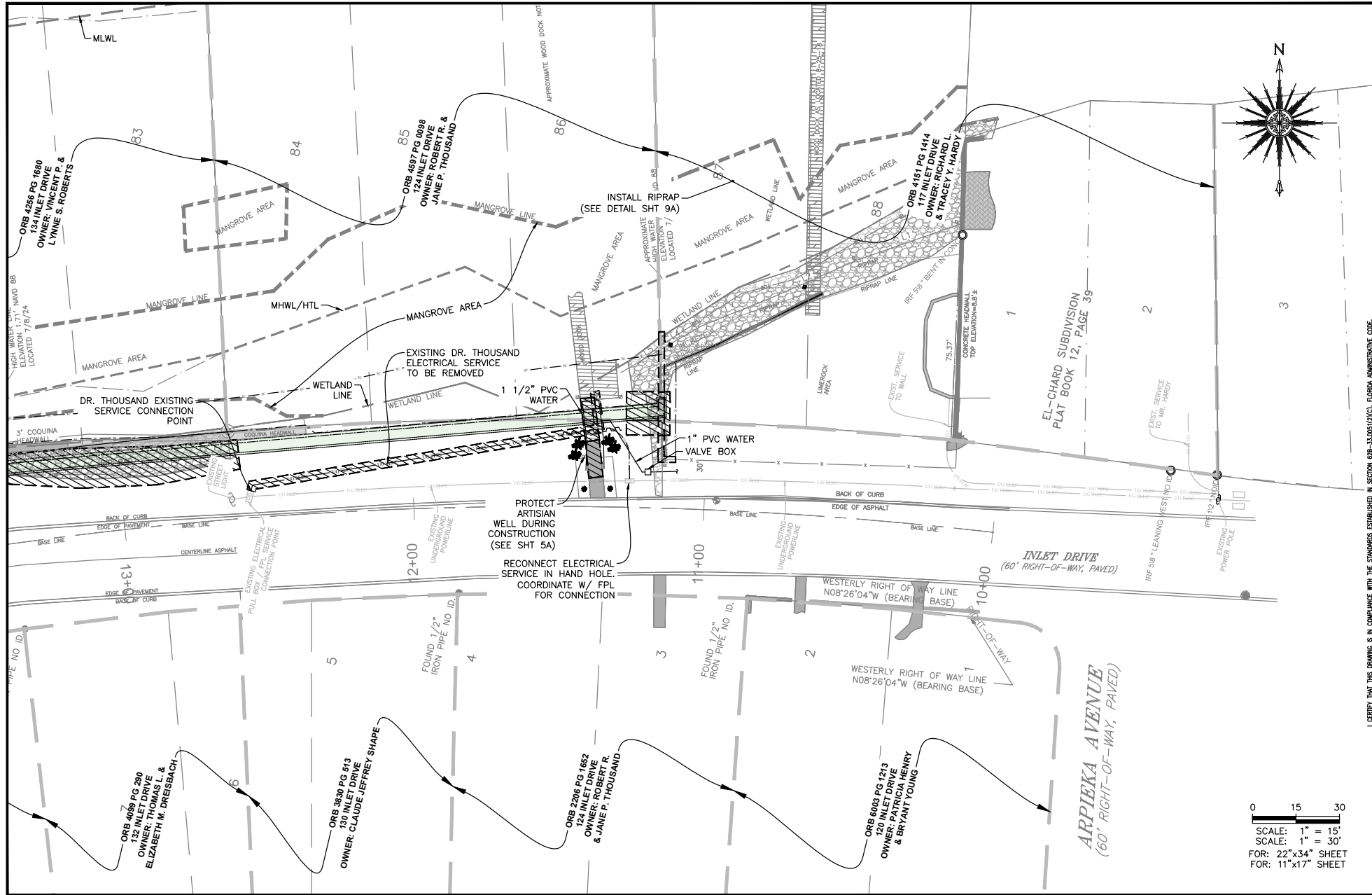
ENGINEER OF RECORD
JAMES L. PEARCE
FLORIDA
REGISTRATION NUMBER:
46390

I CERTIFY THAT THIS DRAWING IS IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 628-33.06(1)(C), FLORIDA ADMINISTRATIVE CODE.

NO.	DATE	REVISIONS

PROJECT DATE: 7/17/25
DRAWN BY: -
DESIGNED BY: -
CHECKED BY: -
CLIENT CODE: -
JOB NO.: -

SHEET NO.
7H



0 15 30
 SCALE: 1" = 15'
 SCALE: 1" = 30'
 FOR: 22"x34" SHEET
 FOR: 11"x17" SHEET

CERTIFY THAT THIS DRAWING IS IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 626-33.005(2)(C), FLORIDA ADMINISTRATIVE CODE.

REVISIONS
 NO. DATE BY
 1 7/17/25
 2
 3
 4
 5
 6
 7
 8

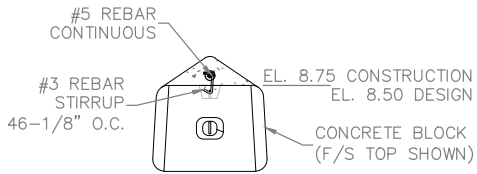
SHEET NO.
8

JOB NO.:
 CLIENT CODE:
 CHECKED BY:
 DESIGNED BY:
 DRAWN BY:

INLET DRIVE SHORELINE RESILIENCY DESIGN
 FOR
 CITY OF ST. AUGUSTINE
PRELIMINARY UTILITY FOR CONSTRUCTION

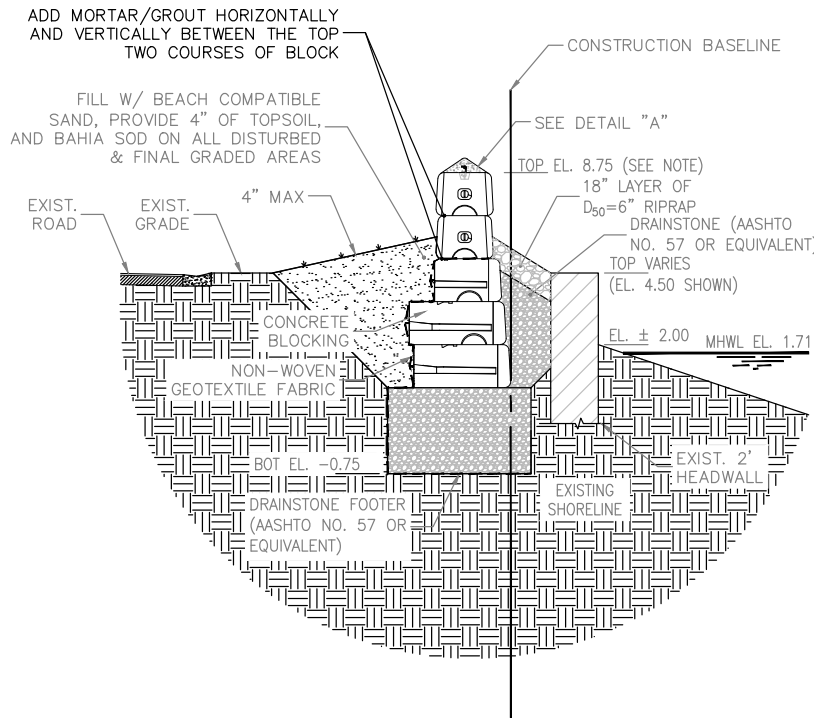
ENGINEER OF RECORD
 JAMES L. PEARCE
 FLORIDA
 REGISTRATION NUMBER:
 46390

π TOCOI Engineering
 a MAXTER WOODMAN COMPANY
 426 GOLDWAY WEST DRIVE, SUITE 106, ST. AUGUSTINE, FL 32095
 TEL: 813-468-1200
 E.B. NUMBER: 26383

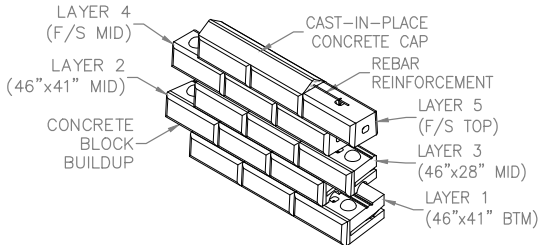


NOTES:
 1. $F_c = 3,000$ PSI
 2. 1" SAW JOINTS @ 60" O.C. PILING

CONC CAP DETAIL "A"
 RELATIVE SCALE 2:1



NOTE: DESIGN TOP OF WALL IS ELEV: 8.50. CONSTRUCTION TOP OF WALL IS ELEV: 8.75 TO ALLOW FOR ANTICIPATED SETTLEMENT



ISOMETRIC SECTION
 RELATIVE SCALE 1:1.5

TYPICAL RETAINING WALL DETAIL - CONCRETE BLOCKING
 ALL BOLTS, COUPLERS, AND NUTS SHALL BE LOCKED TO PREVENT LOOSENING
 CONCRETE: $F_c = 4,000$ PSI
 REBAR: $F_y = 60$ KSI ZINC COATED
 SAW JOINT: 1" @ 72" O.C.

LEGEND

	EXISTING 2' BLOCK HEADWALL
	DRAINSTONE (MO. 57 OR EQUIVALENT)
	CLEAN FREE DRAINING BEACH COMPATIBLE SAND (SP) (FDEP ACCEPTED) COMPACTED BACKFILL
	EXISTING SHORELINE (NATURAL GROUND)

π TOCOI Engineering
 a BAXTER WOODMAN company
 105 GOLFWAY WEST DRIVE SUITE 106, ST. AUGUSTINE, FL 32095
 TEL: 814-489-1200

ENGINEER OF RECORD
 JAMES L. PEARCE
 FLORIDA
 REGISTRATION NUMBER:
 46390

INLET DRIVE SHORELINE RESILIENCY DESIGN
 FOR
 CITY OF ST. AUGUSTINE

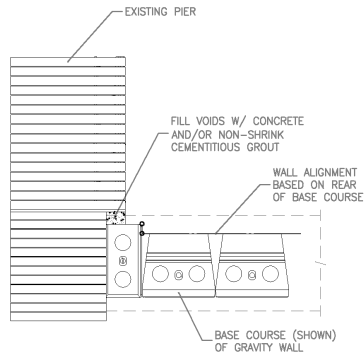
PRELIMINARY - NOT FOR CONSTRUCTION

REVISIONS

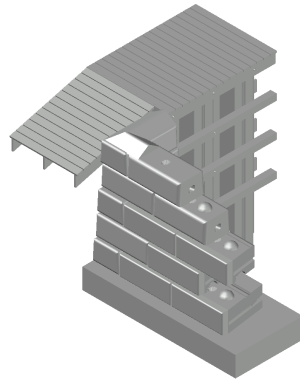
NO.	DESCRIPTION	DATE

PLOT DATE: 7/17/25
 DRAWN BY: -
 DESIGNED BY: -
 CHECKED BY: -
 CLIENT CODE: -
 JOB NO.: -

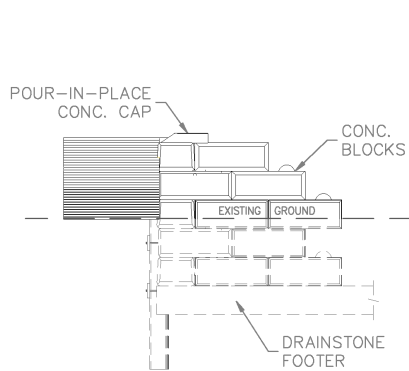
SHEET NO.
9A



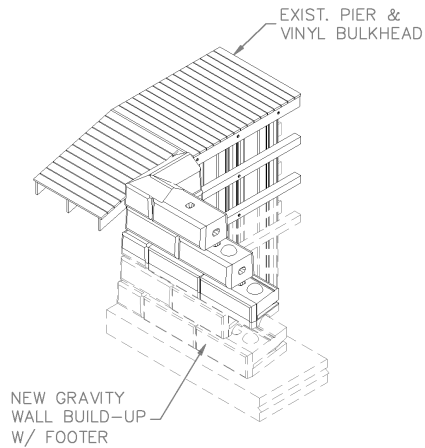
PLAN VIEW
SCALE N.T.S.



ISOMETRIC (RENDERED)
SCALE N.T.S.

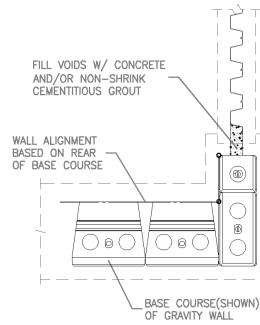


FRONT VIEW
SCALE N.T.S.

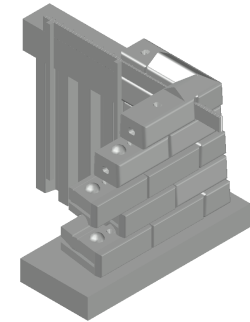


ISOMETRIC VIEW
SCALE N.T.S.

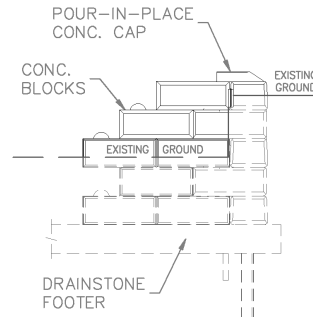
**RETAINING WALL DETAIL
NORTH END (SCHAU/COSA) INTERFACE**



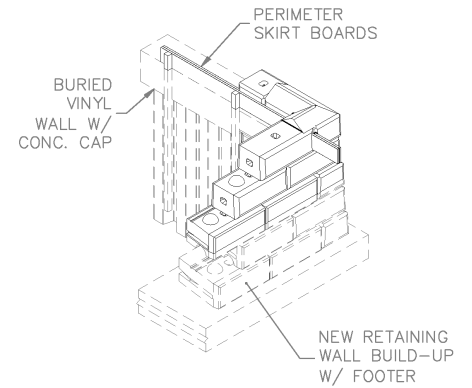
PLAN VIEW
SCALE N.T.S.



ISOMETRIC (RENDERED)
SCALE N.T.S.



FRONT VIEW
SCALE N.T.S.



ISOMETRIC SECTION
SCALE N.T.S.

**RETAINING WALL DETAIL
SOUTH END (THOUSAND/HARDY) INTERFACE**

Date: 6/20/25 Time: 9:31 AM DWG Name: P:\STAUS\2401975-Inlet Drive Shoreline Resiliency D\00-Multiple Work Type\03-CDD\SEAWALL DETAILS.dwg Layout: 9B All documents and materials supplementing the signed and sealed documents are resources provided for clarification purposes only and do not supersede the signed and sealed documents. Engineer is not responsible for any deviations from the signed and sealed documents.

Attachment 7: Easements

This instrument was prepared under the supervision and direction of Isabelle C. Lopez, City Attorney, P.O. Box 210, St. Augustine, FL, 32085

Public Records of St. Johns County, FL
Clerk number: 2025074592
BK: 6219 PG: 1810
9/12/2025 1:23 PM
Recording \$44.00
Doc. D \$0.70

GRANT OF TEMPORARY CONSTRUCTION EASEMENT

THIS TEMPORARY CONSTRUCTION EASEMENT executed and given this 29 day of August, 2025 by **RICHARD L. HARDY and TRACEY Y. HARDY**, whose mailing address is 117 Inlet Drive, St. Augustine, Florida 32080-0000, hereinafter referred to as "Grantor", to **THE CITY OF ST. AUGUSTINE, FLORIDA**, a municipal corporation, E.I.D. No. 59-6000420, whose address is P.O. Box 210, St. Augustine, Florida, 32085-0210, hereinafter referred to as "Grantee".

WITNESSETH:

Grantor, for and in consideration of the sum of Ten and No/100 (\$10.00) Dollars and other good and valuable consideration, including the mutual covenants and conditions as provided herein, the receipt and adequacy of which are hereby acknowledged, has granted, bargained and sold to Grantee a **temporary non-exclusive Construction Easement** for the infrastructure constituting the retaining wall (also referred to as a bulkhead or wall) and all other equipment and appurtenances as may be necessary or convenient for the construction and installation of the retaining wall that is subject to approved and permitted project design on, over and underneath the following described real property ("Property") and as depicted in Exhibit A, situated in St. Johns County, Florida, to-wit:

PARCEL ID: 2139190010

TEMPORARY EASEMENT DESCRIPTION:

A TEMPORARY CONSTRUCTION EASEMENT OF 5-FEET IN WIDTH BY 27.63 FEET IN LENGTH LOCATED ALONG THE NORTHERLY BOUNDARY OF THE REFERENCED PARCEL AND AS DEPICTED IN EXHIBIT A. CONTAINING 138 SQUARE FEET OF LAND MORE OR LESS.

TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS ON, OVER AND UNDER SAID PROPERTY FOR THE PURPOSES OF CONSTRUCTION OF THE RETAINING WALL (ALSO REFERRED TO AS A BULKHEAD OR WALL) AND ALL OTHER EQUIPMENT AND APPURTENANCES AS MAY BE NECESSARY OR CONVENIENT FOR THE CONSTRUCTION AND INSTALLATION OF THE RETAINING WALL. PLEASE REFER TO THE APPROVED PLANS (PLAN SHEET 3A) FOR ADDITIONAL REQUIREMENTS FOR THE CONTRACTOR TO FOLLOW DURING CONSTRUCTION.



The term of this Temporary Construction Easement shall be effective until as built certification of the project is completed and approved.

The undersigned Grantor hereby reserves the right to use the real property described herein for all purposes which will not interfere with the Temporary Construction Easement granted herein and further reserves the right to grant easements to other parties on, over and under said real property.

*** * * SIGNATURES APPEAR ON THE FOLLOWING PAGE * * ***

A handwritten signature in black ink, appearing to be 'RJH' with a stylized flourish above it.

Temporary Construction Easement
Rev. 08/27/2025
Page 2 of 5

Signed, sealed and delivered
in the presence of:

"GRANTOR"
TRACEY Y. HARDY

Jessica Beach
Witness #1
Print: Jessica Beach
Address: 75 King Street
St. Augustine, FL 32084

Tracey Y Hardy
Address: 117 Inlet Drive
St. Augustine, Florida 32080

Shanna Lee
Witness #2
Print: Shanna Lee
Address: 75 King Street
St. Augustine, FL 32084

STATE OF FLORIDA
COUNTY OF Florida St. Johns

I HEREBY CERTIFY that on this day, personally appeared before me, by means of physical presence or online notarization, **Tracey Y. Hardy**, who is personally known to me or who has produced FL Driver's License as identification, who is the person described in and who executed the foregoing instrument and who acknowledged before me that they executed the same for the uses and purposes therein expressed.

Witness my hand and official seal, this 29th day of August, 2025.

Shanna Lee
Notary Public, State of Florida



SHANNA LEE
Commission # HH 397151
Expires June 6, 2027

APPROVED AS TO FORM AND
LEGAL SUFFICIENCY:
[Signature]
CITY ATTORNEY

Signed, sealed and delivered
in the presence of:

"GRANTOR"
RICHARD L. HARDY

Jessica Beach

RLH only

Witness #1

Print: Jessica Beach

Address: 117 Inlet Drive

Address: 75 King St.
St. Augustine, FL 32084

St. Augustine, Florida 32080

Witness #2

Print: Shanna Lee

Address: 75 King Street
St Augustine, FL 32084

STATE OF FLORIDA
COUNTY OF St Johns

I HEREBY CERTIFY that on this day, personally appeared before me, by means of physical presence or online notarization, **Richard L. Hardy**, who is personally known to me or who has produced FL Drivers License as identification, who is the person described in and who executed the foregoing instrument and who acknowledged before me that they executed the same for the uses and purposes therein expressed.

Witness my hand and official seal, this 29th day of August, 2025.

Shanna Lee
Notary Public, State of Florida



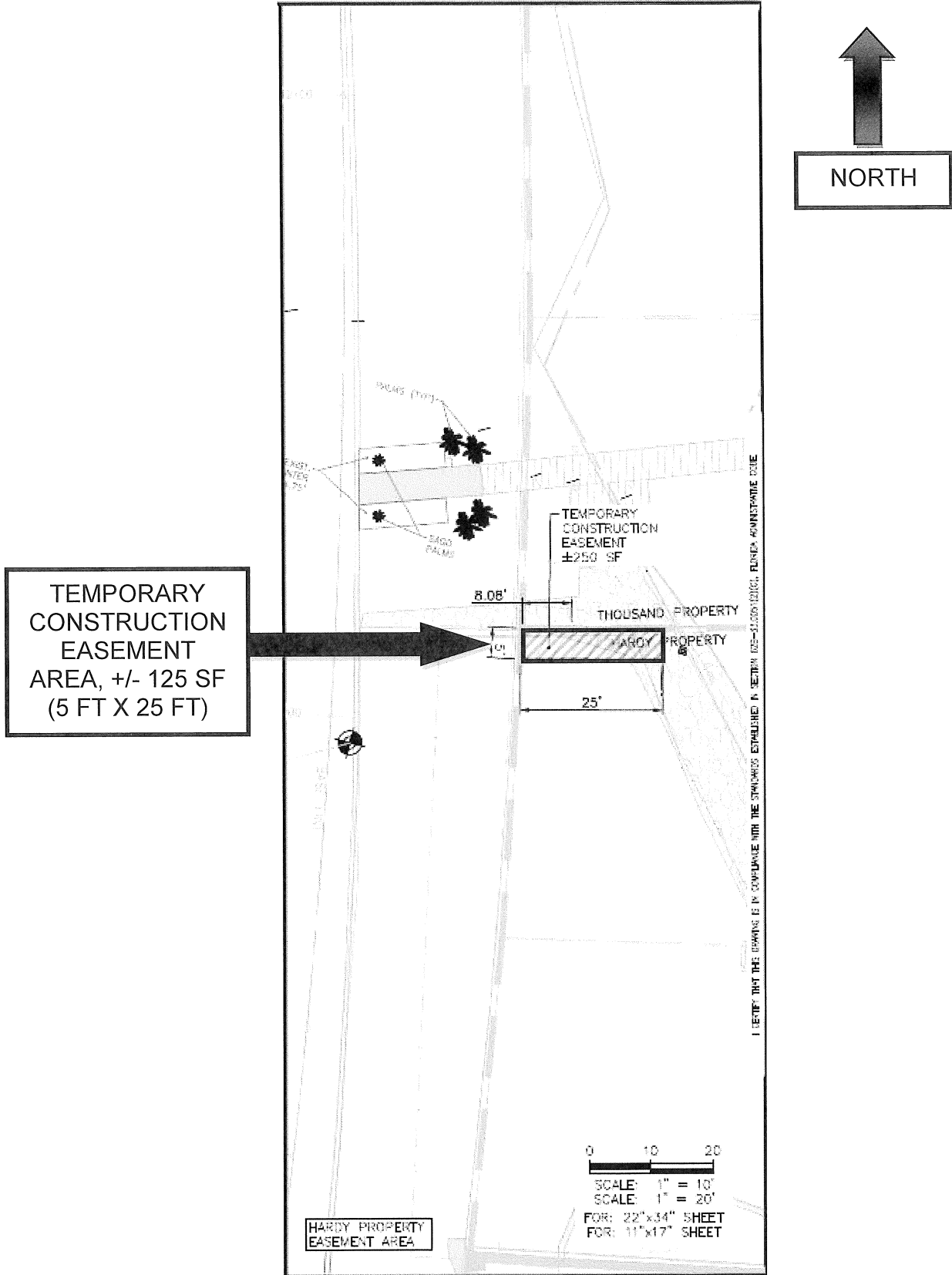
SHANNA LEE
Commission # HH 397151
Expires June 6, 2027

APPROVED AS TO FORM AND
LEGAL SUFFICIENCY:

[Signature]
CITY ATTORNEY

EXHIBIT "A"

TEMPORARY CONSTRUCTION EASEMENT AREA (CROSS-HATCHED) SHOWN BELOW



Handwritten signature
TWH

This instrument was prepared under the supervision and direction of Isabelle C. Lopez, City Attorney, P.O. Box 210, St. Augustine, FL, 32085

Public Records of St. Johns County, FL
Clerk number: 2025070438
BK: 6211 PG: 1059
8/29/2025 8:54 AM
Recording \$35.50
Doc. D \$0.70

GRANT OF TEMPORARY CONSTRUCTION EASEMENT

THIS TEMPORARY CONSTRUCTION EASEMENT executed and given this 13th day of August, 2025 by **ROBERT R. THOUSAND, JR., INDIVIDUALLY AND AS TRUSTEE OF THE ROBERT R. THOUSAND, JR. REVOKABLE TRUST**, whose mailing address is 124 Inlet Drive, St. Augustine, Florida 32080-0000, hereinafter referred to as "Grantor", to **THE CITY OF ST. AUGUSTINE, FLORIDA**, a municipal corporation, E.I.D. No. 59-6000420, whose address is P.O. Box 210, St. Augustine, Florida, 32085-0210, hereinafter referred to as "Grantee".

WITNESSETH:

Grantor, for and in consideration of the sum of Ten and No/100 (\$10.00) Dollars and other good and valuable consideration, including the mutual covenants and conditions as provided herein, the receipt and adequacy of which are hereby acknowledged, has granted, bargained and sold to Grantee a **temporary non-exclusive Construction Easement** for the infrastructure constituting the retaining wall (also referred to as a bulkhead or wall) and all other equipment and appurtenances as may be necessary or convenient for the construction and installation of the retaining wall that is subject to approved and permitted project design on, over and underneath the following described real property ("Property") and as depicted in **Exhibit A**, situated in St. Johns County, Florida, to-wit:

PARCEL ID: **2153700000**

TEMPORARY EASEMENT DESCRIPTION:

A TEMPORARY CONSTRUCTION EASEMENT IN VARYING LENGTH AND WIDTH AS DEPICTED IN EXHIBIT A. CONTAINING 420 SQUARE FEET OF LAND MORE OR LESS.

TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS ON, OVER AND UNDER SAID PROPERTY FOR THE PURPOSES OF CONSTRUCTION OF THE RETAINING WALL (ALSO REFERRED TO AS A BULKHEAD OR WALL) AND ALL OTHER EQUIPMENT AND APPURTENANCES AS MAY BE NECESSARY OR CONVENIENT FOR THE CONSTRUCTION AND INSTALLATION OF THE RETAINING WALL. THE GRANTOR RESERVES THE RIGHT AND PRIVILEGE TO USE AND OCCUPY AND TO GRANT OTHERS THE RIGHT TO USE AN OCCUPY THE SURFACE AND AIR SPACE OVER THE EASEMENT AREA FOR ANY PURPOSE WHICH IS CONSISTENT WITH THE RIGHTS HEREIN GRANTED TO GRANTEE. GRANTOR MAY, AT THE GRANTOR'S EXPENSE, CONSTRUCT AND UTILIZE ANY EXISTING LEGAL ACCESS TO THE WETLANDS AND

SURFACE WATERS THEY MAY HAVE SUBJECT TO LOCAL, STATE AND/OR FEDERAL PERMITTING. HOWEVER, GRANTOR MUST COORDINATE WITH AND OBTAIN THE APPROVAL OF THE GRANTEE ON SUCH ACCESS AS IT COULD POTENTIALLY NEGATIVELY AFFECT THE PROPOSED INFRASTRUCTURE; AND GRANTOR UNDERSTANDS, AGREES AND ACKNOWLEDGES THAT THEY WILL NOT USE OR OCCUPY, NOR GRANT TO OTHERS ANY RIGHT TO USE OR OCCUPY, THE EASEMENT AREA IN A MANNER THAT MAY IMPEDE, IMPAIR, OR INTERFERE WITH THE PROPER CONSTRUCTION, RECONSTRUCTION, REPAIR, USE, ENJOYMENT, SAFETY AND SECURITY OF GRANTEE'S EASEMENT, OR THAT MAY CAUSE ADDITIONAL COSTS TO GRANTEE IN CURRENT OR FUTURE DESIGN, CONSTRUCTION, MAINTENANCE AND REPAIR OF THE INFRASTRUCTURE. ANY UNAUTHORIZED OBSTRUCTION OR DAMAGE TO THE INFRASTRUCTURE SHALL BE REMOVED AND REPAIRED AT GRANTOR'S EXPENSE.

The term of this Temporary Construction Easement shall be effective until as built certification of the project is completed and approved.

The undersigned Grantor hereby reserves the right to use the real property described herein for all purposes which will not interfere with the Temporary Construction Easement granted herein and further reserves the right to grant easements to other parties on, over and under said real property.

*** * * SIGNATURES APPEAR ON THE FOLLOWING PAGE * * ***

Signed, sealed and delivered
in the presence of:

"GRANTOR"
ROBERT R. THOUSAND, JR.,
INDIVIDUALLY AND AS TRUSTEE OF THE
ROBERT R. THOUSAND, JR. REVOKABLE
TRUST

Heather Carr
Witness #1
Print: Heather Carr
Address: 1975 AIA S
St Augustine, FL 32080

Robert R. Thousand, Jr.
Robert R. Thousand, Jr., Trustee
Address: 124 Inlet Drive
St. Augustine, Florida 32080

Allison V Ryan
Witness #2
Print: Allison V Ryan
Address: 1975 AIA S
St. Augustine FL 32080

STATE OF FLORIDA
COUNTY OF St Johns

I HEREBY CERTIFY that on this day, personally appeared before me, by means of physical presence or online notarization, **Robert R. Thousand, Jr.**, who is personally known to me or who has produced _____ as identification, who is the person described in and who executed the foregoing instrument and who acknowledged before me that they executed the same for the uses and purposes therein expressed.

Witness my hand and official seal, this 13th day of August, 2025.

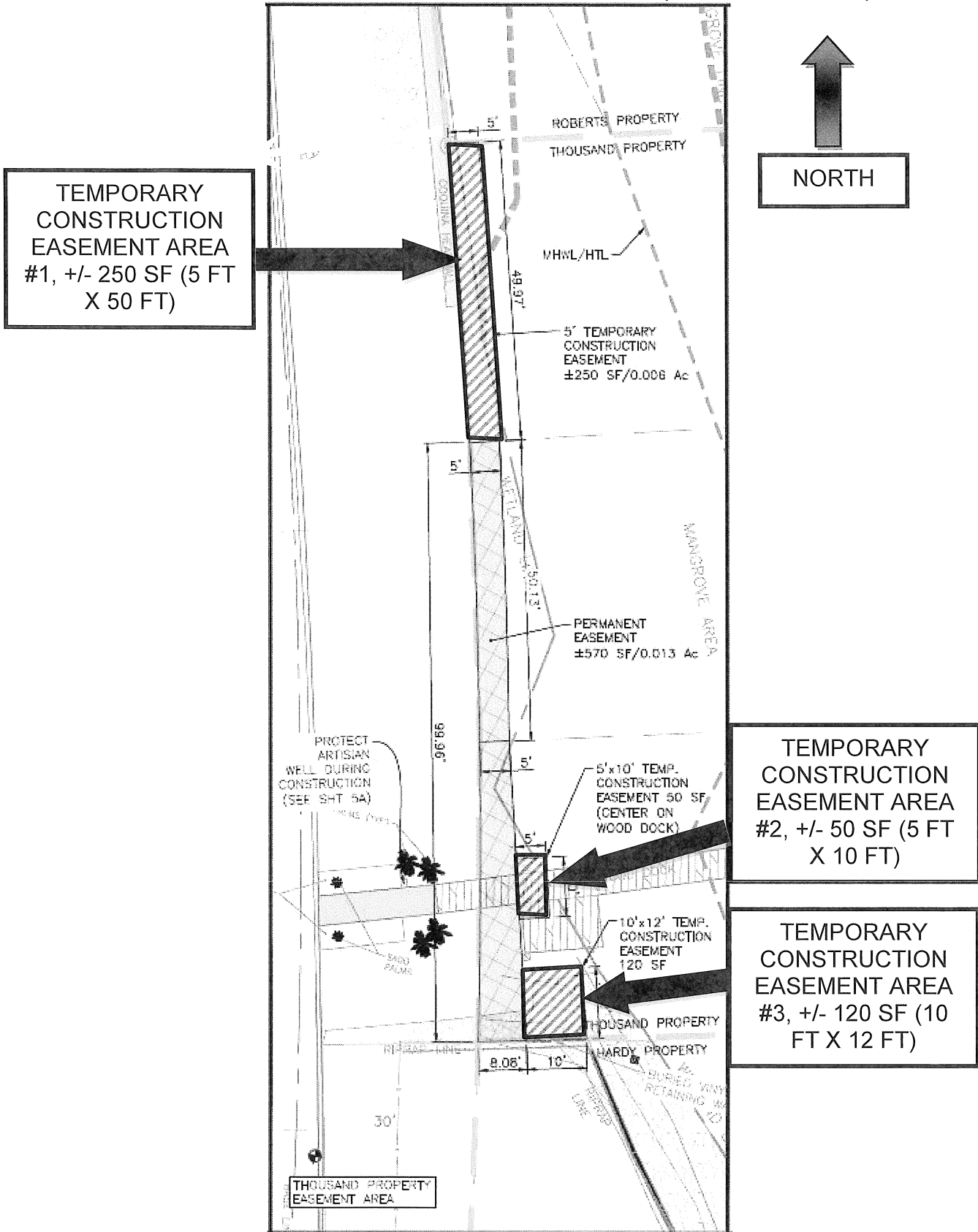
Julia Turner
Notary Public, State of Florida



APPROVED AS TO FORM AND
LEGAL SUFFICIENCY:
[Signature]
CITY ATTORNEY

EXHIBIT "A"

TEMPORARY CONSTRUCTION EASEMENT AREA SHOWN (CROSS-HATCHED) BELOW



This instrument was prepared under the supervision and direction of Isabelle C. Lopez, City Attorney, P.O. Box 210, St. Augustine, FL, 32085

Public Records of St. Johns County, FL
Clerk number: 2025074591
BK: 6219 PG: 1805
9/12/2025 1:23 PM
Recording \$44.00
Doc. D \$0.70

GRANT OF TEMPORARY CONSTRUCTION EASEMENT

THIS TEMPORARY CONSTRUCTION EASEMENT executed and given this 29th day of August, 2025 by **VINCENT P. ROBERTS and LYNNE S. ROBERTS**, whose mailing address is 134 Inlet Drive, St. Augustine, Florida 32080-0000, hereinafter referred to as "Grantor", to **THE CITY OF ST. AUGUSTINE, FLORIDA**, a municipal corporation, E.I.D. No. 59-6000420, whose address is P.O. Box 210, St. Augustine, Florida, 32085-0210, hereinafter referred to as "Grantee".

WITNESSETH:

Grantor, for and in consideration of the sum of Ten and No/100 (\$10.00) Dollars and other good and valuable consideration, including the mutual covenants and conditions as provided herein, the receipt and adequacy of which are hereby acknowledged, has granted, bargained and sold to Grantee a **temporary non-exclusive Construction Easement** for the infrastructure constituting the retaining wall (also referred to as a bulkhead or wall) and all other equipment and appurtenances as may be necessary or convenient for the construction and installation of the retaining wall that is subject to approved and permitted project design on, over and underneath the following described real property ("Property") and as depicted in Exhibit A, situated in St. Johns County, Florida, to-wit:

PARCEL ID: **2154000000**

TEMPORARY EASEMENT DESCRIPTION:

A TEMPORARY CONSTRUCTION EASEMENT OF 5-FEET IN WIDTH BY 100.44 FT IN LENGTH LOCATED ALONG THE NORTHWESTERLY BOUNDARY OF REFERENCED PARCEL. CONTAINING 501 SQUARE FEET (0.012 ACRES) OF LAND MORE OR LESS.

TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS ON, OVER AND UNDER SAID PROPERTY FOR THE PURPOSES OF CONSTRUCTION OF THE RETAINING WALL (ALSO REFERRED TO AS A BULKHEAD OR WALL) AND ALL OTHER EQUIPMENT AND APPURTENANCES AS MAY BE NECESSARY OR CONVENIENT FOR THE CONSTRUCTION AND INSTALLATION OF THE RETAINING WALL. THE GRANTOR RESERVES THE RIGHT AND PRIVILEGE TO USE AND OCCUPY AND TO GRANT OTHERS THE RIGHT TO USE AN OCCUPY THE SURFACE AND AIR SPACE OVER THE

EASEMENT AREA FOR ANY PURPOSE WHICH IS CONSISTENT WITH THE RIGHTS HEREIN GRANTED TO GRANTEE. GRANTOR MAY, AT THE GRANTOR'S EXPENSE, CONSTRUCT AND UTILIZE ANY EXISTING LEGAL ACCESS TO THE WETLANDS AND SURFACE WATERS THEY MAY HAVE SUBJECT TO LOCAL, STATE AND/OR FEDERAL PERMITTING. HOWEVER, GRANTOR MUST COORDINATE WITH AND OBTAIN THE APPROVAL OF THE GRANTEE ON SUCH ACCESS AS IT COULD POTENTIALLY NEGATIVELY AFFECT THE PROPOSED INFRASTRUCTURE; AND GRANTOR UNDERSTANDS, AGREES AND ACKNOWLEDGES THAT THEY WILL NOT USE OR OCCUPY, NOR GRANT TO OTHERS ANY RIGHT TO USE OR OCCUPY, THE EASEMENT AREA IN A MANNER THAT MAY IMPEDE, IMPAIR, OR INTERFERE WITH THE PROPER CONSTRUCTION, RECONSTRUCTION, REPAIR, USE, ENJOYMENT, SAFETY AND SECURITY OF GRANTEE'S EASEMENT, OR THAT MAY CAUSE ADDITIONAL COSTS TO GRANTEE IN CURRENT OR FUTURE DESIGN, CONSTRUCTION, MAINTENANCE AND REPAIR OF THE INFRASTRUCTURE. ANY UNAUTHORIZED OBSTRUCTION OR DAMAGE TO THE INFRASTRUCTURE SHALL BE REMOVED AND REPAIRED AT GRANTOR'S EXPENSE.

The term of this Temporary Construction Easement shall be effective until as built certification of the project is completed and approved.

The undersigned Grantor hereby reserves the right to use the real property described herein for all purposes which will not interfere with the Temporary Construction Easement granted herein and further reserves the right to grant easements to other parties on, over and under said real property.

** * * SIGNATURES APPEAR ON THE FOLLOWING PAGE * * **

Signed, sealed and delivered
in the presence of:

"GRANTOR"
LYNNE S. ROBERTS

Jessica Beach
Witness #1
Print: Jessica Beach
Address: 75 King St.
St. Augustine, FL 32084

Lynne S. Roberts
Lynne S. Roberts
Address: 134 Inlet Drive
St. Augustine, Florida 32080

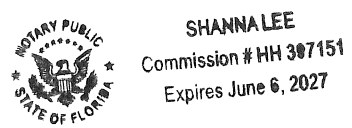
Shanna Lee
Witness #2
Print: Shanna Lee
Address: 75 King Street
St. Augustine, FL 32084

STATE OF FLORIDA
COUNTY OF St. Johns

I HEREBY CERTIFY that on this day, personally appeared before me, by means of physical presence or online notarization, **Lynne S. Roberts**, who is personally known to me or who has produced FL Drivers License as identification, who is the person described in and who executed the foregoing instrument and who acknowledged before me that they executed the same for the uses and purposes therein expressed.

Witness my hand and official seal, this 29th day of August, 2025.

Shanna Lee
Notary Public, State of Florida



APPROVED AS TO FORM AND
LEGAL SUFFICIENCY:
[Signature]
CITY ATTORNEY

Signed, sealed and delivered
in the presence of:

Jessica Beach

Witness #1

Print: Jessica Beach

Address: 75 King St.
St. Augustine, FL 32084

Shanna Lee

Witness #2

Print: Shanna Lee

Address: 75 King Street
St. Augustine, FL 32084

"GRANTOR"

VINCENT P. ROBERTS

Vincent P Roberts

Vincent P. Roberts

Address: 134 Inlet Drive
St. Augustine, Florida 32080

STATE OF FLORIDA
COUNTY OF St. Johns

I HEREBY CERTIFY that on this day, personally appeared before me, by means of physical presence or online notarization, **Vincent P. Roberts**, who is personally known to me or who has produced FL Driver's License as identification, who is the person described in and who executed the foregoing instrument and who acknowledged before me that they executed the same for the uses and purposes therein expressed.

Witness my hand and official seal, this 29th day of August, 2025.

Shanna Lee

Notary Public, State of Florida



SHANNA LEE
Commission # HH 397151
Expires June 6, 2027

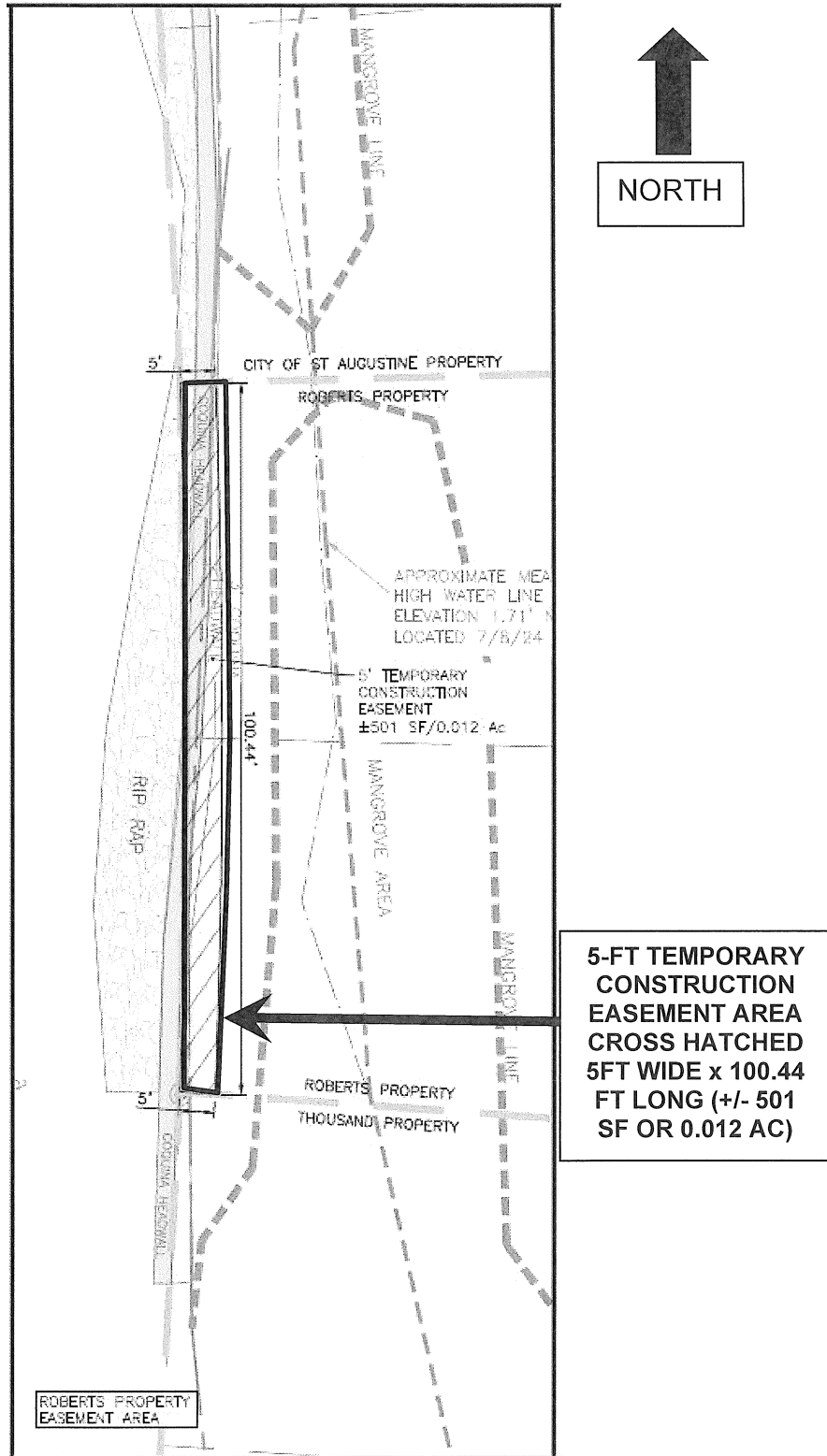
APPROVED AS TO FORM AND
LEGAL SUFFICIENCY:

[Signature]

CITY ATTORNEY

EXHIBIT "A"

TEMPORARY CONSTRUCTION EASEMENT AREA (CROSS-HATCHED) SHOWN BELOW





CITY OF
ST AUGUSTINE
EST. 1565



City of St. Augustine –

PZB2025-0077 - Inlet Drive Shoreline Resilience Project

Presented at: PZB Meeting – October 7, 2025

Jessica L. Beach, P.E., Chief Resilience Officer, COSA
Tocoi Engineering (a Baxter Woodman Company)
SWCA Environmental Consultants





CITY OF
ST. AUGUSTINE
EST. 1565

Presentation Outline

- ❖ Project Background, Justification and Scope of Work
- ❖ Public Outreach for the Project
- ❖ Questions and Discussion





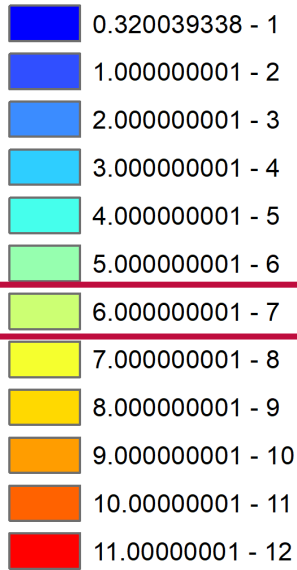
Project Background, Justification and Scope of Work



Project
Location: Inlet
Drive in North
Davis Shores

DEM

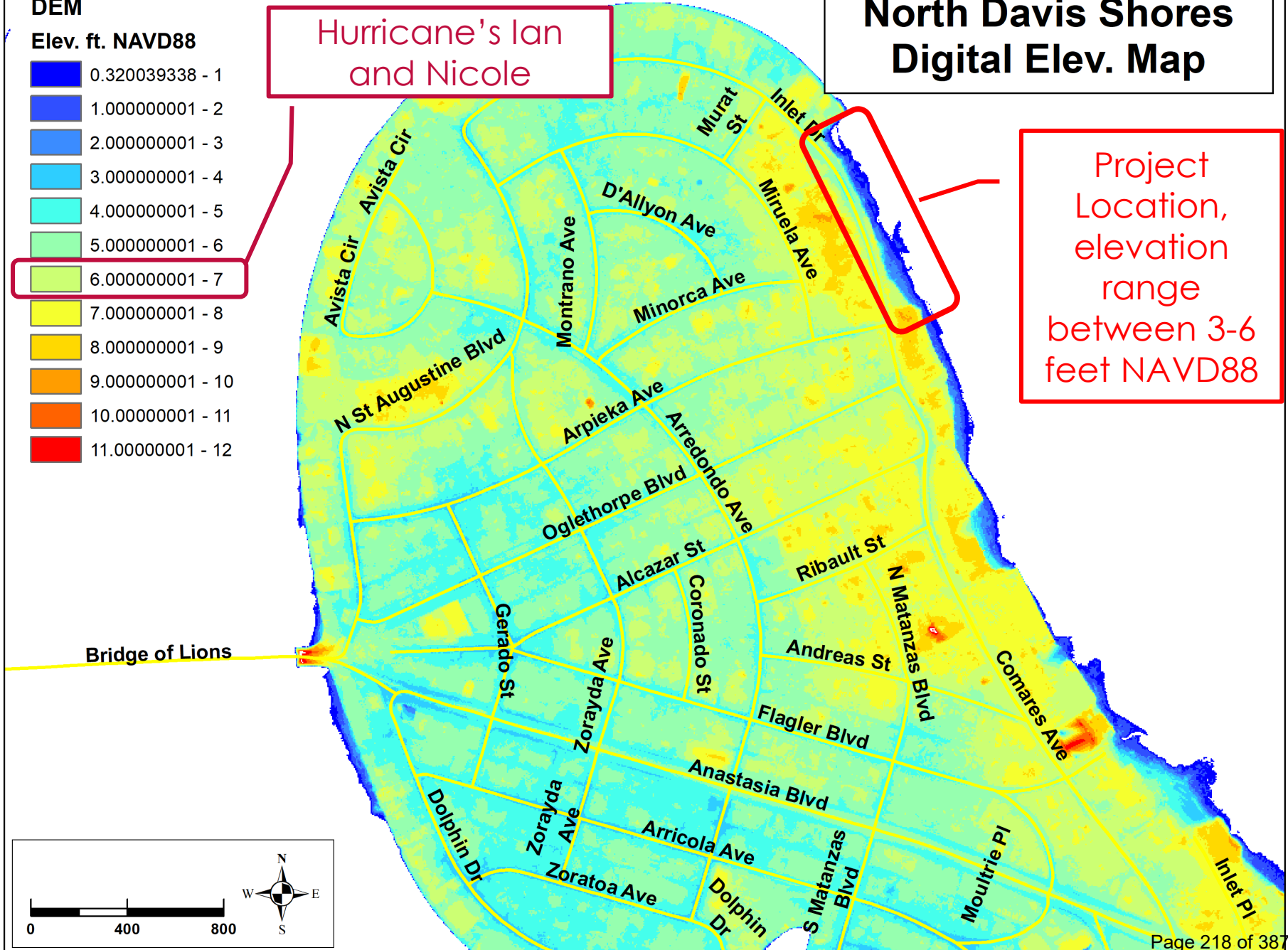
Elev. ft. NAVD88



Hurricane's Ian and Nicole

North Davis Shores Digital Elev. Map

Project Location, elevation range between 3-6 feet NAVD88



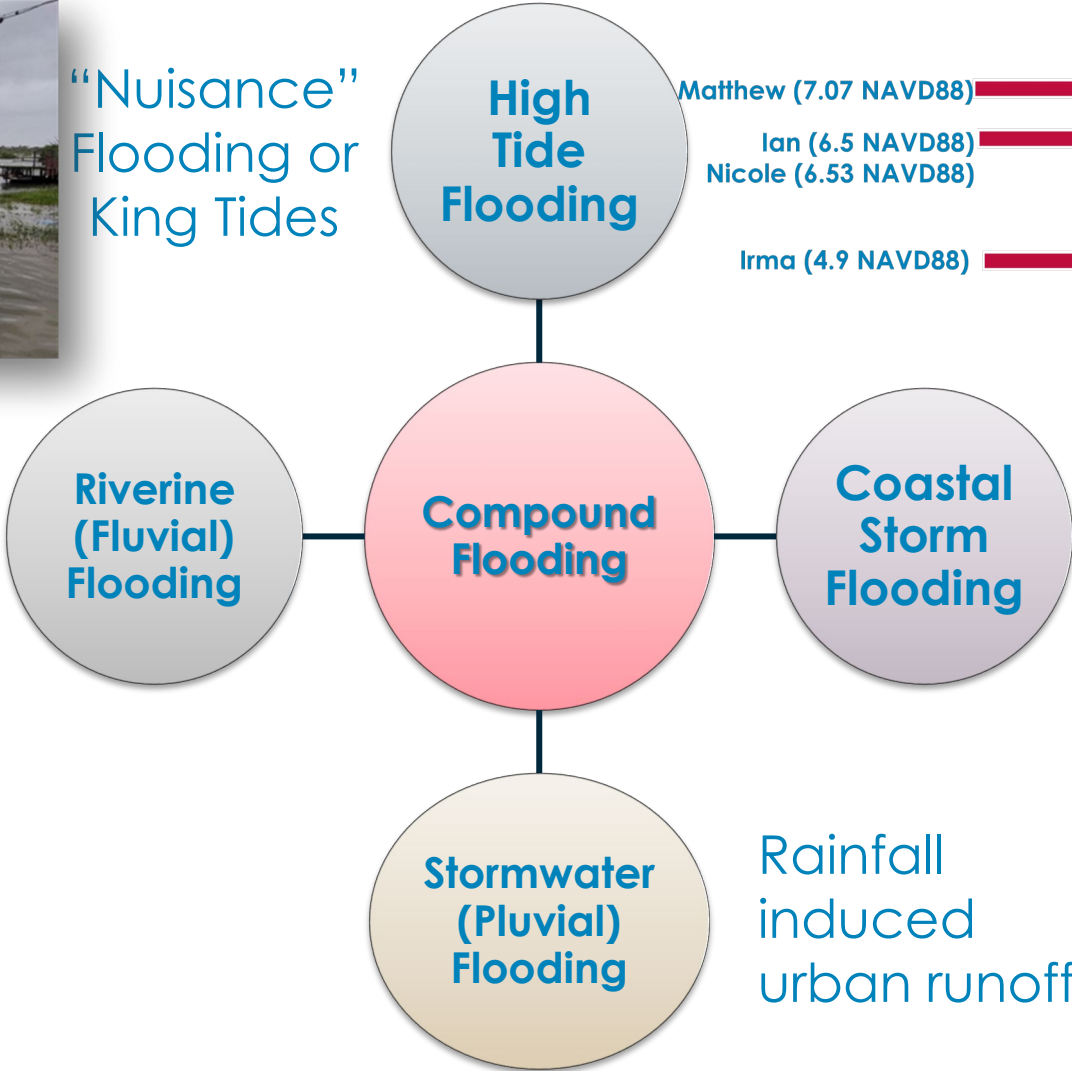


Types of Flooding



“Nuisance”
Flooding or
King Tides

Caused by
heavy
rainfall and
urban
runoff (San
Sebastian)



Matthew (7.07 NAVD88)

Ian (6.5 NAVD88)
Nicole (6.53 NAVD88)

Irma (4.9 NAVD88)



Nor'easters
Hurricanes



Rainfall
induced
urban runoff



CITY OF

Project Background, Justification and Scope of Work



CITY OF
ST AUGUSTINE
EST. 1685



INLET DRIVE

Shoreline Stabilization

What is this project?

This project would look to include a combination of structural and non-structural based solutions (living shoreline enhancement) to elevate and protect a section of shoreline that is subject to coastal erosion that would provide a higher level of flood protection for a critical residential road in the North Davis Shores neighborhood. This would also include upgrading the existing storm infrastructure and installation of a tide check valve.



Why is this project needed?

The existing shoreline has eroded over time, with acceleration of that erosion during Hurricane's Matthew and Irma. It's existing elevation is around 5.0 feet NAVD88, which during the previous hurricanes, the top of bank of the shoreline overtopped, causing flooding throughout this segment of roadway. There are two existing storm inlets and pipe that are in need of replacement and proper sizing to also better collect any rainfall driven flooding. The existing storm outfall pipe is also tidally influenced and can allow for tidal water to back up through the storm pipe, causing road flooding. This project would address the erosion, undersized drainage and tidal flooding issues, taking into account sea level rise with the elevation of the shoreline revetment.

How is this project being funded?

The City of St. Augustine (COSA) has received a grant from the Federal Florida Department of Environmental Protection (DEP) under the Resilient Florida Grant Program for the estimated full project cost of \$1,109,650.56

How will this project benefit the community?

The proposed improvements will help to protect the critical infrastructure for the neighborhood. Given its existing elevation already being below the current base flood elevation, the vulnerability of this area will continue to increase with sea level rise if no action is taken. The City had an opportunity to evaluate the shoreline for flood mitigation options as a result of the hurricane impacts and also address vulnerable infrastructure that was identified in the Coastal Vulnerability Assessment. Updates about the project can be found at the project website:

www.CityStAug.com/InletDr

City of St. Augustine | Public Works Department | 904.825.1040 | Stormwater@CityStAug.com



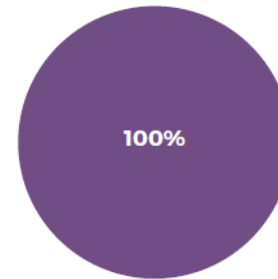
CITY OF
ST AUGUSTINE
EST. 1685



INLET DRIVE

Shoreline Stabilization

**ESTIMATED
CONSTRUCTION COST:
\$1,109,650.56**



**Resilient Florida Grant
\$1,109,650.56**



PROJECT SCHEDULE 2023-2026

PROJECT PHASE	PROJECT STATUS
PHASE 1	DESIGN AND PERMITTING OF PROJECT
PHASE 2	BIDDING/LOCAL PROCUREMENT
PHASE 3	CONSTRUCTION OF PROJECT

City of St. Augustine | Public Works Department | 904.825.1040 | Stormwater@CityStAug.com



PROJECT NEED AND OBJECTIVES

- ✓ **City-owned property along Inlet Drive and Salt Run**
- ✓ **Shoreline has sustained repeated damages over the years through erosion from coastal events**
 - Existing wall and “living shoreline”
- ✓ **Existing road is critical infrastructure that is currently at risk**
 - Major ingress/egress for the Neighborhood
 - Identified in the City’s Vulnerability Assessment (2024)
- ✓ **City applied for funding to stabilize the shoreline to protect the road**
 - Primary objective – protect the road
 - Secondary benefit – reduce coastal flood surge, reduce depth and duration of coastal flood event, replacement of existing storm inlets and retrofit with tide check valve
 - Enhance the existing living shoreline

<https://www.citystaug.com/1096/Inlet-Drive-Shoreline-Resiliency>



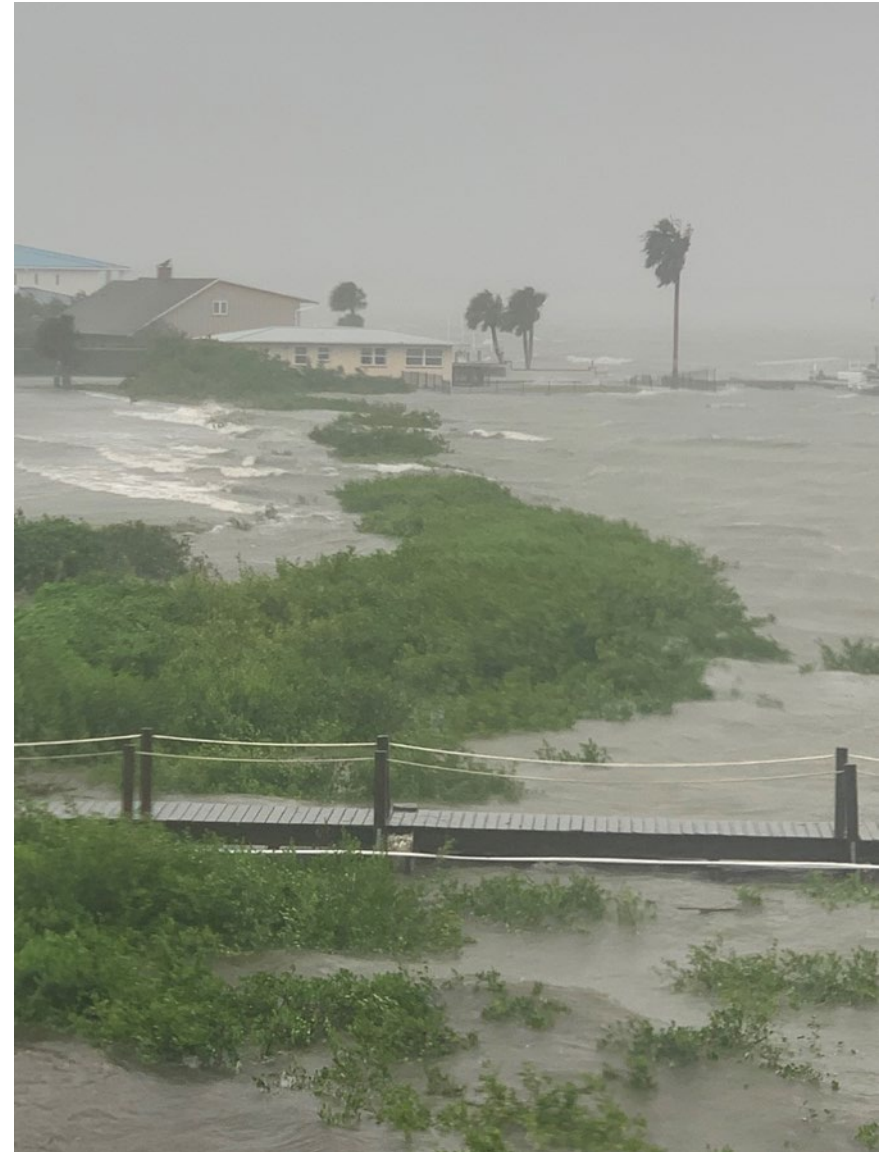
Inlet Drive Shoreline Post Hurricane Irma (2017)





Inlet Drive Shoreline Hurricane Nicole (2022)

*photos provided by residents





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ST AUGUSTINE
EST. 1565

Project Background, Justification and Scope of Work

Inlet Drive Shoreline Post Hurricane Ian (2022)





Existing Stormwater Infrastructure:

- Outfall – subject to high tides, maintenance challenges
- Inlets are crumbled, damaged and need replacement





PROJECT SCOPE OF WORK

- ✓ Install retaining wall on the grass (land side) of the existing wall
- ✓ Match north and south elevations of existing walls
 - Existing grade ranges between 4.9 and 6.6 ft NAVD88
 - Constructed retaining wall height will be 8.75 NAVD88
 - Standing from road, visual wall height is between 2.8 - 3.2 ft
- ✓ Avoid impacts to the existing mangroves
- ✓ Work is above “Mean High Water”
- ✓ Replace existing storm pipe and inlets, reset for proper elevations, upsize for improved drainage, install tide check one-way valves
- ✓ Will help reduce depth and duration of coastal flood
- ✓ Reduce the coastal surge impacts
- ✓ Help facilitate rainfall drainage within the roadway

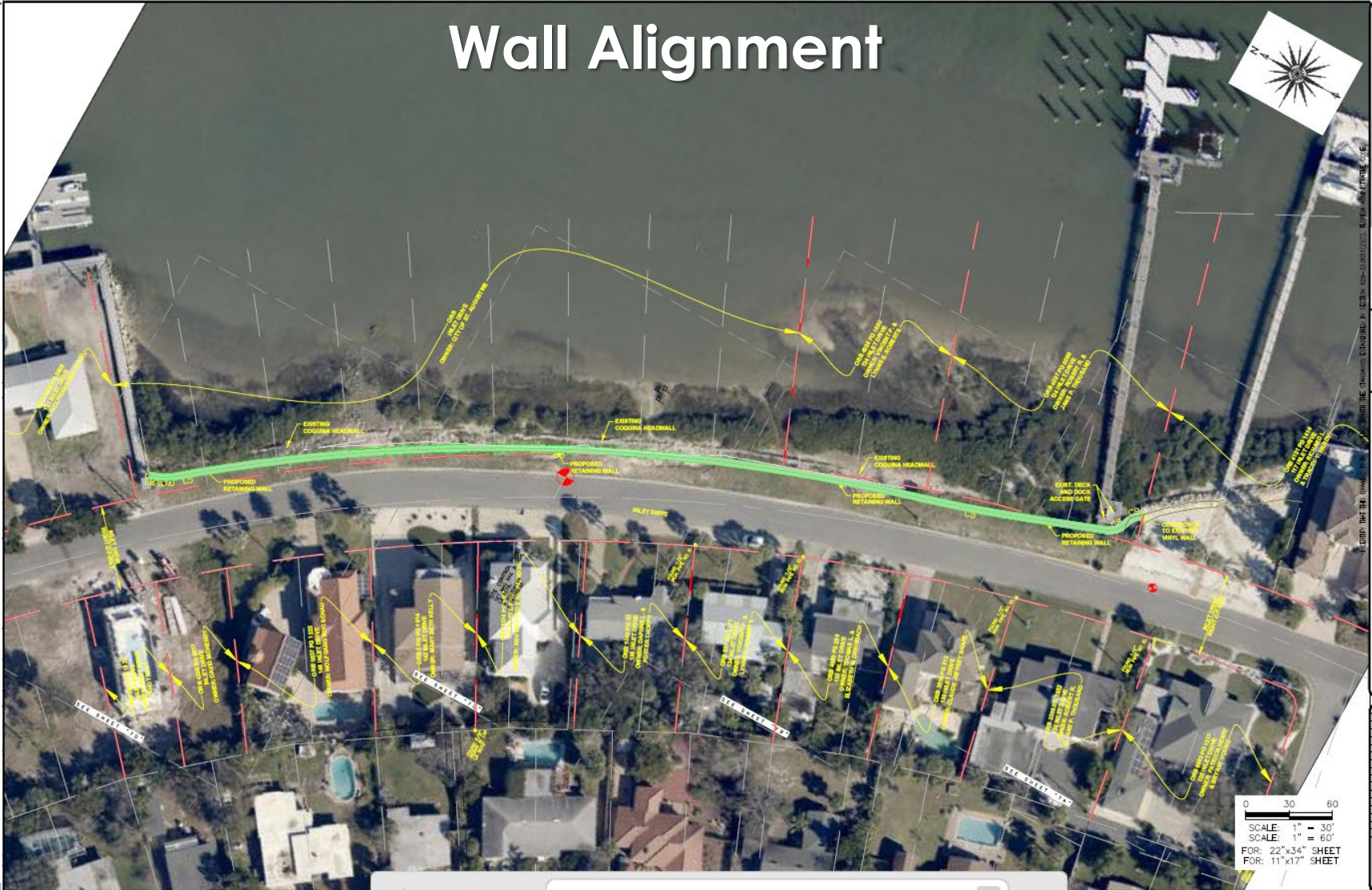


Project Background, Justification and Scope of Work

CITY OF

ST AUGUSTINE

Wall Alignment



0 30 60
 SCALE: 1" = 30'
 SCALE: 1" = 60'
 FOR: 22"x34" SHEET
 FOR: 11"x17" SHEET

TOCOI π Engineering, LLC
 714 NORTH WASHINGTON AVENUE, SUITE 200, ST. AUGUSTINE, FL 32080
 (904) 286-1234
 REGISTERED PROFESSIONAL ENGINEER
 FLORIDA LICENSE NUMBER: 12530

BOARD OF RECORD
 JAMES L. PRICE
 FLORIDA LICENSE NUMBER: 12530

PRELIMINARY DESIGN FOR INLET DRIVE SHORELINE RESILIENCY
 CITY OF ST. AUGUSTINE
 GEOMETRY PLAN

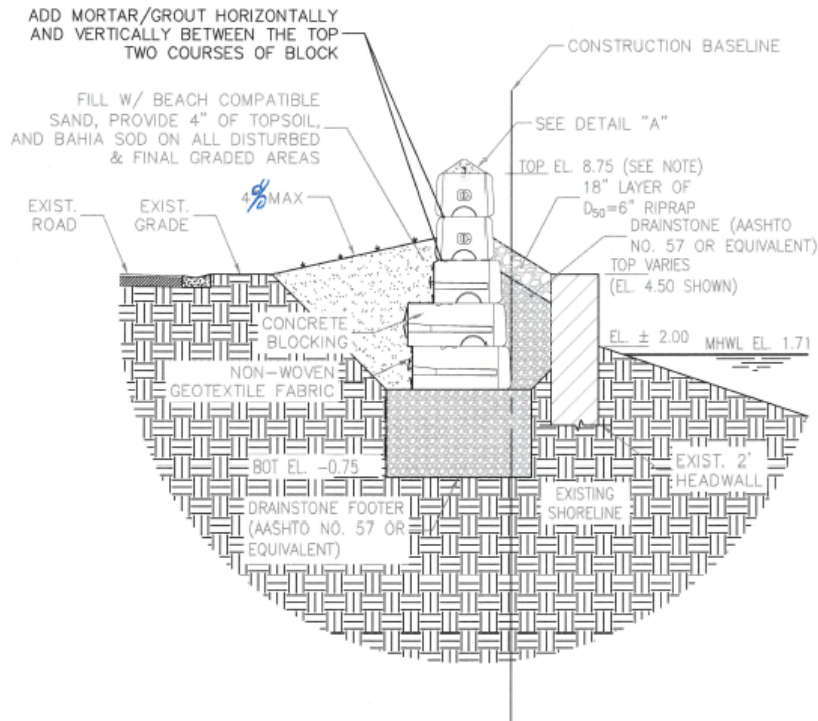
DATE:	
DRAWN BY:	
CHECKED BY:	
SCALE:	
FOR:	
SHEET NO.:	7



Project Background, Justification and Scope of Work

CITY OF
ST AUGUSTINE

Wall Cross-Sections & Example Photo



NOTE: DESIGN TOP OF WALL IS ELEV. 8.50. CONSTRUCTION TOP OF WALL IS ELEV. 8.75 TO ALLOW FOR ANTICIPATED SETTLEMENT



TYPICAL RETAINING WALL DETAIL - CONCRETE BLOCKING

ALL BOLTS, COUPLERS, AND NUTS SHALL BE LOCKED TO PREVENT LOOSENING
 CONCRETE: $F_c = 4,000$ PSI
 REBAR: $F_y = 60$ KSI ZINC COATED
 SAW JOINT: 1" @ 72" O.C.

LEGEND

- EXISTING 2' BLOCK HEADWALL
- DRAINSTONE (MO. 57 OR EQUIVALENT)
- CLEAN FREE DRAINING BEACH COMPATIBLE SAND (SP) (FDEP ACCEPTED) COMPACTED BACKFILL
- EXISTING SHORELINE (NATURAL GROUND)

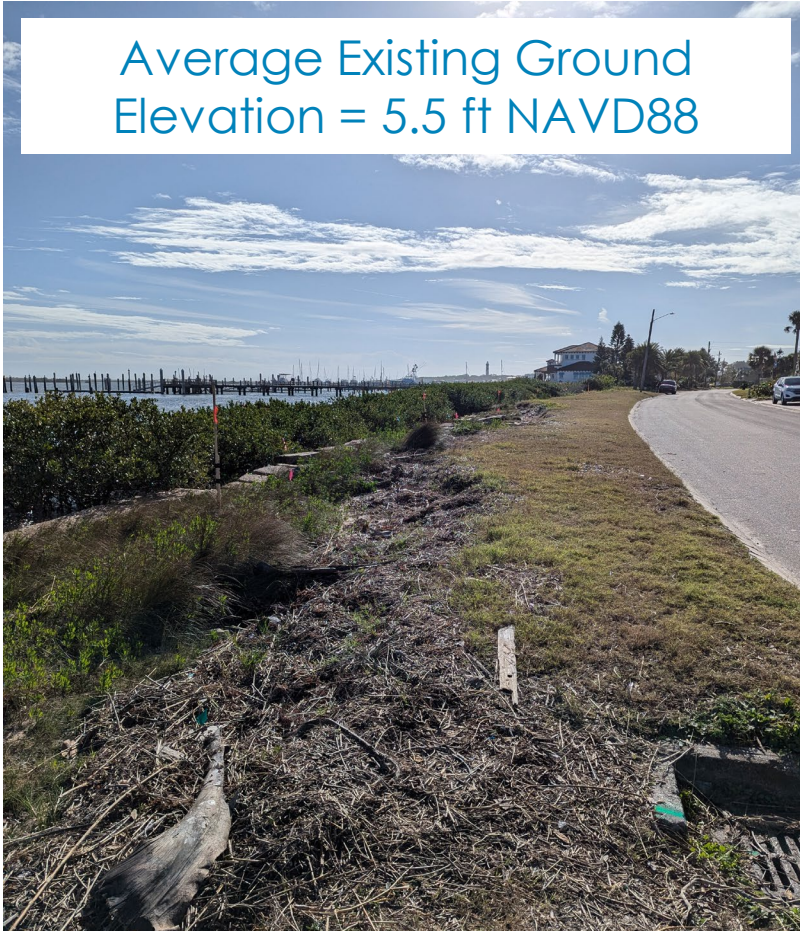


CITY OF
ST. AUGUSTINE
EST. 1565

Project Background, Justification and Scope of Work

Survey Staked Alignment and Height

Average Existing Ground
Elevation = 5.5 ft NAVD88



Top of Wall
(8.75 ft NAVD88)



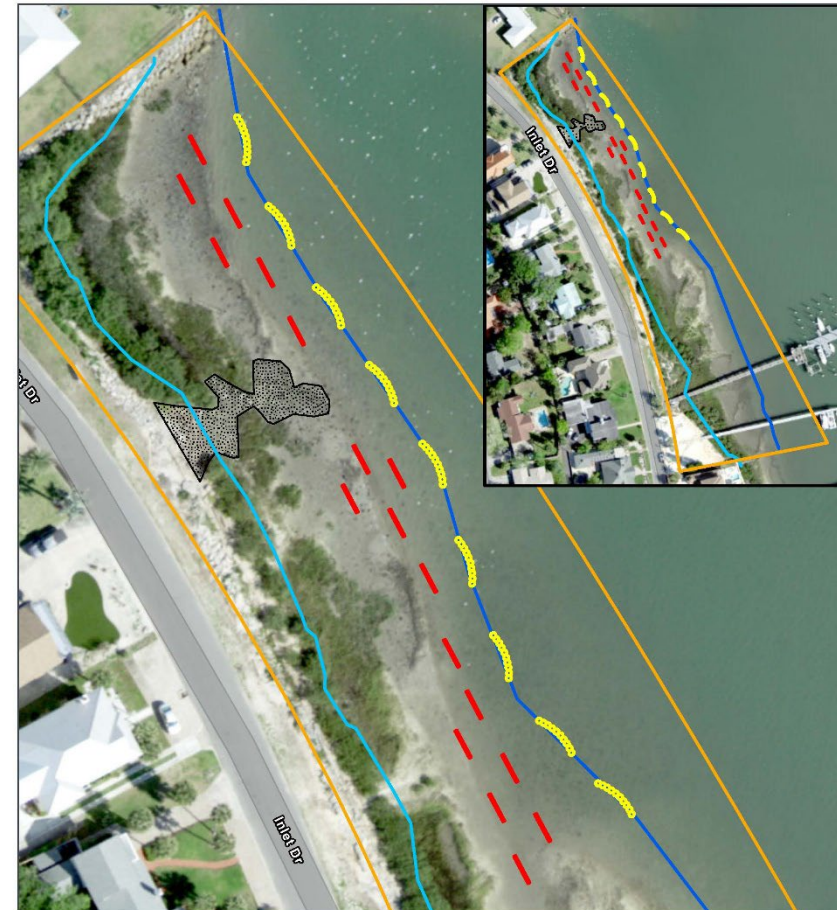
Standing at the center of the road, the visual wall height is between 2.8 – 3.2 feet; next to the wall, height is 2 ft above ground



CITY OF
ST AUGUSTINE

Living Shoreline Enhancement

- ✓ Existing living shoreline
 - Mangroves
 - Smooth cord grass
 - Oyster beds
- ✓ Enhance existing living shoreline
 - Remove rubble to allow natural revegetation
 - Installation of Wave Attenuation Devices (WADS)
 - ❖ Reef Balls
 - Oyster Gabions for Sediment Accretion and Oyster Recruitment
- ✓ Dissipates wave energy, provides for habitat, sediment accretion, water quality benefits



Legend

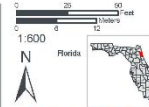
- Property Boundary
- Oyster Gabions
- Reef Balls (or alternative)
- Rubble to be Removed
- Mean High Water Line
- Mean Low Water Line

Living Shoreline Design
85834 Tocoi Inlet Drive Shoreline

City of St Augustine - Inlet Dr.
RE# 213880000, 215400000,
215370000 & 2139190010
(81.2973922°W 29.8980301°N)

St. Augustine, St. Johns County, Florida

Date: November 2024
Base map provided by
ESRI. Property
boundaries based on
FDOOR from 2023.



SWCA
ENVIRONMENTAL CONSULTANTS



Project Background, Justification and Scope of Work

Living Shoreline Enhancement

- ✓ This is a separate “pilot” project running in parallel to the retaining wall
- ✓ Different type of permitting involved and schedule
- ✓ Goal is to complete design and permitting by June 30, 2026 (to be covered by the grant)
- ✓ Have a “shovel ready” project to submit for future funding for implementation
- ✓ Examples from Jacksonville Zoo project (courtesy of SWCA)





Living Shoreline Enhancement

- ✓ Considering new technology
- ✓ KIND Designs (www.kinddesigns.com)
- ✓ 3D printed Reef Balls
- ✓ Flexibility with the design
- ✓ Promotes oyster larvae settlement and attachment
- ✓ Alternative reef ball





Public Meetings

The city has presented this project in a number of settings:

- Neighborhood meeting, November 6, 2024
- Neighborhood meeting, December 5, 2024
- Neighborhood meeting, January 14, 2025
- South and North Davis Shores (SANDS) Neighborhood Association Meeting, February 18, 2025
- Provided update to SANDS on May 19, 2025
- Capital Improvement Plan (CIP) Workshop, Special City Commission Meeting, May 15, 2025
- Special Budget Meeting, City Commission, August 28, 2025



CITY OF

ST AUGUSTINE™

Public Comment

The city has also received a variety of public comments and input for the project throughout the design process. The comments and input ranged, but generally revolve around the following topics:

- Why is the project necessary and will it provide any protection from or improvements to flooding?
- Can nature-based features be used and not have a wall?
- Will the city be planting any additional mangroves?
- Will the city be trimming the existing mangroves?
- The access that currently exists to Salt Run will be altered, how will the city address that and can public access be included as part of the project? Can a gate be installed in the wall to still provide access?
- Will the city be installing a kayak launch?
- Concerns for obstruction of view with the proposed wall. Can it be lowered?

See application for full responses to the above questions (Exhibit A)



Please Refer to Exhibit B

- The City has provided responses and input for each of the 17 Criteria under Exhibit B in the submitted application.
- We have our design team available to answer any questions that the Planning and Zoning Board may have.



CITY OF
ST AUGUSTINE
EST. 1565

Thank you for your time!



www.CityStAug.com/Resiliency



π TOCOI Engineering
a **BAXTER & WOODMAN** company

SWCA

Jessica L. Beach, P.E.
Chief Resilience Officer
Deputy Director, Public Works

E: jbeach@citystaug.com | M: 904.209.4227 | W: www.CityStAug.com



CITY OF
ST AUGUSTINE
EST. 1565

City of St. Augustine
P.O. Box 210
St. Augustine, FL 32085





Planning and Zoning Board

Planning Division Staff Report
 Planning and Building Department

Public Hearing Date	Agenda Item	Application Number
October 7, 2025	6.a.	PZB2025-0070
Request	Address	Parcel ID
Variance	67 S Dixie Highway	127300-0050

Site & Background Information

Applicant: Rebecca Faunce, DMD
 c/o Antigua Orthodontics / Faunce Orthodontics LLC

Owner: Faunce Orthodontics LLC
 c/o Antigua Orthodontics / Faunce Orthodontics LLC

Property Class: 1100 – Stores
 (St. Johns County
 Property Appraiser)

Future Land Use Designation: [Commercial Low Intensity](#)

Zoning Designation: [Commercial Low - Two \(CL-2\)](#)

Acreage: 0.13

Neighborhood: Oyster Creek

Archaeological Zone: N/A

Request Summary

This application is a variance request to reduce the minimum side yard setback requirement of five (5) feet for properties with a CL-2 zoning designation down to eight (8) inches at 67 S Dixie Highway. The approval of this variance request would allow for an addition to the east side of the building that includes three interior steps to accommodate an additional exit where the existing grade is higher than floor level.

Staff Analysis of Request and Applicable Sections from the City of St. Augustine's Code of Ordinances

Sec. 28-2. – Definitions.

Variance means a relaxation of the terms of this chapter where such variance will not be contrary to the public interest and where, owing to conditions peculiar to the property and not the result of the actions of the applicant, a literal enforcement of this chapter would result in unnecessary and undue hardship on the land. As used in this chapter, a variance is authorized only for height, area and size of structure or sides of yards and open spaces. Establishment or expansion of uses otherwise prohibited shall not be allowed by variance, nor shall a variance be granted because of the presence of nonconformities in the zoning district or uses in an adjoining zoning district. A modification to lot requirements so as to increase the permitted density of multifamily dwellings shall not be considered a variance and is specifically prohibited.

Yard, side, means a yard extending from the rear line of the required front yard to the rear lot line, or in the absence of any clearly defined rear lot line, to the point on the side lot line involved which is farthest from the intersection of such line with the public street. In the case of through lots, side yards shall extend from the rear lines of front yards required. **In the case of corner lots, yards remaining after front yards have established on both frontages shall be considered side yards.** Width of a required side yard shall be measured in such a manner that the yard established is a strip of the minimum width required by district regulations with its inner edge parallel with the side lot line.

Yard, required, means the open space between a lot line and the buildable area within which no structure shall be located except as provided in this chapter.

Sec. 28-29. – Zoning exceptions, variances and appeals.

The Planning and Zoning Board may grant a variance only under circumstances where practical difficulty or unnecessary hardship is so substantial, serious and compelling that relaxation of the general restrictions should be granted. No variance shall be granted unless the applicant shall show and the board shall find that:

- a. The particular property, because of size, shape, topography or other physical conditions, suffers singular disadvantage through the operation of this section, which disadvantage does not apply to other properties in the vicinity; and

The applicant identifies the singular disadvantage to this property is the topography of the east side of the site. The exterior grade on the east side of the property is eighteen (18) inches above the finished floor elevation. The applicant would like to create a new exit at the east side of the property. Stairs will be required to reach the existing grade elevation at the exterior of the building from the interior finished floor for this additional exit.

- b. Because of this disadvantage, the owner is unable to make reasonable use of the affected property; and **The application states that “there is worry that water intrusion through a door 18” below ground will effect the medical equipment and flooring located just inside that passageway.” The applicant to prevent water intrusion would like to include the stairs within an addition that encroaches into the setback.**

Based on the submitted site plan, the building already has four exits, and the applicant does not provide an explanation as to why this exit is required for reasonable use of the property.

- c. This disadvantage does not exist because of conditions created by the owner or applicant; and **According to the St. Johns County Property Appraiser’s website the structure was built in 1986. The applicant purchased the property within the current year.**
- d. Grant of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this section. **The property to the east is also zoned CL-2 which is intended for low intensity commercial uses. Granting this variance request may not be contrary to the public interest, may not adversely affect other properties in the vicinity.**

Staff Recommendation

Staff finds that this application for a variance request to reduce the side yard setback from five (5) feet to eight (8) inches at 67 S Dixie Highway / PID 127300-0050 has not adequately addressed the variance criteria regarding the owner’s ability to make reasonable use of the property. Due to this, and based on a review of Sec. 28-29, staff finds that the Board may either

- **CONTINUE** this request until more information as to why the variance is required to make reasonable use of the property is provided,
- **DENY** this request as the variance criteria of Sec. 28-29 is not met, or
- **APPROVE** this request as variance criteria of Sec. 28-29 is met.

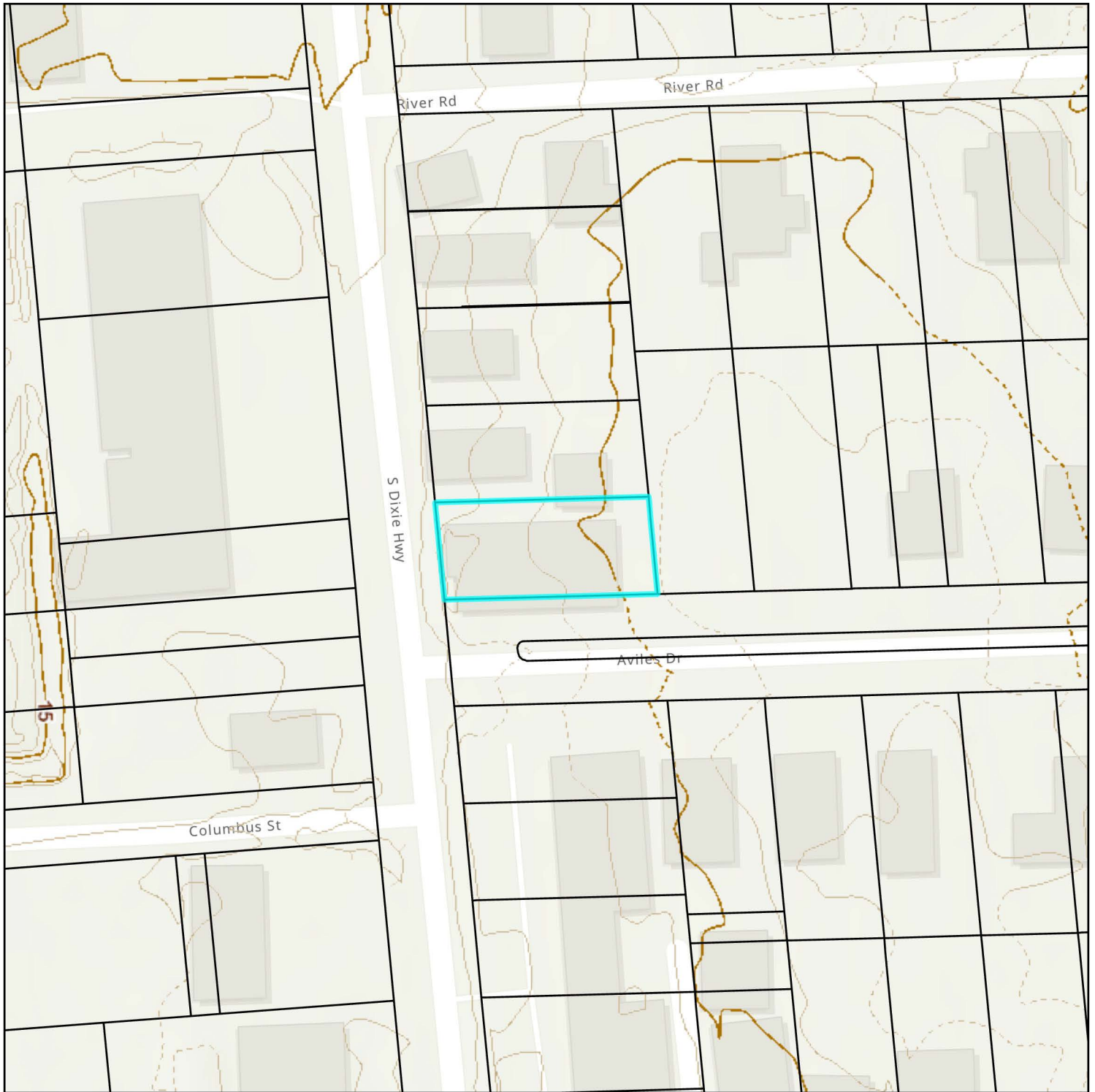
Attachments

1. Site Maps & Photos
2. Application
3. St. Johns County Property Appraiser Report
4. Site Plan

Staff Report prepared by:

Sarah Daugherty
Senior Planner
Planning and Building Department

**Attachment 1:
Site Maps
and Photos**



Elevation Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

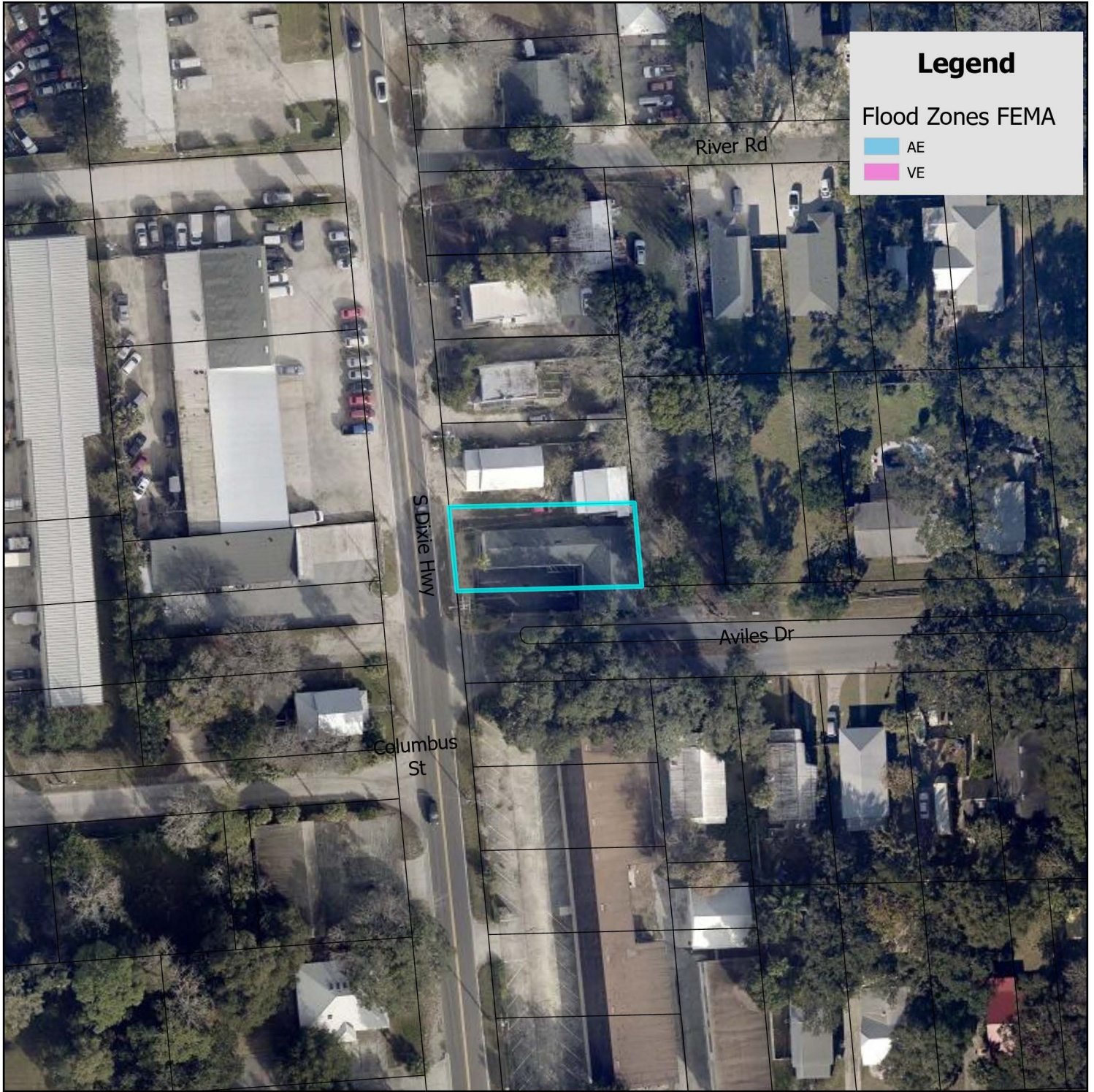
DISCLAIMER
 This map is for reference only. Data provided are derived from multiple sources with varying levels of accuracy. The City of St. Augustine disclaims all responsibility for the accuracy or completeness of the data shown hereon.

2025

0 0.01 0.01 Miles

0 40 80 Feet

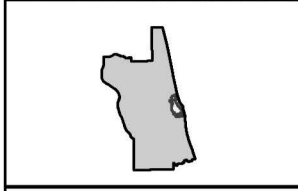
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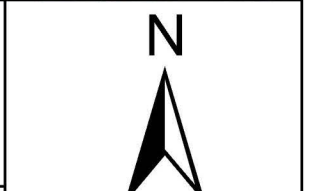
Legend

Flood Zones FEMA

- AE
- VE



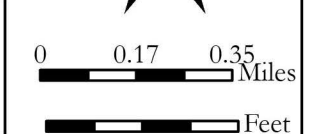
FEMA Flood Zone Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

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2025

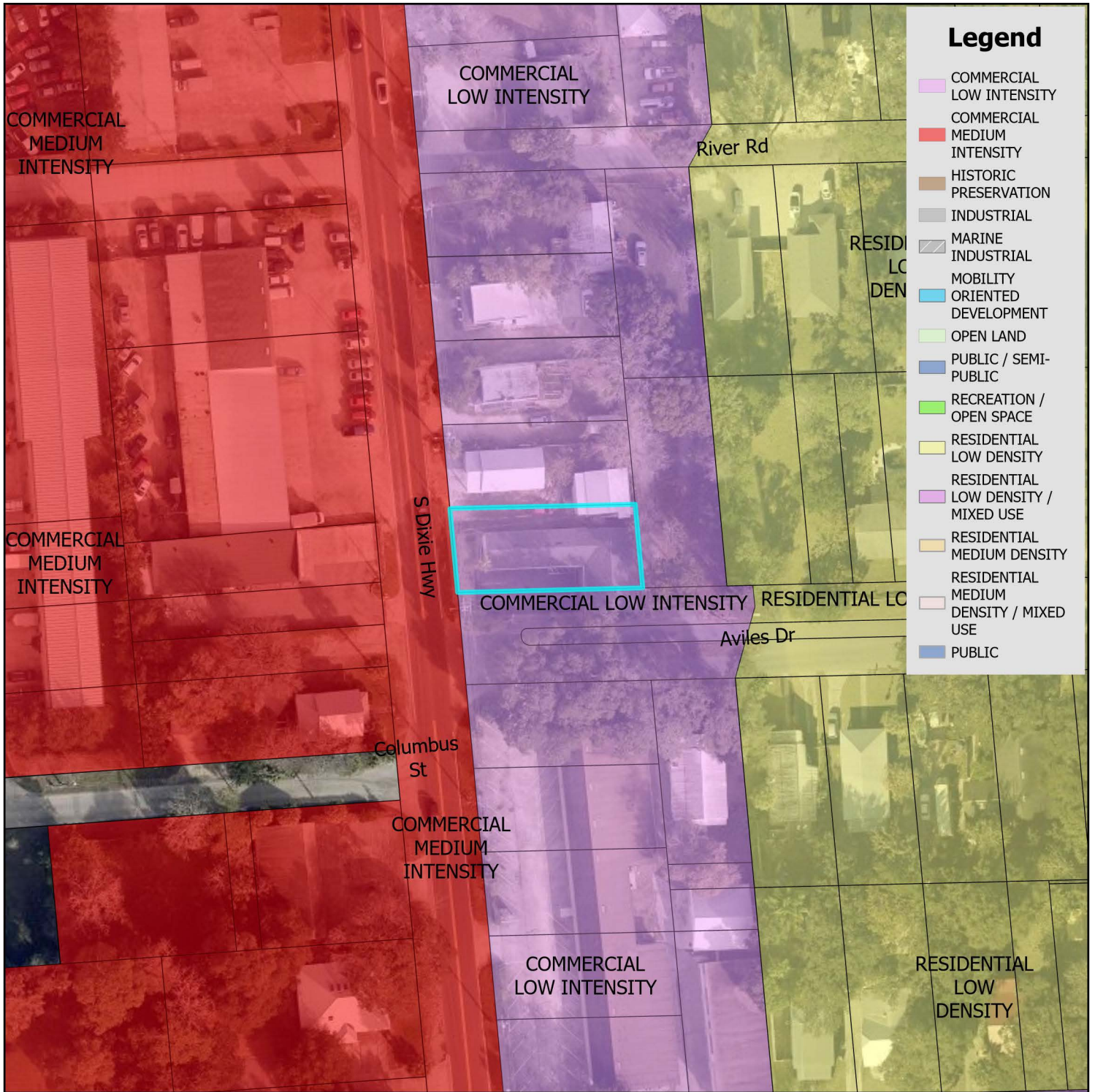


Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

67 S Dixie Highway



12/18/2022



Future Land Use Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
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2025

0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Legend

- Residential Single-Family-One (RS-1)
- Residential Single-Family-Two (RS-2)
- Residential Low-One (RL-1)
- Residential General-One (RG-1)
- Residential General-Two (RG-2)
- Residential General Office (RGO)
- Residential General Office A (RGO-A)
- Open Land
- Historic Preservation (HP-1)
- Historic Preservation (HP-2)
- Historic Preservation (HP-3)
- Historic Preservation (HP-4)
- Historic Preservation (HP-5)
- Government Use
- Planned Unit Development (PUD)
- Abandoned PUD
- Commercial Low-One (CL-1)
- Commercial Low-Two (CL-2)
- Commercial Medium-One (CM-1)
- Commercial Medium-Two (CM-2)
- Industrial and Warehousing (IW)
- Maritime Use (MU)



Zoning Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
 This map is for reference only. Data provided are derived from multiple sources with varying levels of accuracy. The City of St. Augustine disclaims all responsibility for the accuracy or completeness of the data shown herein.

2025

0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

Attachment 2: Application



**CITY OF ST AUGUSTINE
APPLICATION TO PLANNING AND ZONING BOARD**

Application Fee: _____ (plus advertising costs) Project Number: _____

Receipt Number: _____ Meeting Date: _____

Advertising Costs: \$ _____ Paid On: _____ Receipt Number: _____

1. NAME OF APPLICANT: Rebecca Faunce DMD Contact Number: 904-806-3336
 Business (if applicable): Antigua Orthodontics/Faunce Orthodontics LLC
 Address: 67 South Dixie City: St Augustine State: FL Zip: 32084
 E-Mail Address: rafmd@bellsouth.net

2. NAME OF PROPERTY OWNER: Faunce Orthodontics LLC Contact Number: 904-806-3336
 Business (if applicable): Antigua Orthodontics/Faunce Orthodontics LLC
 Address: 160 Cypress Point Pkwy City: Palm Coast State: FL Zip: 32164
 E-Mail Address: rafmd@bellsouth.net

3. LEGAL DESCRIPTION OF PROJECT PROPERTY:
 Lot: 5 Block: A
 Subdivision: Andalucia-Parque Parcel Number: 1273000050

4. PROJECT STREET ADDRESS: 67 South Dixie Hwy, St Augustine FL 32084

5. SPECIFIC PROPOSED USE: Orthodontic Office

6. ACTION REQUESTED:

Conservation Zone Development Appeal of Staff Determination
 Exception Land Use Plan Amendment
 Variance Rezoning
 Other: _____

7. DESCRIPTION OF ACTION REQUESTED: The curenly approved interior remodel includes adding a doorway to the East side of the building. We would like to add an 23.5 square foot addition to the East side of the building in order to move the new doorway slightly out from the building to deal with the 18" of back fill that is on the backside of the building and extends and rises into the adjacent property. The extension allows the new door to be outside and above the bottom of the 3 step stairwell needed to get to the floor level of the building and would prevent water intrusion into the approved new East side entrance.

8. JUSTIFICATION FOR ACTION REQUESTED: The proposed solution is a minimally intrusive solution to the need for a East exit/entrance that enters the building below ground level due to backfill and a higher adjacent property at 30 Aviles Dr. The owner of 67 South Dixie Hwy also owns the lot at 30 Aviles Drive and is the only property owner effected by the change in this proposed variance for a small structural addition about 37 feet from the roadway along the east wall. The new door would allow an additional exit for the building, allow natural light in from the west side, faster access to trash bins, HVAC systems, and hose bib on East side of building, as well access to the owner's neighboring empty lot.

9. **IF APPLYING FOR A VARIANCE, PLEASE COMPLETE THE FOLLOWING AND EXPLAIN THE SITUATION FULLY ALONG WITH PROVIDING DOCUMENTATION:**

- (a) Does the property because of size, shape, topography or other physical conditions, suffer singular disadvantage, which disadvantage does not apply to other properties in the vicinity: The discovered changes in topography of the East side of the site is the reason for the application for a variance. It is a small addition to add 3 interior steps and a doorway to gain an entrance/exit and prevent water intrusion because of the backfill on the building and higher neighboring property
- (b) Can you establish that this disadvantage causes the owner to be unable to make reasonable use of the affected property: Due to the discovery of 18" of backfill on the building there is worry that water intrusion through a door 18" below ground will effect the medical equipment and flooring located just inside that passageway.
- (c) Can you establish that this disadvantage does not exist because of conditions created by the owner or applicant: The owner purchased this property and the neighboring property to move her longstanding St Augustine practice from Flagler Hospital closer to the city center and the backfill and topography effects were not discovered until the approved remodel began.
- (d) Can you establish that granting of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this Section: This variance to build within the setback is minimal and effects only the two properties mentioned both of which are owned by Faunce Orthodontics LLC. It will provide access to the East side of the buidling utilities from the interior during daily business.

10. PREVIOUS APPPLICATIONS:

Has any application been submitted to the Planning & Zoning Board concerning any part of the subject property within the past year?

Yes No If yes, please give date and final disposition below.


11. AGREEMENT:

In filing this application, I understand that it becomes a part of Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

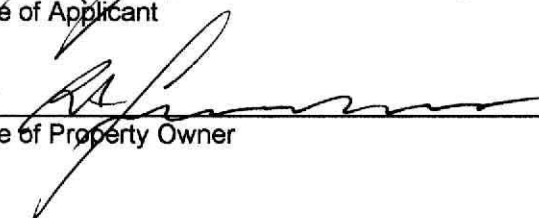
Application must be signed by both applicant and property owner if different. Letter of authorization must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of either property owner or applicant.

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

IMPORTANT NOTICE: When the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the Board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the Board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the Code.



Signature of Applicant 8-26-25
Date



Signature of Property Owner 8-26-25
Date

04/18/2019



**CITY OF ST. AUGUSTINE
DEVELOPMENT PERMIT APPLICANT WAIVER**


The applicant acknowledges and agrees to waive the limitation of three requests for additional information by the City of St. Augustine, pursuant to Chapter 166.033, Florida Statutes.

The applicant acknowledges and agrees that the City offers weekly Friday Review development review meetings, as well as, department specific applicant meetings with its reviewing staff at any point in the application process to attempt to resolve outstanding issues. The applicant is responsible for scheduling any requested meetings with City staff directly.

The applicant acknowledges and agrees that if after three unresolved submittals the applicant elects to proceed with final approval or denial proceedings, the applicant must request so in writing to the City.

Rebecca A. Faunce DMD

Print name of applicant



Signature of applicant

August 25, 2025

Date



Owner's Authorization For Agent

Victor Sarris & Robert O'Leary is/are hereby authorized TO ACT ON BEHALF OF Faunce Orthodontics LLC, the owner(s) of those lands described within the attached application, or described within the previously filed Application number: _____, and as described in the attached deed or other such proof of ownership as may be required, in applying to the City of St. Augustine's Planning & Zoning Board, located at:

BY: *Rebecca A. Faunce*
Signature of Owner
Rebecca A. Faunce DMD
Print Name of Owner
904-806-3336
Telephone Number

State of FL

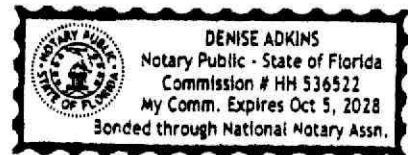
County of Flagler

Signed and sworn before me on this 26th day of August, 2025

By Denise Adkins

Identification verified:

Oath sworn: Yes No



Notary Signature: *Denise Adkins*

My Commission expires: 10-5-2028

PZB APPLICATION FEE SCHEDULE

Planning and Zoning Board fees are set by Resolution 2021-38 as follows:

Description of Work	Fee Amount
Rezoning: small scale	\$300.00 + ads & notices
Rezoning: large scale	\$1,000.00 + ads & notices
Land Use Plan Amendment: small scale	\$400.00 + ads & notices
Land Use Plan Amendment: large scale	\$1,400.00 + ads & notices
Planned Unit Development	\$400.00 or \$35.00/acre, whichever is greater, \$1,400 max + ads & notices
Zoning Variance	\$350.00 + ads & notices
Zoning Exception	\$250.00 + ads & notices
Conservation Overlay Zone Development	\$165.00 + ads & notices
Significant Tree Removal or Appeal of Tree Removal Permit Denial	\$165.00 + ads & notices
Appeal of Staff Determination	\$200.00 + ads & notices
Application to Amend Zoning Code	\$600.00 + ads & notices
Subdivision Plat Review	\$275.00 + ads, notices & additional associated costs

“Note: The cost of newspaper advertisement and all notices to surrounding property owners will be assessed by the city, paid by the city and reimbursed by the applicant. All advertising costs must be paid prior to issuance of a development permit.

The applicant shall reimburse the City the mailing cost for all notices and for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing.”

If a Credit Card Authorization Form is used for the payment of fees, the City will maintain the form and automatically charge additional advertising and noticing fees, once determined, to the credit-card account submitted.

By signing below, I acknowledge responsibility for both the initial application fee and any subsequent costs associated with legal advertising and/or noticing and understand that permits associated with my application may not be issued until such fees are paid.

I authorize the Planning and Building Department to maintain my payment information until a final cost for advertising and/or noticing is determined and charged. If a payment method other than Credit Card Authorization Form is used, I understand that I will be sent an invoice for the costs of advertising/noticing which must be paid prior to the issuance of any development permit related to my application. I am aware that I can request a copy of these fees and my receipt from Building Department Staff.

67 South Dixie Hwy

Project Address: _____

Rebecca A. Faunce

Applicant’s Name: _____ Applicant’s Signature: _____

Rebecca A. Faunce

Owner’s Name: _____ Owner’s Signature: _____

**Attachment 3:
St. Johns County
Property Appraiser
Report**

St. Johns County, FL

Apply for Exemptions

Apply for Exemptions

Homestead Compliance

This form is not a Homestead Exemption application. To apply online for homestead and related exemptions, please click [here](#).

Homestead Compliance

Sales Questionnaire Form

If you are a new owner of this property, please click here to submit a Sales Questionnaire

Sales Questionnaire

2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID	1273000050
Location Address	67 S DIXIE HWY SAINT AUGUSTINE 32084-0000
Neighborhood	Retail Stores S Dixie & Old Moultrie (COM) (680.35)
Tax Description*	3-14 ANDALUCIA PARQUE LOT 5 BLK A OR6135/167 <i>*The Description above is not to be used on legal documents.</i>
Property Use Code	Stores (1100)
Subdivision	Andalucia Parque
Sec/Twp/Rng	39-7-30
District	City of St Augustine (District 452)
Millage Rate	18.72
Acreage	0.130
Homestead	N

[Click Here to Open Cyclomedia Viewer in a New Tab](#)



Owner Information

Owner Name	Fauce Orthodontics LLC 100%
Mailing Address	160 CYPRESS POINT PKWY D-217 PALM COAST, FL 32164-0000

Map



Valuation Information

Assessed Year	2025
Building Value	\$324,628.00
Extra Features Value	\$3,298.00
Total Land Value	\$141,570.00
Agricultural (Assessed) Value	\$0.00
Agricultural (Market) Value	\$0.00
Just Market	\$469,496.00
Total Deferred	\$193,170.00
Assessed Value	\$276,326.00
Total Exemptions	
Taxable Value	\$276,326.00

Values listed are from our working tax roll and are subject to change. Exemption and taxable values shown reflect County-level assessment.

Historical Assessment Information

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value
2024	195219	3511	84942	0
2023	200877	3656	84942	0
2022	163653	2704	41250	0
2021	168137	2721	41250	0
2020	172621	2737	41250	0
2019	137606	2754	41250	0
2018	141090	2770	41250	0
2017	102019	1578	29425	0
2016	111927	1654	27500	0
2015	89196	1654	22550	0
2014	86314	1654	22550	0

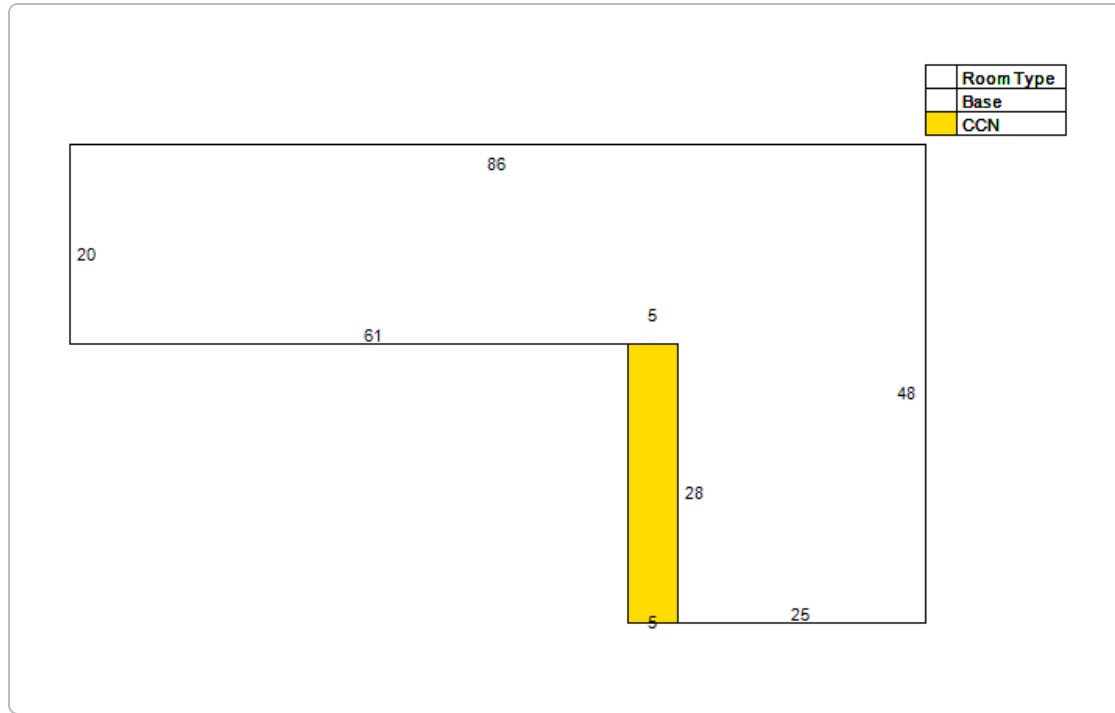
Building Information

Building	1
Building Value	\$324,628
Year Built	1986
Actual Area	2560
Conditioned Area	2420
Use	Stores (City/Historical)
Style	04
Exterior Wall	Concrete Stucco, Concrete Block

Roof Cover	Composite Shingle
Roof Structure	Wood Truss
Interior Flooring	Carpet, Ceramic Tile
Interior Wall	Drywall
Heating Type	Air Duct
Air Conditioning	Central
Bedrooms	
Baths	

Description	Square Footage
BASE AREA	2420
FINISHED CANOPY	140
Total SqFt	2560

Sketch Information



Extra Feature Information

Code Description	Status	Value
Asphalt Paving (COM)		2630
Metal Fence - 4' (COM)		668

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Stores	50	110	5662.8	SF	\$141,570

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
4/22/2025	4/17/2025	\$965,000.00	WARRANTY DEED	6135	167	Q	I	MOSLER SUE-ELLEN GAMBLE LIVING TRUST D:10-1-2008	FAUNCE ORTHODONTICS LLC
12/4/2015	11/25/2015	\$270,000.00	WARRANTY DEED	4119	1279	Q	I	NORTH FLORIDA INTERNAL MEDICINE & PEDIATRICS	MOSLER SUE-ELLEN GAMBLE LIVING TRUST D:10-1-2008
	1/26/2000	\$195,000.00	WARRANTY DEED	1471	1427	U	I	SHARP JEFFERY & VALERIE	NORTH FLORIDA INTERNAL MEDICINE & PEDIATRICS
	5/1/1987	\$0.00		745	358	U	I		SHARP JEFFERY,VALERIE
	5/1/1987	\$72,800.00		745	358	Q	I		
	8/1/1982	\$30,000.00		566	482	U	I		

No data available for the following modules: Exemption Information.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.
[User Privacy Policy](#) | [GDPR Privacy Notice](#)
 Last Data Upload: 9/8/2025, 2:30:21 AM

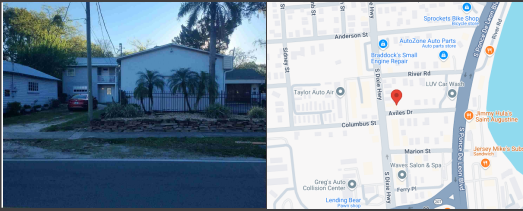
Contact Us



Attachment 4:

Site Plan

CENTURY 21



PROPERTY ADDRESS:
67 S DIXIE HIGHWAY AND 30 AVILES DRIVE, ST. AUGUSTINE, FLORIDA 32084

SURVEY NUMBER: 2503.2872

DATE SIGNED: 03/20/25 **FIELD WORK DATE:** 3/18/2025

REVISION DATE(S):
(REV.1 3/20/2025)

POINTS OF INTEREST
NONE VISIBLE

SURVEYORS CERTIFICATE

I hereby certify that this Survey of the lands described hereon was made under my direct supervision, and to the best of my knowledge and belief is a true and accurate representation of said lands and meets the Standards of Practice set forth in Chapter 5J-15.050 through 5J-15.053, Florida Administrative Code, pursuant to section 472.027, Florida Statutes. This survey is not valid without the signature and original raised seal of a Florida licensed surveyor and mapper, except when the electronic signature and seal of a Florida licensed surveyor and mapper is affixed hereto.



RAYMOND J. SCHAEFER
State of Florida Professional Surveyor and Mapper
License Number 6132
Exacta Land Surveyors, LLC | LBN 8291



Exacta Land Surveyors, LLC
LBN 8291
o: 866.735.1916 | f: 866.744.2882
131 West Broadway Street, Suite 1001, Oviedo, FL 32765

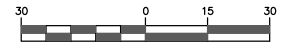
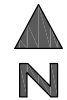
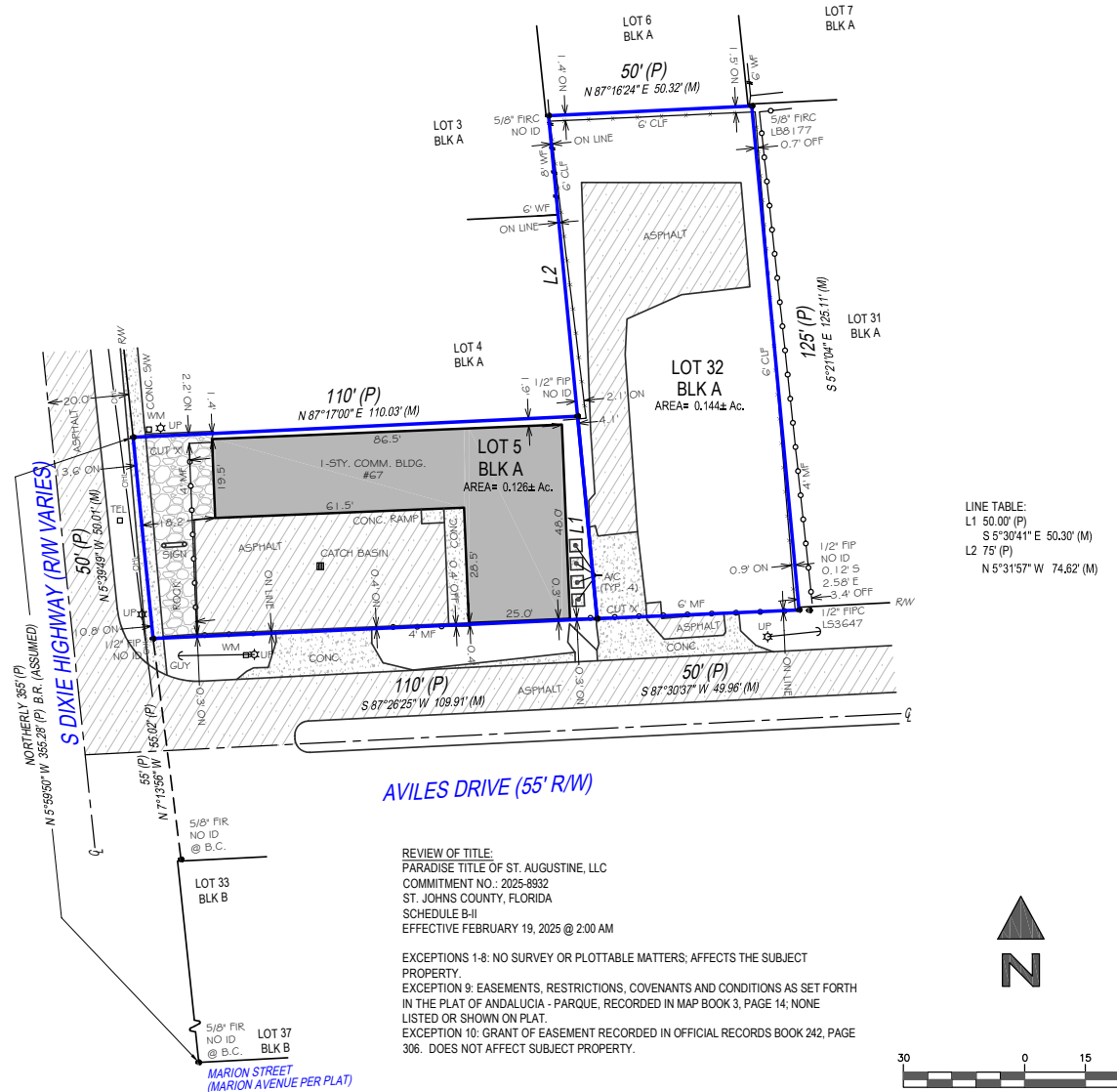


AFFILIATE MEMBERS

2503.2872
BOUNDARY SURVEY
ST. JOHNS COUNTY

SURVEYOR'S NOTES:
FENCE OWNERSHIP NOT DETERMINED.

SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES



GRAPHIC SCALE (In Feet)
1 inch = 30' ft.

PROPERTY ADDRESS:
67 S DIXIE HIGHWAY AND 30 AVILES DRIVE, ST. AUGUSTINE, FLORIDA 32084

SURVEY NUMBER: 2503.2872

CERTIFIED TO:
FAUNCE ORTHODONTICS LLC; PARADISE TITLE OF ST. AUGUSTINE, LLC ;
WFG NATIONAL TITLE INSURANCE COMPANY; SOUTH STATE BANK, N.A.

DATE SIGNED: 03/20/25

BUYER: Faunce Orthodontics LLC

LENDER: SOUTH STATE BANK, N.A.

TITLE COMPANY: PARADISE TITLE OF ST. AUGUSTINE, LLC

COMMITMENT DATE: 2/19/2025 **CLIENT FILE NO:** 2025-8932

LEGAL DESCRIPTION:
PARCEL 1: LOT 5, BLOCK A, ANDALUCIA - PARQUE, ACCORDING TO THE
PLAT THEREOF, RECORDED IN MAP BOOK 3, PAGE(S) 14, OF THE PUBLIC
RECORDS OF SAINT JOHNS COUNTY, FLORIDA.

AND

PARCEL 2: LOT 32, BLOCK A, ANDALUCIA - PARQUE, ACCORDING TO
THE PLAT THEREOF, RECORDED IN MAP BOOK 3, PAGE(S) 14, OF THE
PUBLIC RECORDS OF SAINT JOHNS COUNTY, FLORIDA.

FLOOD ZONE INFORMATION:
BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY
OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE
X. THIS PROPERTY WAS FOUND IN CITY OF ST. AUGUSTINE, COMMUNITY
NUMBER 125145, PANEL NUMBER 0314 DATED 12/7/2018.

GENERAL SURVEYORS NOTES:

- The Legal Description used to perform this survey was supplied by others. This survey does not determine nor imply ownership of the lands or any fences shown hereon. Unless the Title Commitment Number and Date is referenced on this survey, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
- The purpose of this survey is to establish the boundary of the lands described by the legal description provided and to depict the visible improvements thereon for a pending financial transaction. Underground footings, utilities, or other service lines, including roof eave overhangs were not located as part of this survey. Unless specifically stated otherwise the purpose and intent of this survey is not for any construction activities or future planning.
- If there is a septic tank or drain field shown on this survey, the location depicted hereon was either shown to the surveyor by a third party or it was estimated by visual above ground inspection. No excavation was performed to determine its location.
- This survey is exclusively for a pending financial transaction and only to be used by the parties to whom it is certified.
- Alterations to this survey map and report by other than the signing surveyor are prohibited.
- Dimensions are in feet and decimals thereof.
- Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain said data was performed at www.fema.gov and may not reflect the most recent information.
- Unless otherwise noted "SIRC" indicates a Set Iron Rebar with a Cap stamped LB#8291, a minimum half inch in diameter and eighteen inches long.
- If you are reading this survey in an electronic format, the information contained on this document is only valid if this document is electronically signed as specified in Chapter 5J17.062 (3) of the Florida Administrative Code and Florida Statute 472.025. The Electronic Signature File related to this document is prominently displayed on the invoice for this survey which is sent under separate cover. Manually signed and sealed logs of all survey signature files are kept in the office of the performing surveyor.
- The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the approximate center of the field location and may not represent the actual shape or size of the feature.
- Points of Interest (POI's) are select above-ground improvements, which may appear in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. These POI's may not represent all items of interest to the viewer. There may be additional POI's which are not shown or called-out as POI's, or which are otherwise unknown to the surveyor.
- Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
- The information contained on this survey has been performed exclusively by and is the sole responsibility of Exacta Land Surveyors, LLC. Additional logos or references to third party firms are for informational purposes only.
- Pursuant to F.S. 558.0035, an individual employee or agent may not be held individually liable for negligence.
- Due to varying construction standards, building dimensions are approximate and are not intended to be used for new construction or planning.

SURVEYORS LEGEND:

LINETYPES	ABBREVIATIONS
	(C) - Calculated
	(D) - Deed
	(F) - Field
	(M) - Measured
	(P) - Plat
	(R) - Record
	(S) - Survey
	A/C - Air Conditioning
	AE - Access Easement
	ANE - Anchor Easement
	ASBL - Accessory Setback Line
	B/W - Bay/Box Window
	BC - Block Corner
	BFP - Backflow Preventer
	BLDG - Building
	BLK - Block
	BM - Benchmark
	BR - Bearing Reference
	BRL - Building Restriction Line
	BSMT - Basement
	C - Curve
	C/L - Center Line
	C/P - Covered Porch
	C/S - Concrete Slab
	CATV - Cable TV Riser
	CB - Concrete Block
	CH - Chord Bearing
	CHIM - Chimney
	CLF - Chain Link Fence
	CME - Canal Maintenance Easement
	CO - Clean Out
	CONC - Concrete
	COR - Corner
	CS/W - Concrete Sidewalk
	CUE - Control Utility Easement
	CVG - Concrete Valley Gutter
	D/W - Driveway
	DE - Drainage Easement
	DF - Drain Field
	DH - Drill Hole
	DUE - Drainage & Utility Easement
	ELEV - Elevation
	EM - Electric Meter
	ENCL - Enclosure
	ENT - Entrance
	EOP - Edge of Pavement
	EOW - Edge of Water
	ESMT - Easement
	EUB - Electric Utility Box
	F/DH - Found Drill Hole
	FCM - Found Concrete Monument
	FF - Finished Floor

	FIP - Found Iron Pipe
	FIPC - Found Iron Pipe & Cap
	FIR - Found Iron Rod
	FIRC - Found Iron Rod & Cap
	FN - Found Nail
	FN&D - Found Nail & Disc
	FRSSPK - Found Rail Road Spike
	GAR - Garage
	GM - Gas Meter
	ID - Identification
	IE/EE - Ingress/Egress Easement
	ILL - Illegible
	INST - Instrument
	INT - Intersection
	IRRE - Irrigation Easement
	L - Length
	LAE - Limited Access Easement
	LB# - License No. (Business)
	LBE - Limited Buffer Easement
	LE - Landscape Easement
	LME - Lake/Landscape Maintenance Easement
	LS# - License No. (Surveyor)
	MB - Map Book
	ME - Maintenance Easement
	MES - Mitered End Section
	MF - Metal Fence
	MH - Manhole
	MHWL - Mean High Water Line
	NR - Non-Radial
	NTS - Not to Scale
	NAVD88 - North American Vertical Datum 1988
	NGVD29 - National Geodetic Vertical Datum 1929
	OG - On Ground
	ORB - Official Records Book
	ORV - Official Record Volume
	O/A - Overall
	O/S - Offset
	OFF - Outside Subject Property
	OH - Overhang
	OHL - Overhead Utility Lines
	OHWL - Ordinary High Water Line
	ON - Inside Subject Property
	P/E - Pool Equipment
	PB - Plat Book
	PC - Point of Curvature
	PCC - Point of Compound Curvature
	PCP - Permanent Control Point
	PI - Point of Intersection
	PLS - Professional Land

	Surveyor
	PLT - Plat
	POB - Point of Beginning
	POC - Point of Commencement
	PRC - Point of Reverse Curvature
	PRM - Permanent Reference Monument
	PSM - Professional Surveyor & Mapper
	PT - Point of Tangency
	PUE - Public Utility Easement
	R - Radius or Radial
	R/W - Right of Way
	RES - Residential
	RGE - Range
	ROE - Roof Overhang Easement
	RP - Radius Point
	S/W - Sidewalk
	SBL - Setback Line
	SCL - Survey Closure Line
	SCR - Screen
	SEC - Section
	SEP - Septic Tank
	SEW - Sewer
	SIRC - Set Iron Rod & Cap
	SMWE - Storm Water Management Easement
	SN&D - Set Nail and Disc
	SQFT - Square Feet
	STL - Survey Tie Line
	STY - Story
	SV - Sewer Valve
	SWE - Sidewalk Easement
	TBM - Temporary Bench Mark
	TEL - Telephone Facilities
	TOB - Top of Bank
	TUE - Technological Utility Easement
	TWP - Township
	TX - Transformer
	TYP - Typical
	UE - Utility Easement
	UG - Underground
	UP - Utility Pole
	UR - Utility Riser
	VF - Vinyl Fence
	W/C - Witness Corner
	W/F - Water Filter
	WF - Wood Fence
	WM - Water Meter/Valve Box
	WV - Water valve

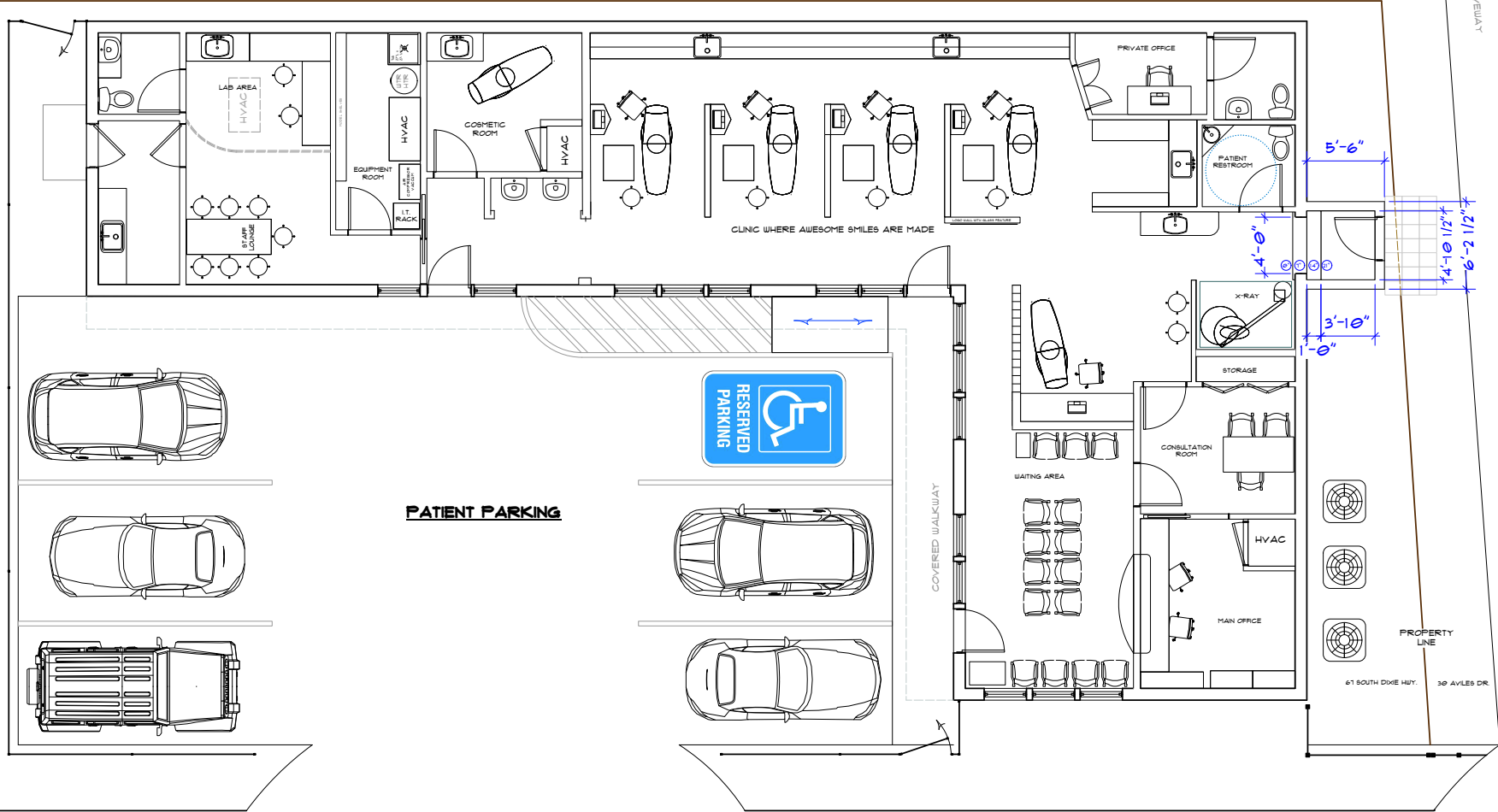
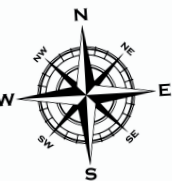
JOB SPECIFIC SURVEYOR NOTES:
THE ASSUMED BEARING REFERENCE OF NORTH 5 DEGREES 59 MINUTES 50 SECONDS WEST IS BASED ON THE EASTERLY RIGHT-OF-WAY LINE OF S DIXIE HIGHWAY, LOCATED WITHIN ANDALUCIA - PARQUE ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 14 OF THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA.



Exacta Land Surveyors, LLC
 131 West Broadway Street, Suite 1003, Oviedo, FL 32765
 Phone: 856.735.1915 | Fax: 856.744.2882

SEE PAGE 1 OF 2 FOR MAP OF PROPERTY
PAGE 2 OF 2 - NOT VALID WITHOUT ALL PAGES

SOUTH DIXIE HWY



PATIENT PARKING

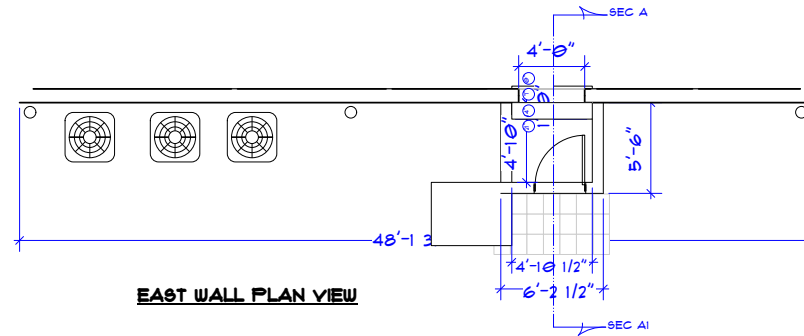


INTERIOR REMODEL & SITE PLAN FOR
ANTIGUA ORTHODONTICS

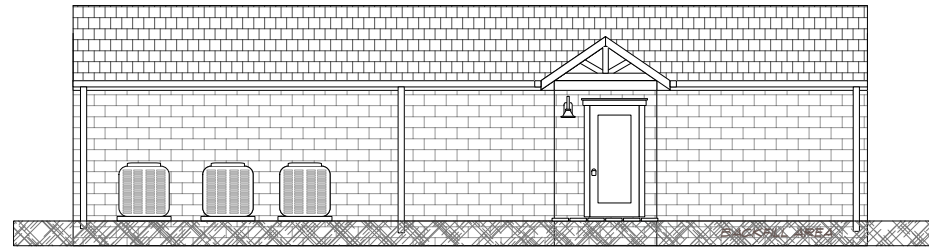
61 SOUTH DIXIE HWY PLATE #1 SCALE - 3/16" = 1'-0"

8/18/25 - EAST DOOR VARIANCE INQUIRY

AVILES DR



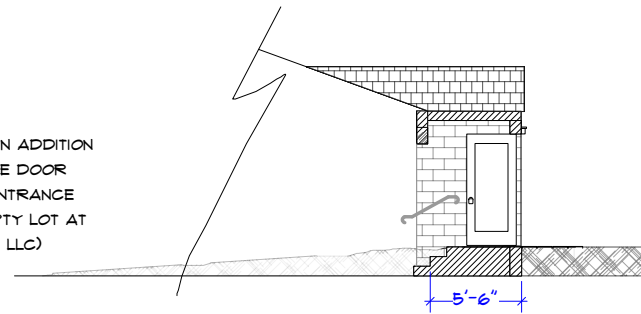
EAST WALL PLAN VIEW



EAST WALL EXTERIOR FRONT VIEW

THIS IS THE PROPOSED VARIANCE FOR THE PERMITTED REMODEL FOR 61 SOUTH DIXIE HWY

- UPON DISCOVERY OF 16" TO 18" OF BACKFILL ALONG THE EAST SIDE OF THE PROPERTY WHERE THE PROJECT NECESITATES AN ENTRANCE/EXIT DOOR, THE DRAWN SOLUTION IS PROPOSED.
- THE OWNER IS ASKING TO ALLOW THE WEST ENTRANCE TO BE CUT INTO THE BUILDING AS PLANNED BUT IN ADDITION WOULD LIKE TO CONSTRUCT AN 23.5 SQ.FT. SMALL BLOCK WALL PASSAGE WAY AND STAIRS TO PUSH THE DOOR UP AND OUT FROM THE BUILDING. THIS IS TO PREVENT WATER INTRUSION FROM INNUNDATING THE NEW ENTRANCE AS IT IS BELOW GROUND DUE TO THE BACKFILL AND A SLOPE FROM THE NEIGHBORING PROPERTY/EMPTY LOT AT 30 AVILES DR. (THIS LOT IS ALSO OWNED BY THE 61 SOUTH PROPERTY OWNER, FAUNCE ORTHODONTICS LLC)
- THIS SOLUTION SHIFTS THE FUNCTIONAL DOOR/WATERSTOP TO THE HIGH GROUND ON THE EAST SIDE OF 61 SOUTH DIXIE HWY BUILDING PROTECTING THE MEDICAL EQUIPMENT JUST INSIDE THAT INTERIOR ARCHWAY, GIVES THE STAFF EASIER ACCESS TO THE UTILITIES ON THE EAST SIDE OF THE BUILDING DURING DAILY BUSINESS, AS WELL AS ACCESS TO THE NEIGHBORING LOT FOR THE DOCTOR AND STAFF.
- THE DOOR SHOWN WOULD BE A SINGLE 36 IN. X 80 IN. FULL LITE CLEAR IMPACT GLASS LHM FIBERGLASS FRONT DOOR FITTED WITH PUSH/PULL HOSPITAL HANDLE DOOR MECHANISM FOR EASE OF USE WHEN UNLOCKED
- THE SHOWN CONSTRUCTED SOLUTION DOES NOT CROSS THE PROPERTY LINE THOUGH THE LINE DOES CROSS THROUGH THE EXTERIOR PAVER PAD IN FRONT OF THE DOORWAY AS SEEN IN THE SITE PLAN ON PLATE #1.



SEC A - A1 SIDE VIEW

EXTERIOR REMODEL FOR EAST DOOR ADDITION

ANTIGUA ORTHODONTICS

61 SOUTH DIXIE HWY PLATE #2 SCALE - 3/16" = 1'-0"

8/18/25 - EAST DOOR VARIANCE INQUIRY



SOUTH WALL AND EAST CORNER



EAST CORNER



EAST CORNER



INTERIOR ARCH CUT TO PROPOSED DOORWAY



EAST WALL AND PROPOSED DOORWAY SITE

BACKFILL DIRT LEVEL BEHIND WALL

EXTERIOR PHOTOS FOR EAST DOOR ADDITION

ANTIGUA ORTHODONTICS - DR. REBECCA FAUNCE DMD



Planning and Zoning Board

Planning Division Staff Report
 Planning and Building Department

Public Hearing Date	Agenda Item	Application Number
October 7, 2025	6.b	PZB2025-0071
Request	Address	Parcel ID
Variance	Pomar Street	208750-0030
		[LINK TO ST. JOHNS COUNTY PROPERTY APPRAISER'S WEBSITE]

Site & Background Information

Applicant & Owner: George Costin

Property Class:
 (St. Johns County Property Appraiser) 0000 – Vacant Residential

Future Land Use Designation: Residential Low Density

Zoning Designation: Residential Single-Family-Two: RS-2 [\[LINK FOR DISTRICT REGULATIONS\]](#)

Acreage: 0.04

Neighborhood: Lincolnville

Archaeological Zone: IIIA

Request Summary

This application is a variance request to the maximum lot coverage for an approximately 1,815 square foot RS-2 lot located along Pomar Street.

	City of St. Augustine Land Development Regulations	Proposed Conditions at Pomar Street / PID 208750-0030
Lot width	Minimum of fifty (50) feet	Approximately thirty (30) feet
Lot area	Minimum of one-eighth acre (5,450 square feet)	Approximately four-hundredths of an acre (1,815 square feet)
Lot coverage by all buildings	Maximum of thirty-five (35) percent	Forty-two (42) percent
Impervious surface ratio	Maximum of seventy (70) percent	Specific information not provided, proposal does not appear to exceed the maximum ratio
Front yard setback	Minimum of fifteen (15) feet	Fifteen (15) feet
Side yard(s) setback	Minimum of four (4) feet*	Four (4) feet
Rear yard setback	Minimum of ten (10) feet	Ten (10) feet
Height of structures	Maximum of thirty (30) feet*	Two (2) stories

*regulations for non-conforming RS-2 lots

Approval of this application and request would allow the applicant to submit land development applications to the city for staff review.

Staff Analysis of Request and Consistency with the City of St. Augustine's Comprehensive Plan 2040

Goal, Policy, or Objective	Staff Analysis
Future Land Use Element [LINK TO DOCUMENT]	
<p>Policy 2.1.3</p> <p>The City shall encourage the development of undeveloped pockets and enclaves within developed areas to utilize existing facilities efficiently and reduce urban sprawl.</p>	<p>This proposal is consistent with the city's policy to encourage the development of undeveloped pockets and enclaves by proposing the construction of a new single-family home within the existing developed and urban area of St. Augustine.</p>
<p>Policy 6.4.3</p> <p>Residential Low Density</p> <p>This district is intended to apply to those neighborhoods designated for single-family dwellings and single-family type uses, as well as</p>	<p>The Residential Low Density future land use designation is the current designation for the property at Pomar Street / PID 208750-0030.</p>

<p>those uses compatible with low density single-family uses such as churches, child care centers, public and institutional uses, including schools consistent with the Public Schools Facilities Element, recreation and Open Land (Conservation) as appropriate so as to create and maintain a stable low intensity residential character.</p> <p>For Residential Uses a maximum of 8 single family dwellings per acre.; public and institutional uses are limited to the density and intensity of the most restrictive adjacent land use</p>	
Historic Preservation Element [LINK TO DOCUMENT]	
Conservation and Coastal Management Element [LINK TO DOCUMENT]	
Recreation and Open Space Element [LINK TO DOCUMENT]	
Transportation and Mobility Element [LINK TO DOCUMENT]	
Housing Element [LINK TO DOCUMENT]	
<p>Goal 1</p> <p>Encourage and promote quality housing through new construction, maintenance, rehabilitation and preservation of safe and sanitary housing for the present and future residents of the city.</p>	<p>This proposal to construct a new single-family home is consistent with the city’s goal to encourage and promote quality housing through new construction.</p>
Infrastructure Element [LINK TO DOCUMENT]	

Staff Analysis of Request and Applicable Sections from the City of St. Augustine’s Code of Ordinances

Based on Sec. 28-2 of the City’s Code [[LINK TO SECTION](#)], *variance* means a relaxation of the terms of this chapter where such variance will not be contrary to the public interest and where, owing to conditions peculiar to the property and not the result of the actions of the applicant, a literal enforcement of this chapter would result in unnecessary and undue hardship on the land. As used in this chapter, a variance is authorized only for height, area and size of structure or sides of yards and open spaces. Establishment or expansion of uses otherwise prohibited shall not be allowed by variance, nor shall a variance be granted because of the presence of nonconformities in the zoning district or uses in an adjoining zoning district. A modification to lot requirements so as to increase the permitted density of multifamily dwellings shall not be considered a variance and is specifically prohibited.

Based on Sec. 28-29(b)(1) of the City’s Code [[LINK TO SECTION](#)], the Planning and Zoning Board may grant a variance only under circumstances where practical difficulty or unnecessary hardship is so substantial, serious and compelling that relaxation of the general restrictions should be granted. No variance shall be granted unless the applicant shall show and the board shall find that:

- a. The particular property, because of size, shape, topography or other physical conditions, suffers singular disadvantage through the operation of this section, which disadvantage does not apply to other properties in the vicinity; and
The approximately 1,815 square foot RS-2 lot located along Pomar Street is significantly smaller than the minimum requirements for RS-2 lots.
- b. Because of this disadvantage, the owner is unable to make reasonable use of the affected property; and
The disadvantages of the thirty-five (35) percent lot coverage limit proves difficult in designing and constructing a new single-family home.
- c. This disadvantage does not exist because of conditions created by the owner or applicant; and
The lot in question had its size established when it was originally platted long before the current owner purchased the property.
- d. Grant of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this section.
Granting of this variance request should not be contrary to the public interest, may not adversely affect other properties in the vicinity, and is in harmony with the spirit, intent and purpose of this section.

Staff Recommendation

Based on a review of Sec. 28-29 staff finds that the Board may **APPROVE** the variance request to the maximum lot coverage within the RS-2 zoning district at Pomar Street / PID 208750-0030.

Attachments

1. Site Maps & Photos
2. Application
3. St. Johns County Property Appraiser Report
4. Survey
5. Proposed Site Plan
6. Proposed Floor Plans

Staff Report prepared by:

Jacob Fredriksson, CNU-A
Planning Manager
Planning and Building Department

**Attachment 1:
Site Maps & Photos**



- ### Legend
- Residential Single-Family-One (RS-1)
 - Residential Single-Family-Two (RS-2)
 - Residential Low-One (RL-1)
 - Residential General-One (RG-1)
 - Residential General-Two (RG-2)
 - Residential General Office (RGO)
 - Residential General Office A (RGO-A)
 - Open Land
 - Historic Preservation (HP-1)
 - Historic Preservation (HP-2)
 - Historic Preservation (HP-3)
 - Historic Preservation (HP-4)
 - Historic Preservation (HP-5)
 - Government Use
 - Planned Unit Development (PUD)
 - Abandoned PUD
 - Commercial Low-One (CL-1)
 - Commercial Low-Two (CL-2)
 - Commercial Medium-One (CM-1)
 - Commercial Medium-Two (CM-2)
 - Industrial and Warehousing (IW)
 - Maritime Use (MU)



Zoning Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

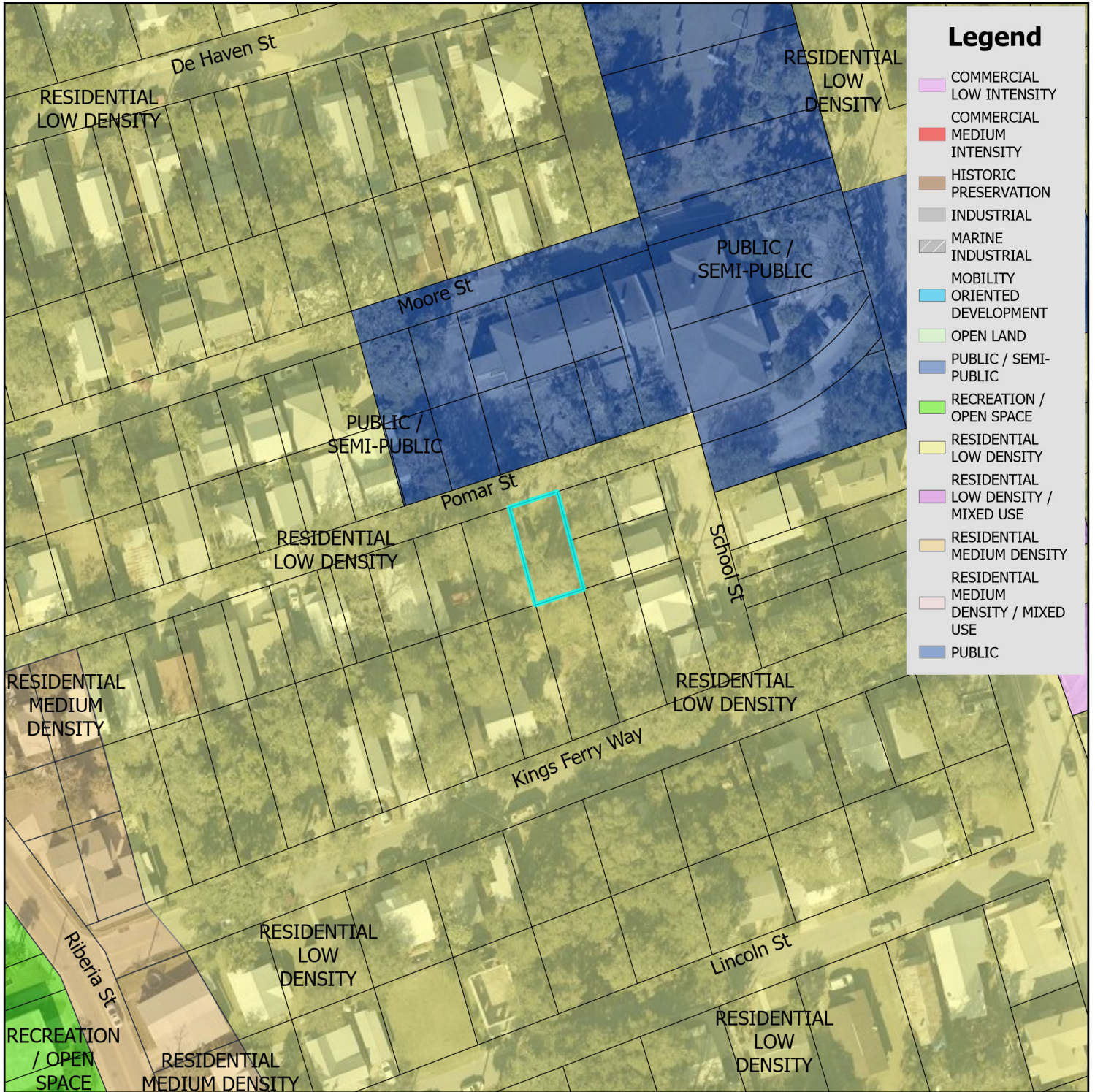
DISCLAIMER
 This map is for reference only. Data provided are derived from multiple sources with varying levels of accuracy. The City of St. Augustine disclaims all responsibility for the accuracy or completeness of the data shown herein.

2025

0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Legend

- COMMERCIAL LOW INTENSITY
- COMMERCIAL MEDIUM INTENSITY
- HISTORIC PRESERVATION
- INDUSTRIAL
- MARINE INDUSTRIAL
- MOBILITY ORIENTED DEVELOPMENT
- OPEN LAND
- PUBLIC / SEMI-PUBLIC
- RECREATION / OPEN SPACE
- RESIDENTIAL LOW DENSITY
- RESIDENTIAL LOW DENSITY / MIXED USE
- RESIDENTIAL MEDIUM DENSITY
- RESIDENTIAL MEDIUM DENSITY / MIXED USE
- PUBLIC



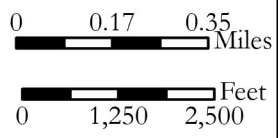
Future Land Use Map



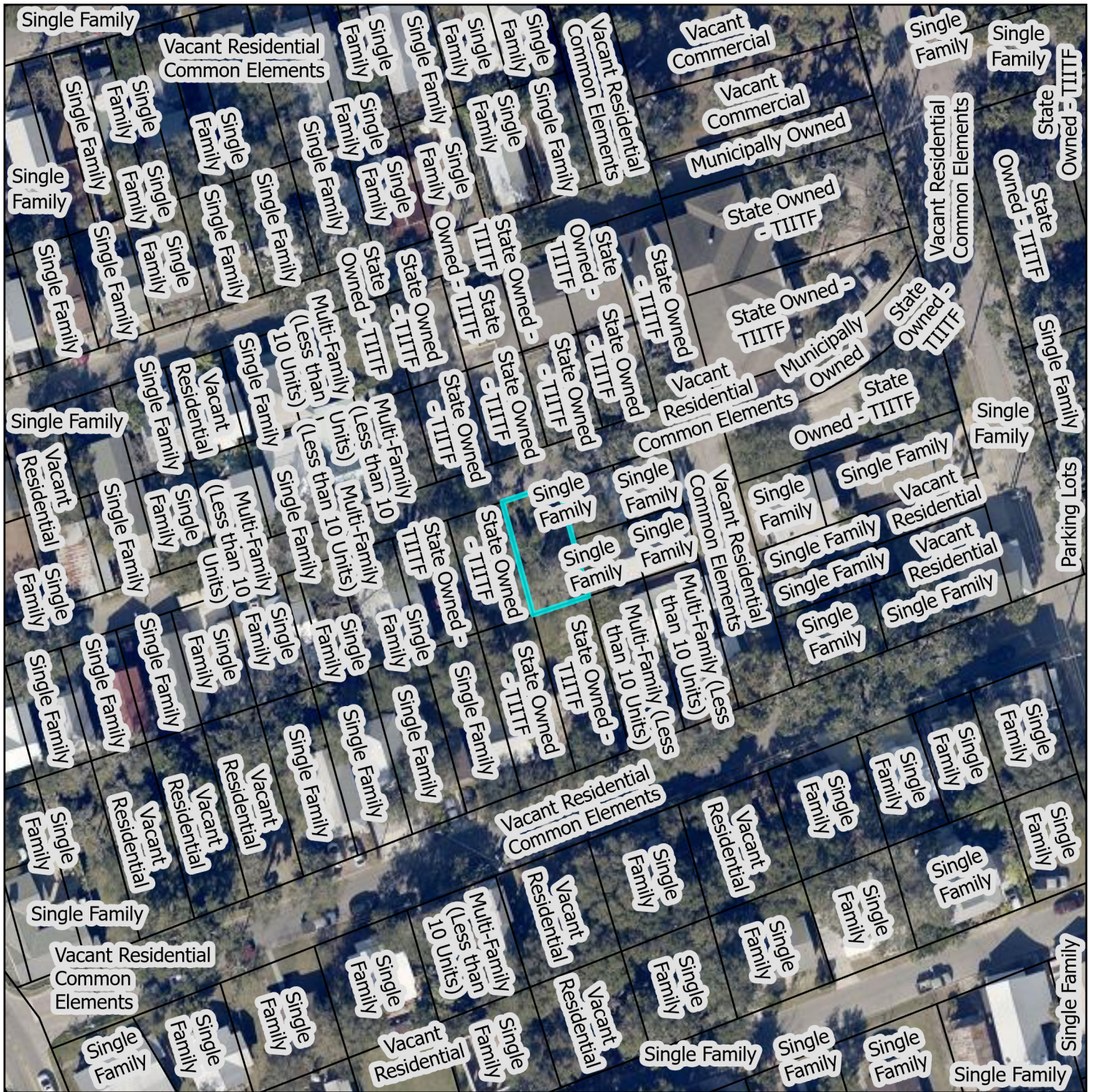
City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

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2025



Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



St. Johns County Property Appraiser Use Classification Map



City of St. Augustine
Planning, Zoning, & Building Department
P.O. Box 210, St. Augustine, FL 32085
Phone: (904) 825-1065

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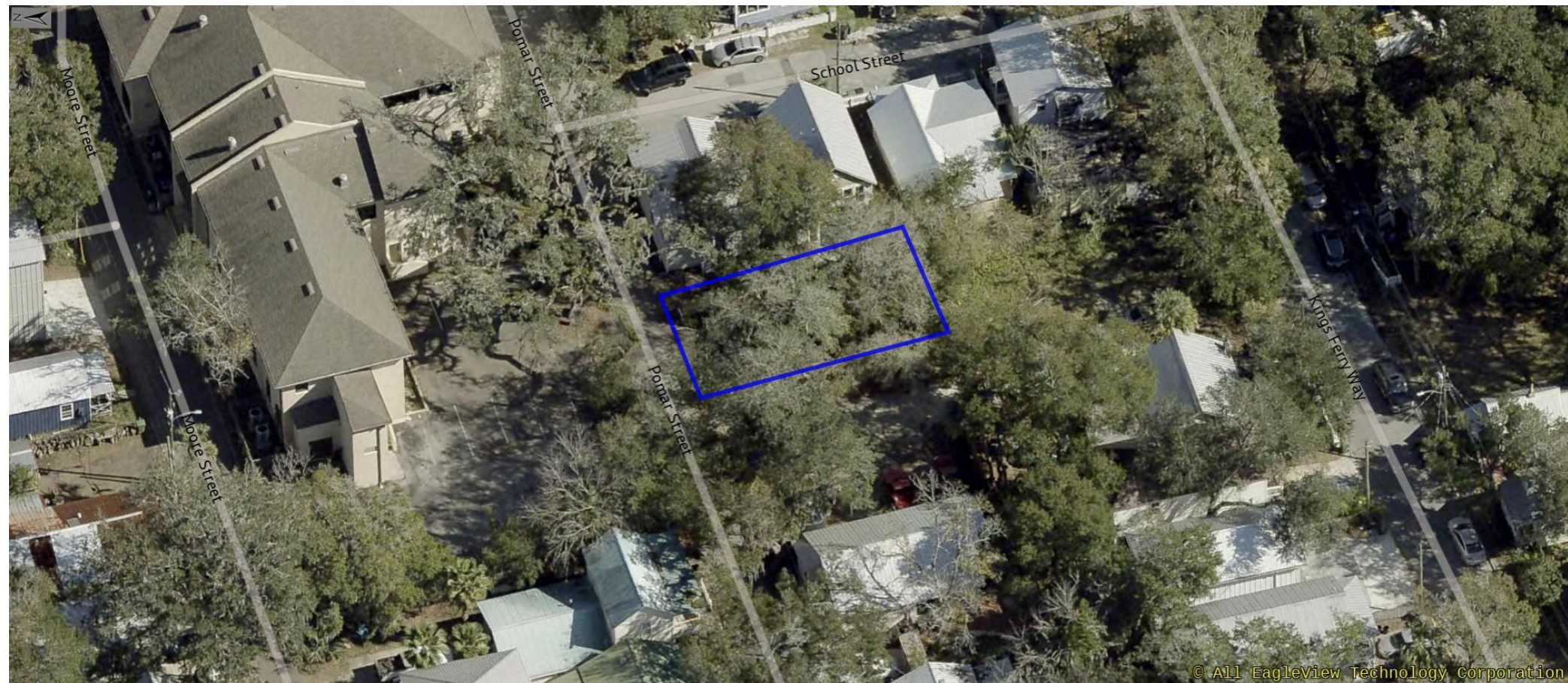
2025

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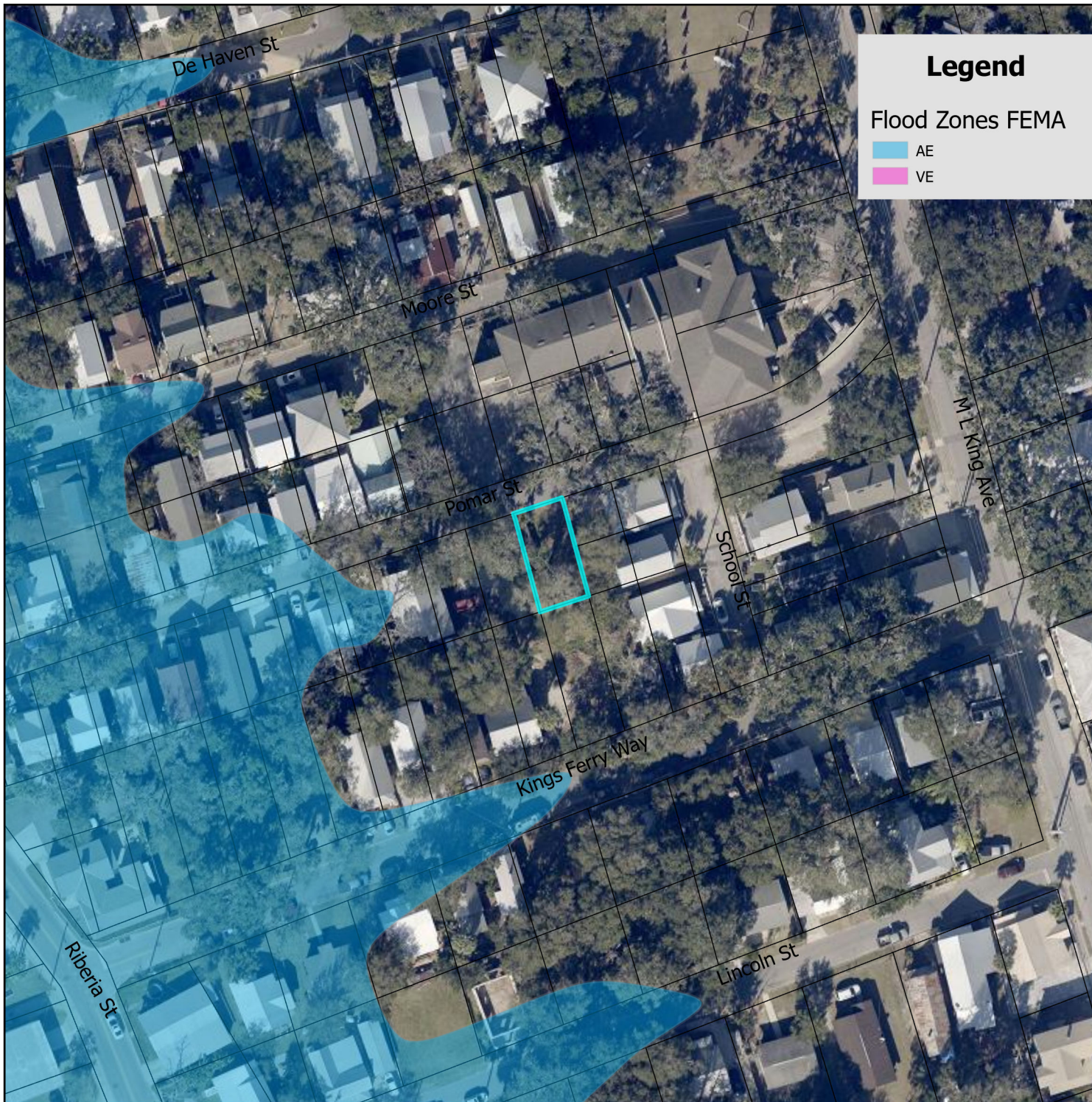
0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

Pomar Street / PID 208750-0030



12/18/2022



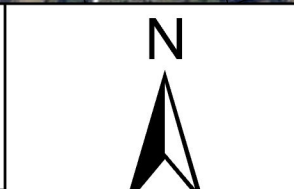
Legend

Flood Zones FEMA

- AE
- VE



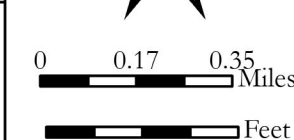
FEMA Flood Zone Map



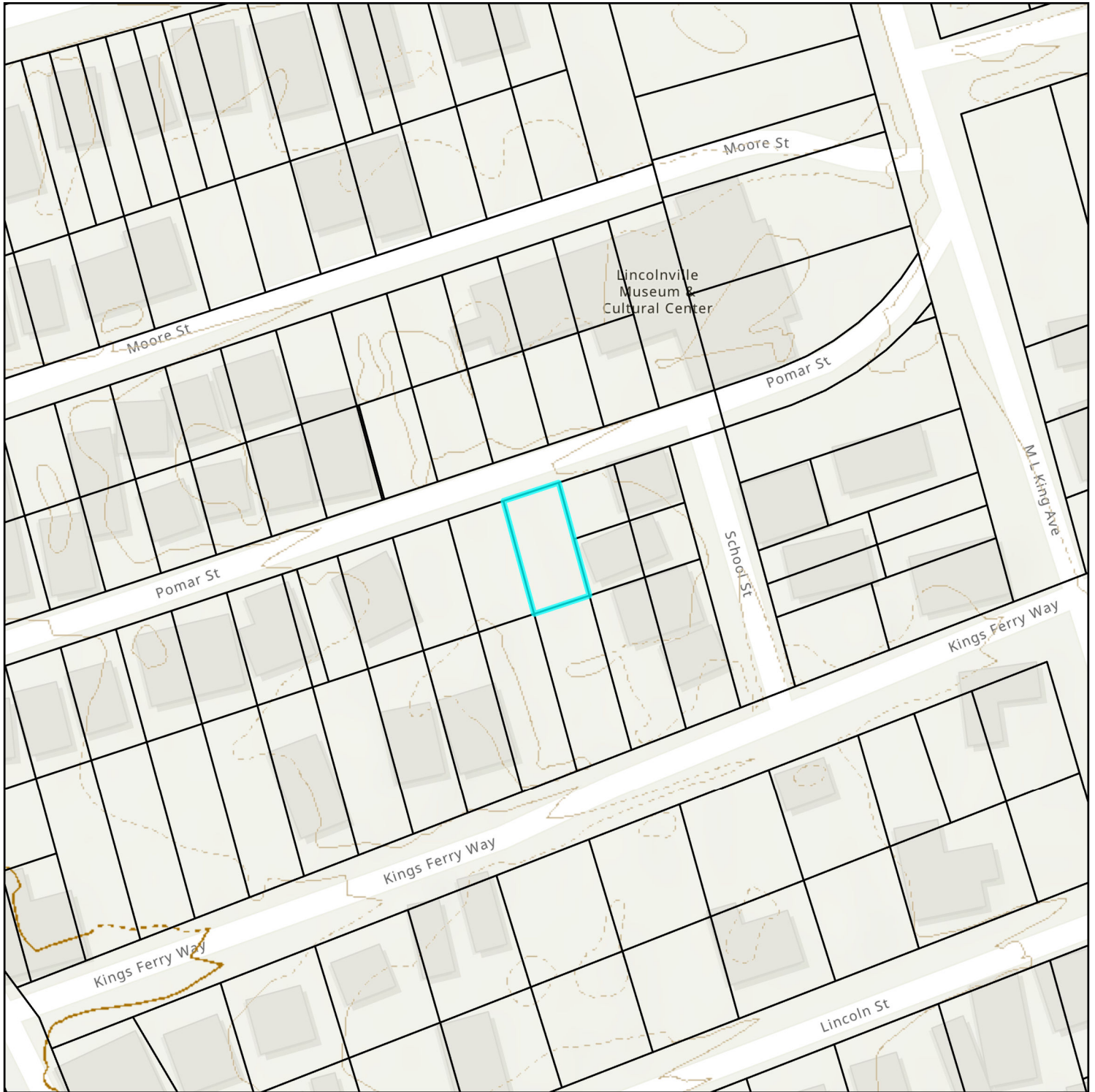
City of St. Augustine
 Planning, Zoning, & Building Department
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2025



Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Elevation Map

City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
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2025



0 0.01 0.01 Miles

0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

Attachment 2: Application



CITY OF ST AUGUSTINE
APPLICATION TO PLANNING AND ZONING BOARD

Application Fee: _____ (plus advertising costs) Project Number: _____
 Receipt Number: _____ Meeting Date: _____
 Advertising Costs: \$ _____ Paid On: _____ Receipt Number: _____

1. NAME OF APPLICANT: GEORGE COSTIN Contact Number: 718-304-3801

Business (if applicable): _____
 Address: 2006 UTAH AVE #2 City: JACKSONVILLE State: FL Zip: 32207
 E-Mail Address: gcostin36@yahoo.com

2. NAME OF PROPERTY OWNER: GEORGE COSTIN Contact Number: 718-304-3801

Business (if applicable): _____
 Address: 2006 UTAH AVE #2 City: JACKSONVILLE State: FL Zip: 32207
 E-Mail Address: gcostin36@yahoo.com

3. LEGAL DESCRIPTION OF PROJECT PROPERTY:

Lot: 3 Block: C
 Subdivision: ATWOOD TRACT Parcel Number: 208750-0030

4. PROJECT STREET ADDRESS: OPOMAR ST ST AUGUSTINE, FL 32084

5. SPECIFIC PROPOSED USE: SINGLE FAMILY HOUSE

6. ACTION REQUESTED:

- Conservation Zone Development Appeal of Staff Determination
- Exception Land Use Plan Amendment
- Variance Rezoning
- Other: _____

7. DESCRIPTION OF ACTION REQUESTED: I request a variance to build a two-story family house with a setback of 10ft from property line, 15ft front from property line, and 4ft on each side of property line. The request is for 35ft x 22ft area to build a two story family house.

8. JUSTIFICATION FOR ACTION REQUESTED: The variance requested (35ft x 22ft) is going to be 15ft from front property line, 10ft from rear property line and 4ft from each side of all property line. The detailed project will not have any negative impacts in any structures that will be in the proximity of the new development.

9. IF APPLYING FOR A VARIANCE, PLEASE COMPLETE THE FOLLOWING AND EXPLAIN THE SITUATION FULLY ALONG WITH PROVIDING DOCUMENTATION:

- (a) Does the property because of size, shape, topography or other physical conditions, suffer singular disadvantage, which disadvantage does not apply to other properties in the vicinity: YES, the oddly shaped lot of this property, the lot's narrowness makes it hard to build a masswalled sized house (35ft x 22ft)
- (b) Can you establish that this disadvantage causes the owner to be unable to make reasonable use of the affected property: The property has an unique size (60ft x 30ft) and it will be challenging to build two-story family house
- (c) Can you establish that this disadvantage does not exist because of conditions created by the owner or applicant: Please see the attached survey. The property has an unique aspect of the lot, user conforming lot with limited buildable area
- (d) Can you establish that granting of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this Section: The requested variance is the absolute minimum deviance from the 35% coverage limit. The setbacks, front and side will not change the residential nature of neighborhood. It will not block the neighbor's view or sunlight. The new house design will be in harmony with the neighborhood's character.

10. PREVIOUS APPLICATIONS:

Has any application been submitted to the Planning & Zoning Board concerning any part of the subject property within the past year?

Yes No If yes, please give date and final disposition below.

11. AGREEMENT:

In filing this application, I understand that it becomes a part of Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

Application must be signed by both applicant and property owner if different. Letter of authorization must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of either property owner or applicant.

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

IMPORTANT NOTICE: When the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the Board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the Board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the Code.

[Signature]
Signature of Applicant

09/01/2025
Date

[Signature]
Signature of Property Owner

09/01/2025
Date



**CITY OF ST. AUGUSTINE
DEVELOPMENT PERMIT APPLICANT WAIVER**

The applicant acknowledges and agrees to waive the limitation of three requests for additional information by the City of St. Augustine, pursuant to Chapter 166.033, Florida Statutes.

The applicant acknowledges and agrees that the City offers weekly Friday Review development review meetings, as well as, department specific applicant meetings with its reviewing staff at any point in the application process to attempt to resolve outstanding issues. The applicant is responsible for scheduling any requested meetings with City staff directly.

The applicant acknowledges and agrees that if after three unresolved submittals the applicant elects to proceed with final approval or denial proceedings, the applicant must request so in writing to the City.

GEORGE COSTIN

Print name of applicant


Signature of applicant

09/01/2025
Date

PZB APPLICATION FEE SCHEDULE

Planning and Zoning Board fees are set by Resolution 2021-38 as follows:

Description of Work	Fee Amount
Rezoning: small scale	\$300.00 + ads & notices
Rezoning: large scale	\$1,000.00 + ads & notices
Land Use Plan Amendment: small scale	\$400.00 + ads & notices
Land Use Plan Amendment: large scale	\$1,400.00 + ads & notices
Planned Unit Development	\$400.00 or \$35.00/acre, whichever is greater, \$1,400 max + ads & notices
Zoning Variance	\$350.00 + ads & notices
Zoning Exception	\$250.00 + ads & notices
Conservation Overlay Zone Development	\$165.00 + ads & notices
Significant Tree Removal or Appeal of Tree Removal Permit Denial	\$165.00 + ads & notices
Appeal of Staff Determination	\$200.00 + ads & notices
Application to Amend Zoning Code	\$600.00 + ads & notices
Subdivision Plat Review	\$275.00 + ads, notices & additional associated costs

"Note: The cost of newspaper advertisement and all notices to surrounding property owners will be assessed by the city, paid by the city and reimbursed by the applicant. All advertising costs must be paid prior to issuance of a development permit.

The applicant shall reimburse the City the mailing cost for all notices and for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing."

If a Credit Card Authorization Form is used for the payment of fees, the City will maintain the form and automatically charge additional advertising and noticing fees, once determined, to the credit-card account submitted.

By signing below, I acknowledge responsibility for both the initial application fee and any subsequent costs associated with legal advertising and/or noticing and understand that permits associated with my application may not be issued until such fees are paid.

I authorize the Planning and Building Department to maintain my payment information until a final cost for advertising and/or noticing is determined and charged. If a payment method other than Credit Card Authorization Form is used, I understand that I will be sent an invoice for the costs of advertising/noticing which must be paid prior to the issuance of any development permit related to my application. I am aware that I can request a copy of these fees and my receipt from Building Department Staff.

Project Address: 0 POMAR ST

Applicant's Name: GEORGE COSTIN Applicant's Signature: [Signature]

Owner's Name: GEORGE COSTIN Owner's Signature: [Signature]

Attachment 3:
St. Johns County Property Appraiser
Report

St. Johns County, FL

Apply for Exemptions

Apply for Exemptions

Homestead Compliance

This form is not a Homestead Exemption application. To apply online for homestead and related exemptions, please click [here](#).

Homestead Compliance

Sales Questionnaire Form

If you are a new owner of this property, please click here to submit a Sales Questionnaire

Sales Questionnaire

2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID	2087500030
Location Address	POMAR ST SAINT AUGUSTINE 32084-0000
Neighborhood	Atwood Tract (626)
Tax Description*	1-86 ATWOOD TR CITY LOT 3 BLK C OR5859/1865 <i>*The Description above is not to be used on legal documents.</i>
Property Use Code	Vacant Residential (0000)
Subdivision	Atwood Tract, Buenaesperanza A Diagram O
Sec/Twp/Rng	19-7-30
District	City of St Augustine (District 452)
Millage Rate	18.72
Acreage	0.040
Homestead	N

[Click Here to Open Cyclomedia Viewer in a New Tab](#)



Owner Information

Owner Name	Costin George 100%
Mailing Address	2006 UTAH AVE APT 2 JACKSONVILLE, FL 32207-0000

Map



Valuation Information

Assessed Year	2025
Building Value	\$0.00
Extra Features Value	\$0.00
Total Land Value	\$106,500.00
Agricultural (Assessed) Value	\$0.00
Agricultural (Market) Value	\$0.00
Just Market	\$106,500.00
Total Deferred	\$0.00
Assessed Value	\$106,500.00
Total Exemptions	
Taxable Value	\$106,500.00

Values listed are from our working tax roll and are subject to change. Exemption and taxable values shown reflect County-level assessment.

Historical Assessment Information

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value
2024	0	0	106500	0
2023	0	0	85200	0
2022	0	0	0	0

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Vacant Residential	30	60	30	EF	\$106,500

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
11/20/2023	11/20/2023	\$175,000.00	WARRANTY DEED	5859	1865	Q	V	POMAR STREET LLC	COSTIN GEORGE
8/26/2022	8/19/2022	\$100.00	WARRANTY DEED	5622	1542	U	V	163 SCHOOL STREET LLC	POMAR STREET LLC

No data available for the following modules: Exemption Information, Building Information, Sketch Information, Extra Feature Information.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.
[User Privacy Policy](#) | [GDPR Privacy Notice](#)
 Last Data Upload: 9/8/2025, 2:30:21 AM

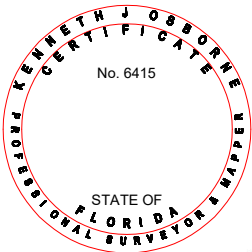
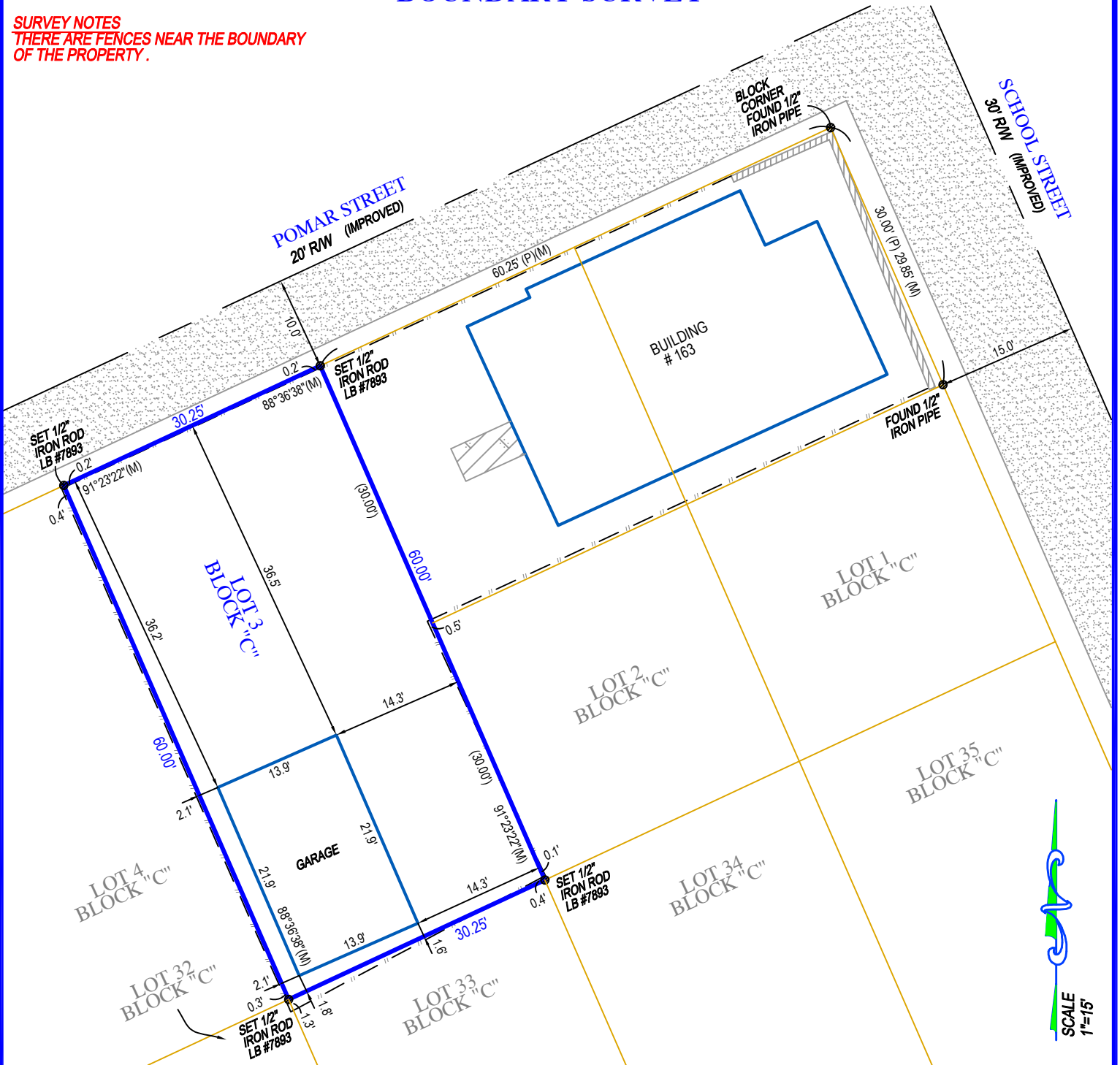
Contact Us



Attachment 4: Survey

BOUNDARY SURVEY

SURVEY NOTES
 THERE ARE FENCES NEAR THE BOUNDARY
 OF THE PROPERTY .



SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL, OR A RAISED EMBOSSED SEAL AND SIGNATURE.

(SIGNED) *Kenneth J. Osborne*

KENNETH J OSBORNE
 PROFESSIONAL SURVEYOR AND MAPPER #6415

PAGE 2 OF 2 PAGES
 (NOT COMPLETE WITHOUT PAGE 1)

TARGET SURVEYING, LLC
 LB #7893
 SERVING FLORIDA

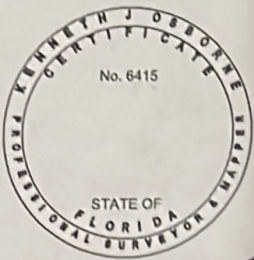
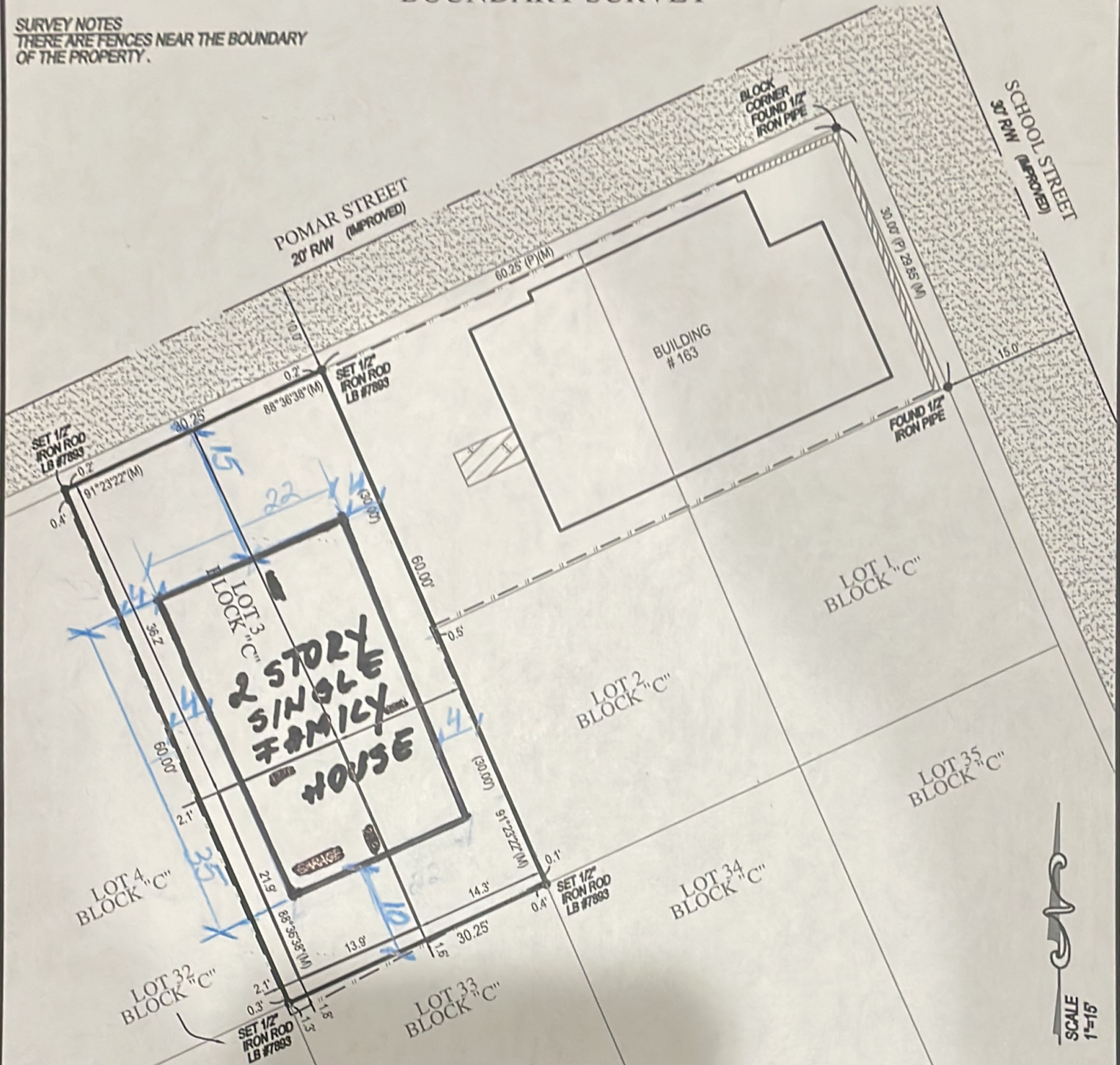
6250 N. MILITARY TRAIL, SUITE 102
 WEST PALM BEACH, FL 33407
 PHONE (561) 640-4800
 STATEWIDE PHONE (800) 226-4807
 STATEWIDE FACSIMILE (800) 741-0576
 WEBSITE: <http://targetsurveying.net>



**Attachment 5:
Proposed Site Plan**

BOUNDARY SURVEY

SURVEY NOTES
THERE ARE FENCES NEAR THE BOUNDARY OF THE PROPERTY.



SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL, OR A RAISED EMBOSSED SEAL AND SIGNATURE.

Kenneth Osborne

(SIGNED) KENNETH J OSBORNE
PROFESSIONAL SURVEYOR AND MAPPER #6415

Kenneth Osborne

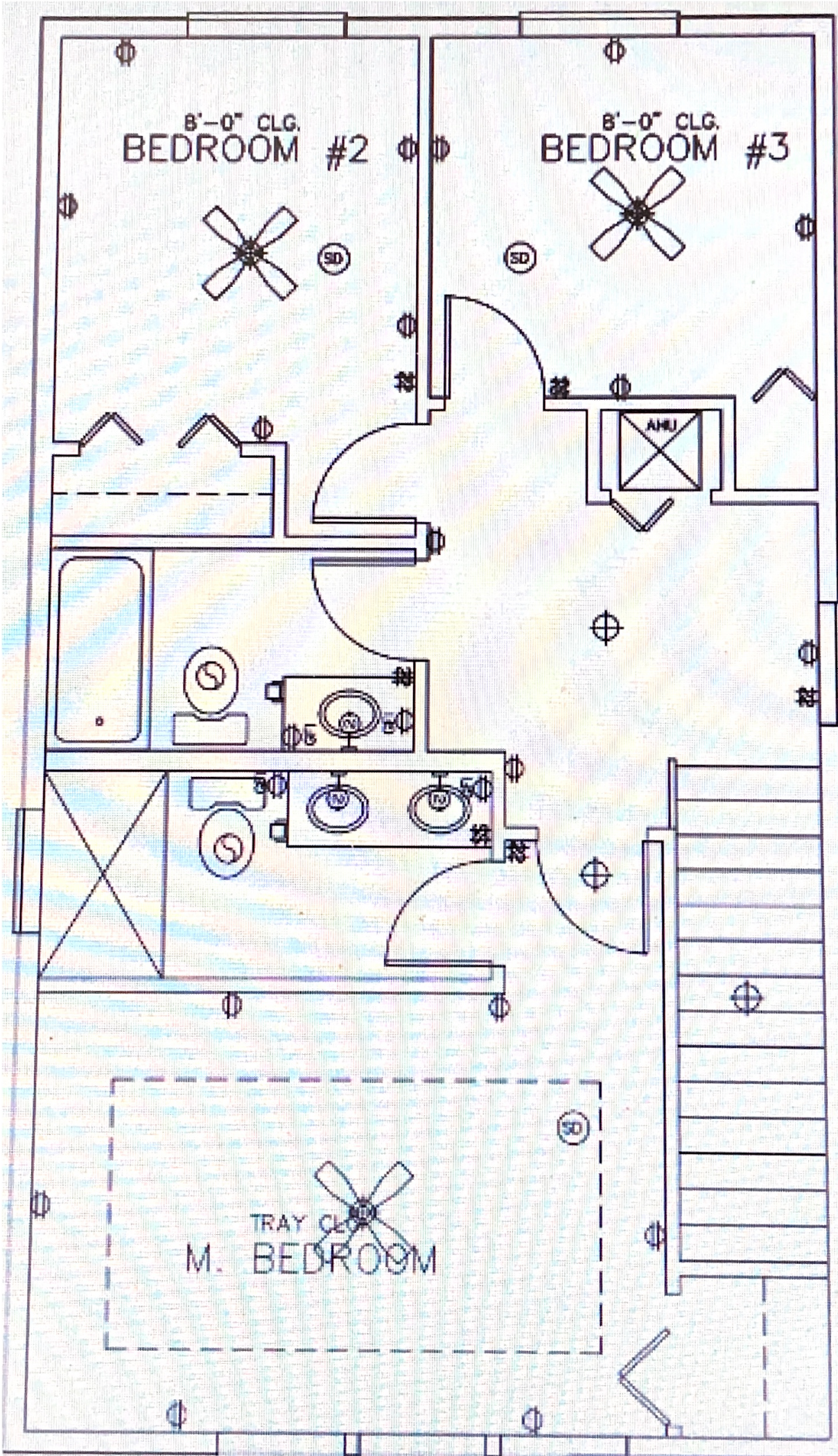
Digitally signed by Kenneth Osborne
Date: 2022.03.21 10:04:14 -04'00'

PAGE 2 OF 2 PAGES
(NOT COMPLETE WITHOUT PAGE 1)



TARGET SURVEYING, LLC
LB #7893
SERVING FLORIDA
6250 N. MILITARY TRAIL, SUITE 102
WEST PALM BEACH, FL 33407
PHONE (561) 640-4800
STATEWIDE PHONE (800) 226-4807
STATEWIDE FACSIMILE (800) 741-0576
WEBSITE: <http://targetsurveying.net>

Attachment 6:
Proposed Floor Plans





Planning and Zoning Board

Planning Division Staff Report
 Planning and Building Department

Public Hearing Date	Agenda Item	Application Number
October 7, 2025	6.c.	PZB2025-0073
Request	Address	Parcel ID
Variance	168 Dr. Martin Luther King Jr. Avenue	212120-0000

Site & Background Information

Applicant & Owner: Elizabeth K Merwin

Property Class:
 (St. Johns County Property Appraiser) 0100 – Single Family

Future Land Use Designation: [Residential Low Density](#)

Zoning Designation: [Residential Single-Family-Two \(RS-2\)](#)

Acreage: 0.11

Neighborhood: Lincolnville

Archaeological Zone: IIIA

Request Summary

This application is for variance requests to reduce the minimum front and side yard setback requirements for a non-conforming RS-2 lot at 168 Dr. Martin Luther King Jr. Avenue. The approval of this variance would allow for an after-the-fact approval of a carport.

	City of St. Augustine Land Development Regulations	Proposed Conditions at 168 Dr. Martin Luther King Jr. Avenue
Lot width	Minimum of fifty (50) feet	Approximately fifty (50) feet
Lot area	Minimum of one-eighth acre (5,450 square feet)	Approximately eleven-hundredths of an acre (5,098 square feet)
Lot coverage by all buildings	Maximum of thirty-five (35) percent	Thirty-five (35) percent
Impervious surface ratio	Maximum of seventy (70) percent	Thirty-seven (37) percent
Front yard setback	Minimum of fifteen (15) feet	Eight (8) feet seven (7) inches
Side yard(s) setback	Minimum of five (5) feet*	One (1) foot
Rear yard setback	Minimum of ten (10) feet	Ten (10) feet

*regulations for non-conforming RS-2 lots

Staff Analysis of Request and Applicable Sections from the City of St. Augustine's Code of Ordinances

Sec. 28-2. – Definitions.

Variance means a relaxation of the terms of this chapter where such variance will not be contrary to the public interest and where, owing to conditions peculiar to the property and not the result of the actions of the applicant, a literal enforcement of this chapter would result in unnecessary and undue hardship on the land. As used in this chapter, a variance is authorized only for height, area and size of structure or sides of yards and open spaces. Establishment or expansion of uses otherwise prohibited shall not be allowed by variance, nor shall a variance be granted because of the presence of nonconformities in the zoning district or uses in an adjoining zoning district. A modification to lot requirements so as to increase the permitted density of multifamily dwellings shall not be considered a variance and is specifically prohibited.

Yard, front, means a required yard extending between side lot lines across the front of a lot adjoining a public or private street. In the case of through lots, unless the prevailing front yard pattern on adjoining lots indicates otherwise, front yards shall be provided on all frontages. Where one (1) of the front yards that would normally be required on a through lot is not in keeping with the prevailing yard pattern, the building inspector may waive the requirement for the normal front yard and substitute therefor[e] a special yard requirement, which shall not exceed the average of the yards provided on adjacent lots. In the case of corner lots, a front yard of the required depth shall be provided on one (1) frontage and a front yard half the required depth shall be provided on the other. Depth of a required front yard shall be measured at right angles to a straight line joining the foremost points of the side lot lines. The foremost point of the side lot line, in the case of rounded property corners at street intersections,

shall be assumed to be the point at which the side and front lot lines would have met without such roundings. Front and rear yard lines shall be parallel. Where lots in residential districts comprising forty (40) percent or more of the frontage on one (1) side of a street between intersecting streets are developed with structures having an average front yard with a variation of not more than six (6) feet, no building thereafter erected shall project beyond the average line so established. This provision applies in all residential districts.

Yard, side, means a yard extending from the rear line of the required front yard to the rear lot line, or in the absence of any clearly defined rear lot line, to the point on the side lot line involved which is farthest from the intersection of such line with the public street. In the case of through lots, side yards shall extend from the rear lines of front yards required. In the case of corner lots, yards remaining after front yards have established on both frontages shall be considered side yards. Width of a required side yard shall be measured in such a manner that the yard established is a strip of the minimum width required by district regulations with its inner edge parallel with the side lot line.

Yard, required, means the open space between a lot line and the buildable area within which no structure shall be located except as provided in this chapter.

Sec. 28-29. – Zoning exceptions, variances and appeals.

The Planning and Zoning Board may grant a variance only under circumstances where practical difficulty or unnecessary hardship is so substantial, serious and compelling that relaxation of the general restrictions should be granted. No variance shall be granted unless the applicant shall show and the board shall find that:

- a. The particular property, because of size, shape, topography or other physical conditions, suffers singular disadvantage through the operation of this section, which disadvantage does not apply to other properties in the vicinity; and
The applicant identifies the size of this property as a disadvantage as it is a nonconforming lot of record and does not meet the minimum size requirement of RS-2 lots. The existing driveway and a wall, which was constructed between 1917 and 1920, are physical conditions that cause disadvantages as they are located along the northern property line.
- b. Because of this disadvantage, the owner is unable to make reasonable use of the affected property; and
The applicant states that “it is not possible to put a carport anywhere else” and that the “only way to construct a carport without the variance would be to remove part of the wall and the fence.”
- c. This disadvantage does not exist because of conditions created by the owner or applicant; and
According to the St. Johns County Property Appraiser the existing home was built in 1920 meaning that the size of the property, location of the home, and location of the wall predate the current owner.
- d. Grant of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this section.
Granting this variance request may not be contrary to the public interest, may not adversely affect other properties in the vicinity.

Staff Recommendation

Based on a review of Sec. 28-29 staff finds that the Board may **APPROVE** as variance criteria are met for the variance request to reduce the front yard and side yard setback at 168 Dr. Martin Luther King Jr. Avenue / PID 212120-0000.

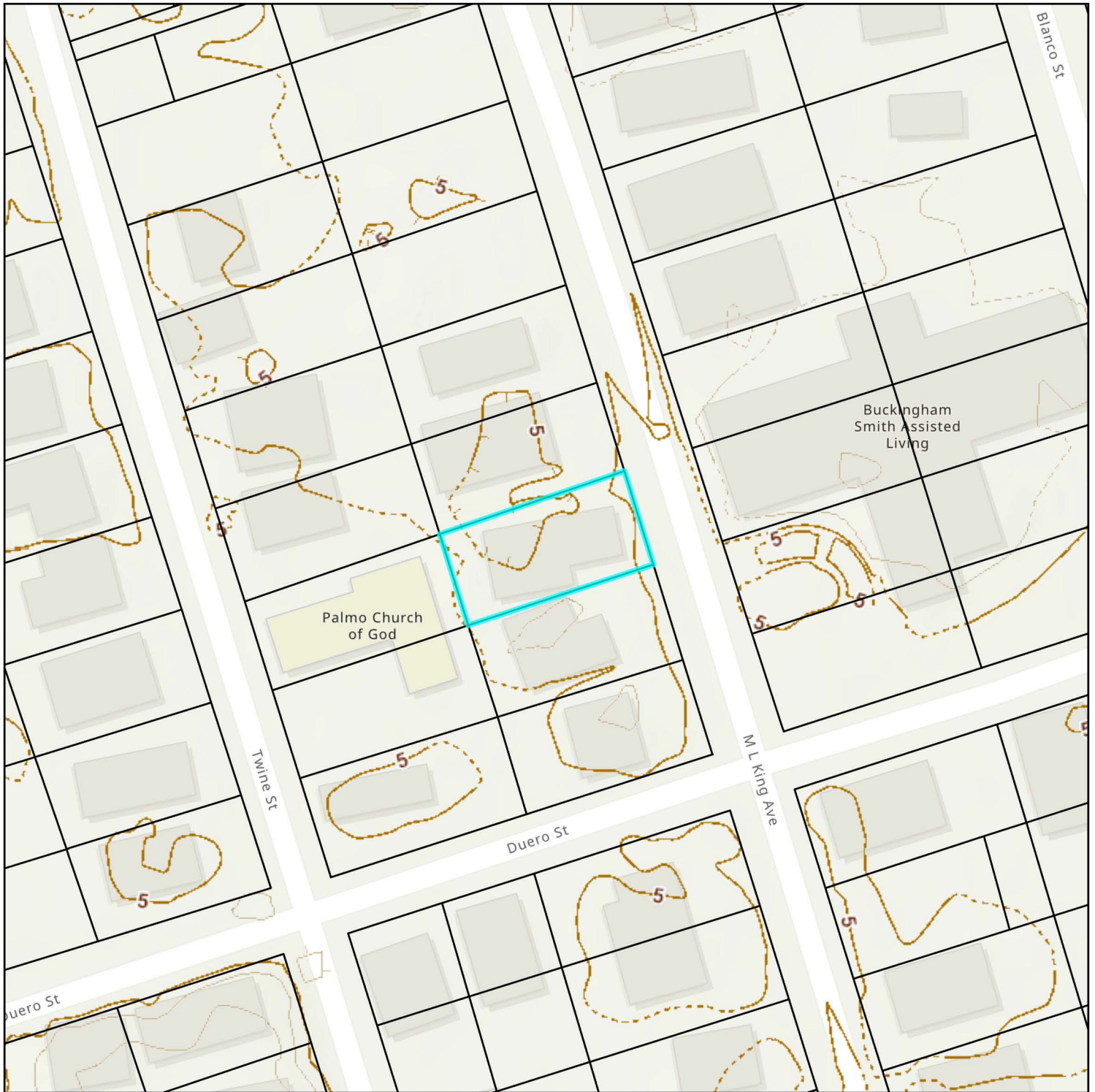
Attachments

1. Site Maps & Photos
2. Application
3. St. Johns County Property Appraiser Report
4. Site Plan

Staff Report prepared by:

Sarah Daugherty
Senior Planner
Planning and Building Department

**Attachment 1:
Site Maps
and Photos**



Elevation Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
 This map is for reference only. Data provided are derived from multiple sources with varying levels of accuracy. The City of St. Augustine disclaims all responsibility for the accuracy or completeness of the data shown hereon.

2025

0 0.01 0.01 Miles

0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



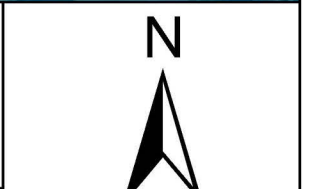
Legend

Flood Zones FEMA

- AE
- VE



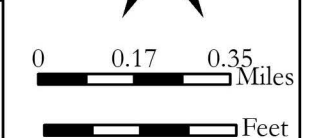
FEMA Flood Zone Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

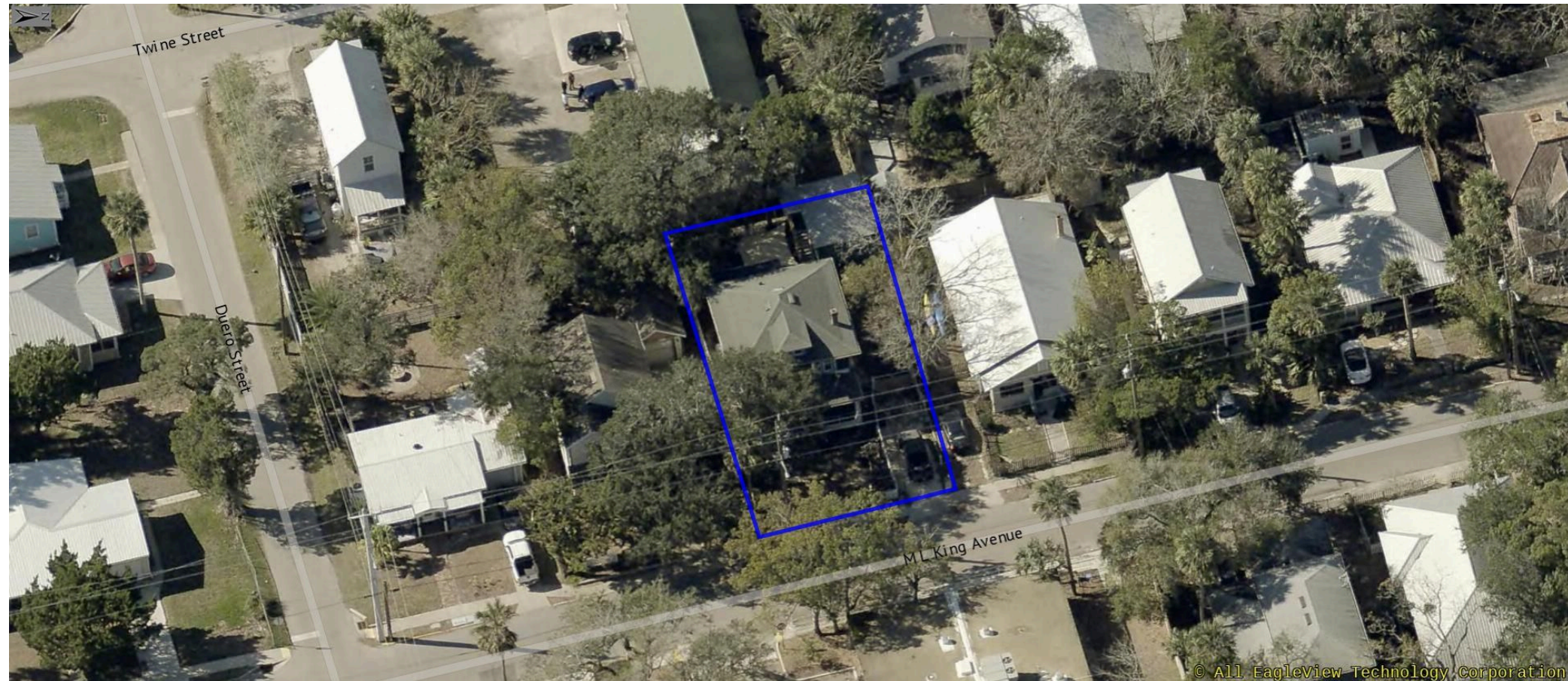
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2025

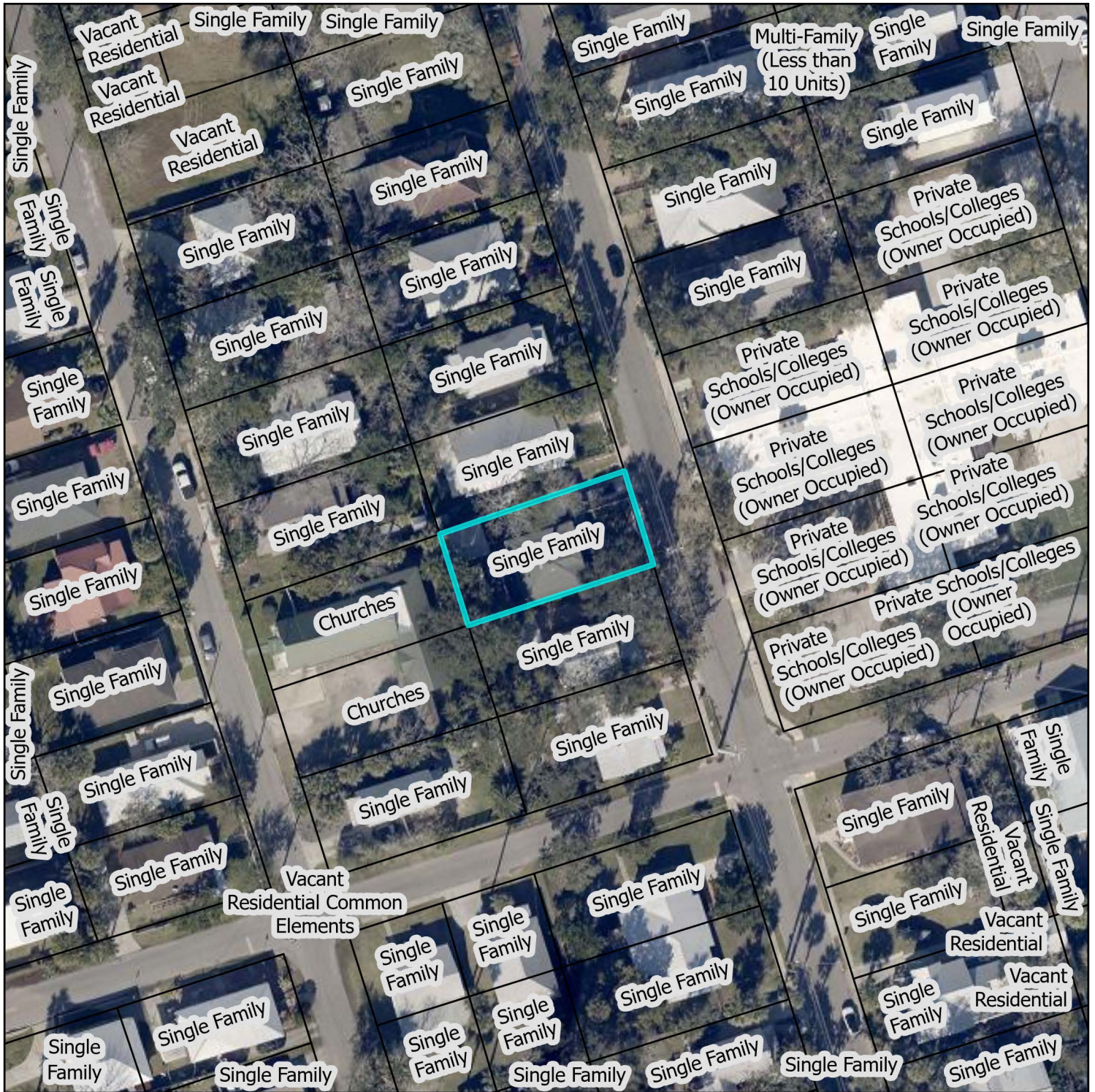


Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

168 Dr. Martin Luther King Jr. Avenue



12/18/2022



St. Johns County Property Appraiser Use Classification Map



City of St. Augustine
Planning, Zoning, & Building Department
P.O. Box 210, St. Augustine, FL 32085
Phone: (904) 825-1065

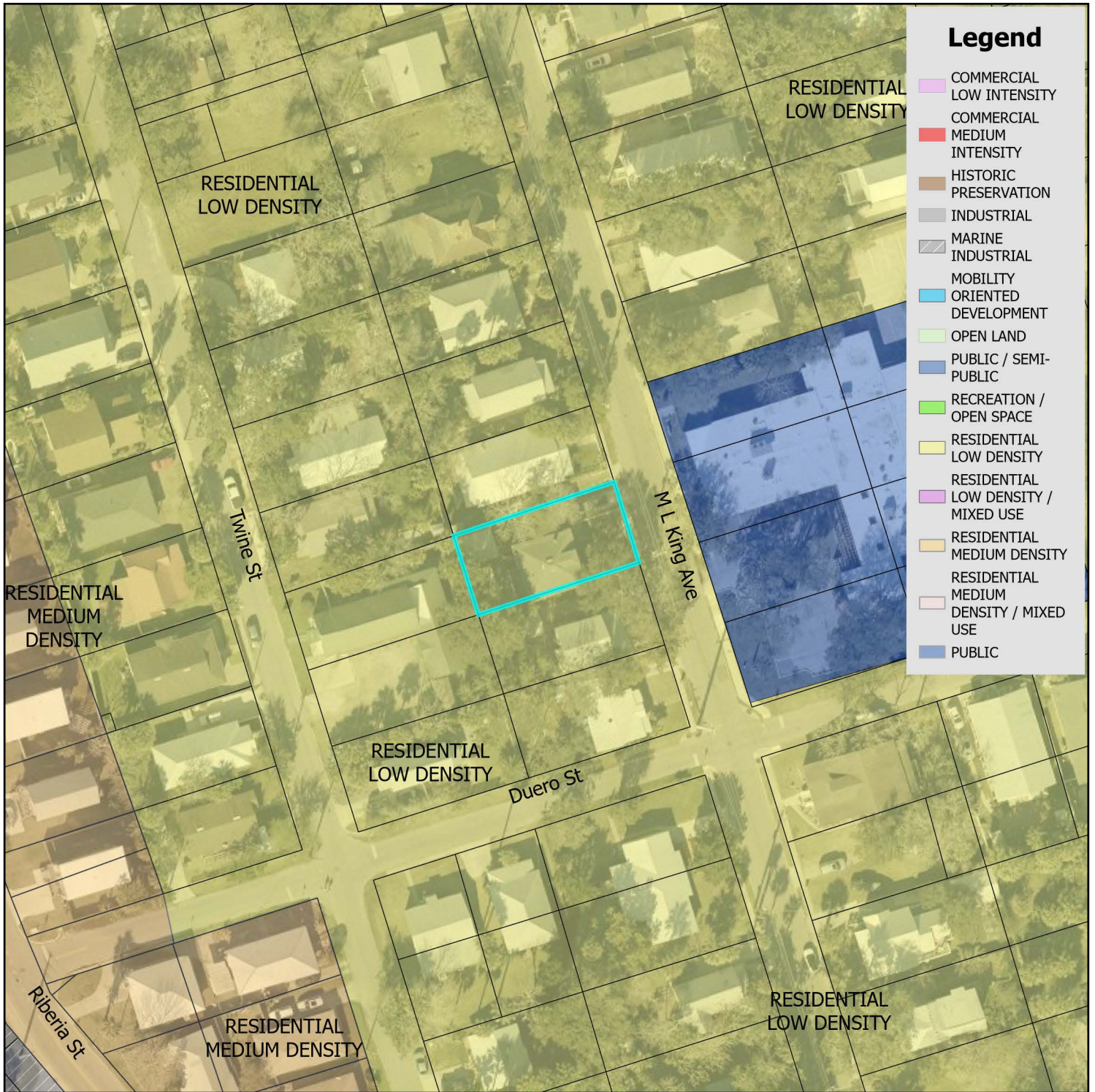
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2025

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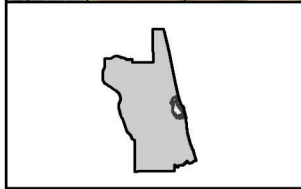
0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Legend

- COMMERCIAL LOW INTENSITY
- COMMERCIAL MEDIUM INTENSITY
- HISTORIC PRESERVATION
- INDUSTRIAL
- MARINE INDUSTRIAL
- MOBILITY ORIENTED DEVELOPMENT
- OPEN LAND
- PUBLIC / SEMI-PUBLIC
- RECREATION / OPEN SPACE
- RESIDENTIAL LOW DENSITY
- RESIDENTIAL LOW DENSITY / MIXED USE
- RESIDENTIAL MEDIUM DENSITY
- RESIDENTIAL MEDIUM DENSITY / MIXED USE
- PUBLIC



Future Land Use Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

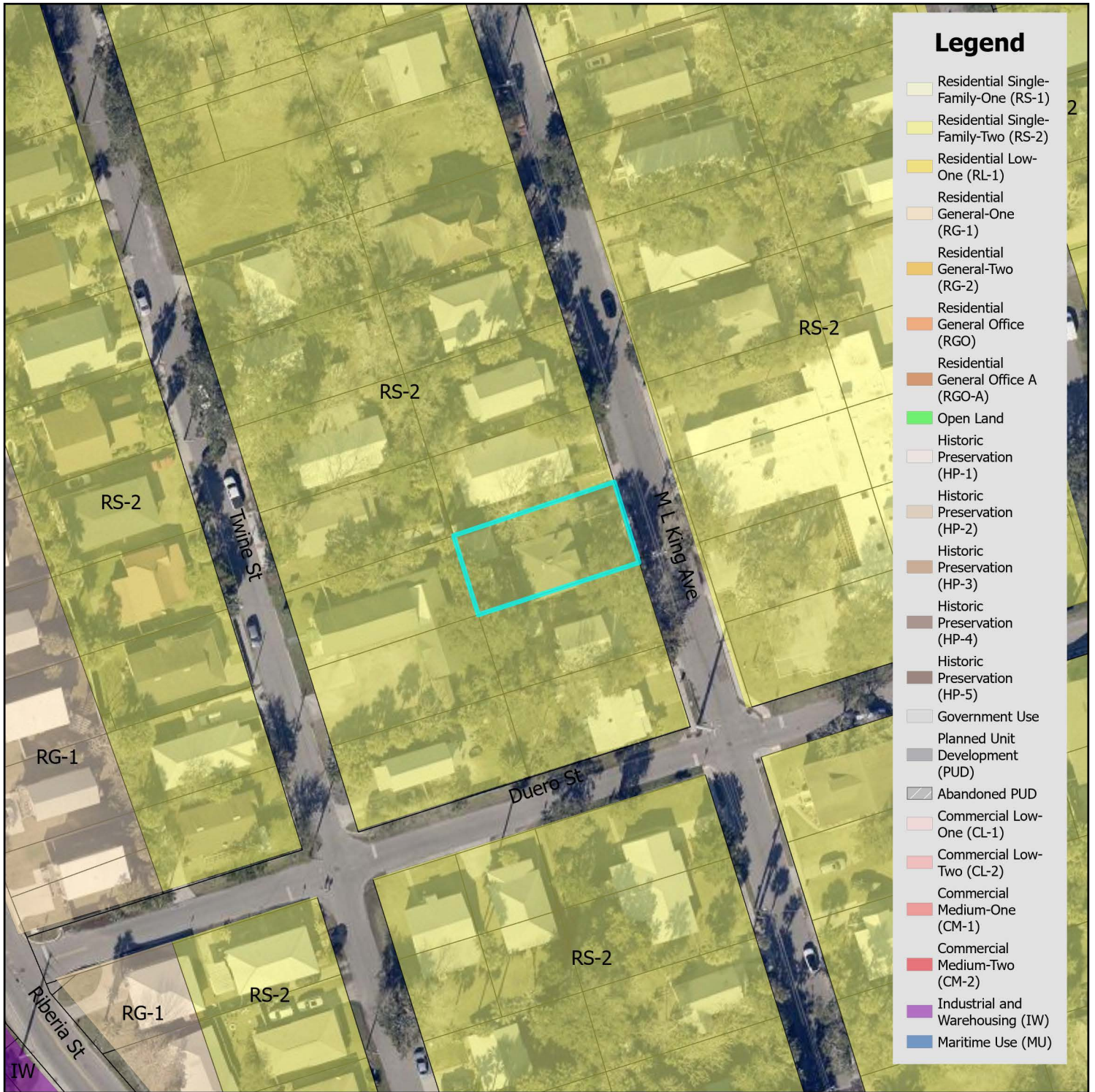
DISCLAIMER
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2025

0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Legend

- Residential Single-Family-One (RS-1)
- Residential Single-Family-Two (RS-2)
- Residential Low-One (RL-1)
- Residential General-One (RG-1)
- Residential General-Two (RG-2)
- Residential General Office (RGO)
- Residential General Office A (RGO-A)
- Open Land
- Historic Preservation (HP-1)
- Historic Preservation (HP-2)
- Historic Preservation (HP-3)
- Historic Preservation (HP-4)
- Historic Preservation (HP-5)
- Government Use
- Planned Unit Development (PUD)
- Abandoned PUD
- Commercial Low-One (CL-1)
- Commercial Low-Two (CL-2)
- Commercial Medium-One (CM-1)
- Commercial Medium-Two (CM-2)
- Industrial and Warehousing (IW)
- Maritime Use (MU)



Zoning Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
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2025

0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

Attachment 2: Application

Greetings members of the board,


August 26, 2025

I am writing to request a variance for the construction of a 12x20 freestanding carport at 168 Martin Luther King Avenue, St. Augustine, Florida. This is a non-conforming, Residential, single-family-two: RS-2 residence located in Lincolnville. The total lot size is 5,098 square feet, with an impervious surface ratio of 0.42.

The proposed carport sits outside of the fenced yard and covers the existing driveway. The driveway is gravel over grass. The area of the driveway is thirteen feet wide and borders the adjacent driveway at 166 Martin Luther King Avenue. I also own the property at 166 Martin Luther King Avenue.

I am requesting this size carport based on the average size of a vehicle. My current vehicle is a Jeep Gladiator, which measures over six feet wide with the doors closed and almost 10 feet wide if the doors are open. It is 18.8 feet long.

The carport is constructed of six 4x4x8 pressure treated posts and two 4x6 pressure treated posts. It has a 12 1/4 inch gabled roof with 8 ft Corrugated Galvanized Steel 31—Gauge roofing panels. All roof joists are secured with hurricane straps at the frame and 2x4 hangers at the beam. Additional brackets are placed at each corner of the frame as well as at the three support posts. To mitigate the effects of water run-off on the adjacent property I will install gutters along that side.

ELIZABETH K. MERWIN




**CITY OF ST AUGUSTINE
APPLICATION TO PLANNING AND ZONING BOARD**

Application Fee: _____ (plus advertising costs) Project Number: _____
 Receipt Number: _____ Meeting Date: _____
 Advertising Costs: \$ _____ Paid On: _____ Receipt Number: _____

1. NAME OF APPLICANT: Elizabeth K Merwin Contact Number: 904-263-6221
 Business (if applicable): _____
 Address: 168 M L King Ave City: St Augustine State: FL Zip: 32084
 E-Mail Address: ekmerwin@gmail.com

2. NAME OF PROPERTY OWNER: Elizabeth K Merwin Contact Number: 904-263-6221
 Business (if applicable): _____
 Address: 168 M L King Ave City: St Augustine State: FL Zip: 32084
 E-Mail Address: ekmerwin@gmail.com

3. LEGAL DESCRIPTION OF PROJECT PROPERTY:
 Lot: 11 Block: 5
 Subdivision: Buena Esperanza Parcel Number: 2121200000

4. PROJECT STREET ADDRESS: 168 M L King Ave

5. SPECIFIC PROPOSED USE: Carport

6. ACTION REQUESTED:
 Conservation Zone Development Appeal of Staff Determination
 Exception Land Use Plan Amendment
 Variance Rezoning
 Other: _____

7. DESCRIPTION OF ACTION REQUESTED: Request variance of front and side setbacks on a non-conforming, Residential, single-family-two:RS-2 lot for the construction of a 12x20 foot carport. The area sits outside of the fenced yard and is directly adjacent to the residence at 166 M L King Ave. The area of the driveway is only 13 feet wide. I also own the residence at 166 M L King Ave. To mitigate water runoff into the adjacent yard I will install gutters along the side of the driveway that borders 166 M L King Ave.

8. JUSTIFICATION FOR ACTION REQUESTED: The average size of a vehicle ranges from 4-6 feet wide and 14-16 feet long. My current vehicle is a Jeep Gladiator, which measures six feet wide with the doors closed and about 10 feet wide with the doors open. It is 18.8 feet long.

9. IF APPLYING FOR A VARIANCE, PLEASE COMPLETE THE FOLLOWING AND EXPLAIN THE SITUATION FULLY ALONG WITH PROVIDING DOCUMENTATION:

(a) Does the property because of size, shape, topography or other physical conditions, suffer singular disadvantage, which disadvantage does not apply to other properties in the vicinity: It appears many of the

lots in Lincolnville are non-conforming lots. The driveway of my lot sits directly on the property line with the driveway at 166 M L King

Ave.

(b) Can you establish that this disadvantage causes the owner to be unable to make reasonable use of the affected property: My lot is fenced around all areas except the driveway. It is not possible to put a carport anywhere else.

(c) Can you establish that this disadvantage does not exist because of conditions created by the owner or applicant: There is a concrete wall, which is part of the original property built between 1917 and 1920. The only way to construct a carport without the variance would be to remove part of the wall and the fence.

(d) Can you establish that granting of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this Section: There are a number of homes in Lincolnville with carports. The construction of a carport, even with the requested frontage variance, will not impeded visibility along M L King Ave. Many of my neighbors have expressed a disire for a carport and are awaiting my determination.

10. PREVIOUS APPPLICATIONS:

Has any application been submitted to the Planning & Zoning Board concerning any part of the subject property within the past year?

Yes No If yes, please give date and final disposition below.

11. AGREEMENT:

In filing this application, I understand that it becomes a part of Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

Application must be signed by both applicant and property owner if different. Letter of authorization must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of either property owner or applicant.

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

IMPORTANT NOTICE: When the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the Board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the Board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the Code.

Stephan K. Merwin
Signature of Applicant

09/03/2025
Date

Stephan K. Merwin
Signature of Property Owner

09/03/2025
Date



**CITY OF ST. AUGUSTINE
DEVELOPMENT PERMIT APPLICANT WAIVER**

The applicant acknowledges and agrees to waive the limitation of three requests for additional information by the City of St. Augustine, pursuant to Chapter 166.033, Florida Statutes.

The applicant acknowledges and agrees that the City offers weekly Friday Review development review meetings, as well as, department specific applicant meetings with its reviewing staff at any point in the application process to attempt to resolve outstanding issues. The applicant is responsible for scheduling any requested meetings with City staff directly.

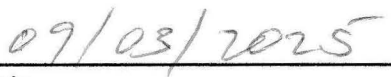
The applicant acknowledges and agrees that if after three unresolved submittals the applicant elects to proceed with final approval or denial proceedings, the applicant must request so in writing to the City.

Elizabeth K Merwin

Print name of applicant



Signature of applicant



Date

PZB APPLICATION FEE SCHEDULE

Planning and Zoning Board fees are set by Resolution 2021-38 as follows:

Description of Work	Fee Amount
Rezoning: small scale	\$300.00 + ads & notices
Rezoning: large scale	\$1,000.00 + ads & notices
Land Use Plan Amendment: small scale	\$400.00 + ads & notices
Land Use Plan Amendment: large scale	\$1,400.00 + ads & notices
Planned Unit Development	\$400.00 or \$35.00/acre, whichever is greater, \$1,400 max + ads & notices
Zoning Variance	\$350.00 + ads & notices
Zoning Exception	\$250.00 + ads & notices
Conservation Overlay Zone Development	\$165.00 + ads & notices
Significant Tree Removal or Appeal of Tree Removal Permit Denial	\$165.00 + ads & notices
Appeal of Staff Determination	\$200.00 + ads & notices
Application to Amend Zoning Code	\$600.00 + ads & notices
Subdivision Plat Review	\$275.00 + ads, notices & additional associated costs

“Note: The cost of newspaper advertisement and all notices to surrounding property owners will be assessed by the city, paid by the city and reimbursed by the applicant. All advertising costs must be paid prior to issuance of a development permit.

The applicant shall reimburse the City the mailing cost for all notices and for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing.”

If a Credit Card Authorization Form is used for the payment of fees, the City will maintain the form and automatically charge additional advertising and noticing fees, once determined, to the credit-card account submitted.

By signing below, I acknowledge responsibility for both the initial application fee and any subsequent costs associated with legal advertising and/or noticing and understand that permits associated with my application may not be issued until such fees are paid.

I authorize the Planning and Building Department to maintain my payment information until a final cost for advertising and/or noticing is determined and charged. If a payment method other than Credit Card Authorization Form is used, I understand that I will be sent an invoice for the costs of advertising/noticing which must be paid prior to the issuance of any development permit related to my application. I am aware that I can request a copy of these fees and my receipt from Building Department Staff.

168 M L King Ave, St. Augustine, FL 32084

Project Address: _____

Elizabeth K Merwin

Applicant’s Name: _____

Elizabeth K Merwin

Applicant’s Signature: 

Owner’s Name: _____

Owner’s Signature: 

**Attachment 3:
St. Johns County
Property Appraiser
Report**

St. Johns County, FL

Apply for Exemptions

Apply for Exemptions

Homestead Compliance

This form is not a Homestead Exemption application. To apply online for homestead and related exemptions, please click [here](#).

Homestead Compliance

Sales Questionnaire Form

If you are a new owner of this property, please click here to submit a Sales Questionnaire

Sales Questionnaire

2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID 2121200000
 Location Address 168 MARTIN LUTHER KING AVE
 SAINT AUGUSTINE 32084-0000
 Neighborhood Buena Esperanza (624)
 Tax Description* BUENA ESPERANZA SUB CITY LOT 11 BLK 5 OR3690/737 &
 5896/1805(L/E)
 *The Description above is not to be used on legal documents.
 Property Use Single Family (0100)
 Code
 Subdivision Buena Esperanza Subdivision
 Sec/Twp/Rng 19-7-30
 District City of St Augustine (District 452)
 Millage Rate 18.72
 Acreage 0.110
 Homestead Y

[Click Here to Open Cyclomedia Viewer in a New Tab](#)



Owner Information

Owner Name Merwin Elizabeth Kathleen 100%
 Holland Kaline Loye 0%
 Mailing Address 168 MARTIN LUTHER KING AVE
 SAINT AUGUSTINE, FL 32084-0000

Exemption Information

Exemption Type	Status	Amount
Tot/Perm DV		224181
Homestead Band		0
Homestead		0
Veteran		0

Map



Valuation Information

Assessed Year	2025
Building Value	\$269,725.00
Extra Features Value	\$6,993.00
Total Land Value	\$182,000.00
Agricultural (Assessed) Value	\$0.00
Agricultural (Market) Value	\$0.00
Just Market	\$458,718.00
Total Deferred	\$234,537.00
Assessed Value	\$224,181.00
Total Exemptions	\$224,181.00
Taxable Value	\$0.00

Values listed are from our working tax roll and are subject to change. Exemption and taxable values shown reflect County-level assessment.

Historical Assessment Information

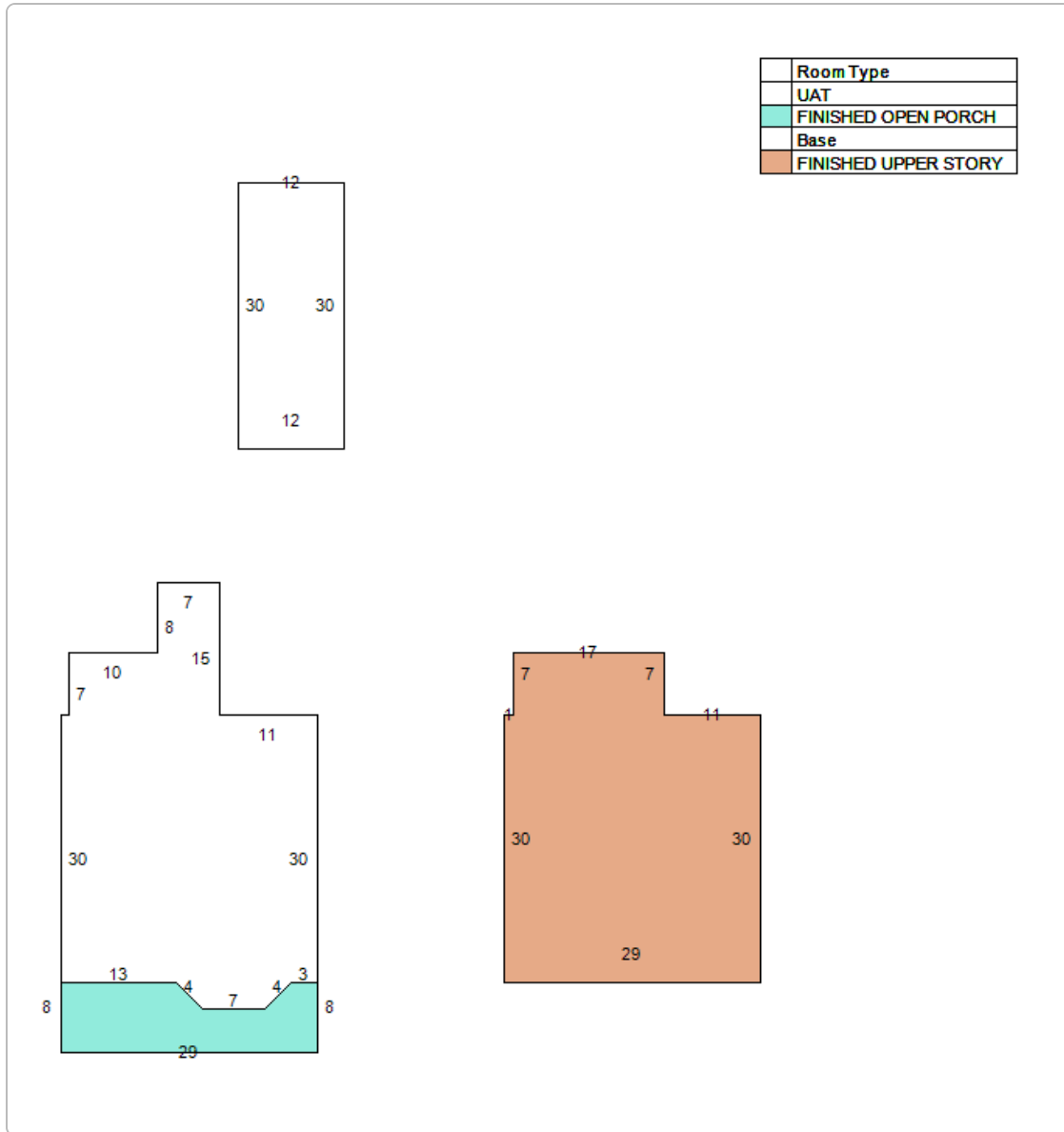
Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value
2024	261244	7182	182000	0
2023	292384	7371	182000	0
2022	205802	3276	173264	0
2021	150997	3276	147875	0
2020	149282	3276	118300	0
2019	135408	3276	118300	0
2018	134641	3276	109200	0
2017	138544	3385	98280	0
2016	140495	3481	85312	0
2015	144398	3578	68250	0
2014	115256	3674	54600	0

Building Information

Building	1	Roof Cover	Composite Shingle
Building Value	\$269,725	Roof Structure	Gable Hip
Year Built	1920	Interior Flooring	Pine Wood, Ceramic Tile
Actual Area	2626	Interior Wall	Drywall
Conditioned Area	2064	Heating Type	Air Duct
Use	Single Family Residence	Air Conditioning	Central
Style	01	Bedrooms	3
Exterior Wall	Wood, Wood Shingle	Baths	1.5

Description	Square Footage
FINISHED UPPER STORY	989
BASE AREA	1075
FINISHED OPEN PORCH	202
UNFINISHED ATTIC	360
Total SqFt	2626

Sketch Information



Extra Feature Information

Code Description	Status	Value
Shop (Mix)		3108
Carport (Mix)		3885

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Single Family	50	100	50	EF	\$182,000

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
2/7/2024	2/6/2024	\$100.00	WARRANTY DEED	5896	1805	U	I	MERWIN ELIZABETH KATHLEEN	MERWIN ELIZABETH KATHLEEN
2/22/2013	2/15/2013	\$192,500.00	WARRANTY DEED	3690	737	Q	I	LANIER SAMUEL	MERWIN ELIZABETH KATHLEEN
	1/8/2009	\$154,000.00	WARRANTY DEED	3157	1859	U	I	WELLS FARGO BANK NA TRUSTEE OPTION ONE LOAN TRUST	LANIER SAMUEL
	7/30/2008	\$100.00	CERTIFICATE OF TITLE	3109	1161	U	I	ELLIS MICHAEL P & LAUREN R BITTING-	WELLS FARGO BANK NA
	2/25/2005	\$320,000.00	WARRANTY DEED	2387	499	Q	I	CESSNA PHIL A & SANDRA D	ELLIS MICHAEL P & LAUREN R BITTING-
	10/31/2003	\$230,000.00	WARRANTY DEED	2081	1475	Q	I	GORDON-MILLS ROSALIE	CESSNA PHIL A & SANDRA D

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.

[User Privacy Policy](#) | [GDPR Privacy Notice](#)
 Last Data Upload: 9/8/2025, 10:04:34 AM

Contact Us

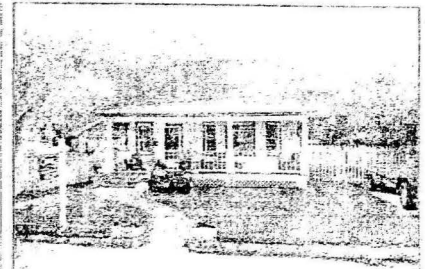
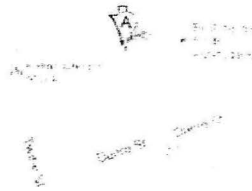


Attachment 4:
Site Plan

ORDERED BY:

FBC Mortgage LLC

Seymoine Schmidt • Mortgage Loan Officer • 904-614-0344
SSchmidt@FBCHomeLoans.com



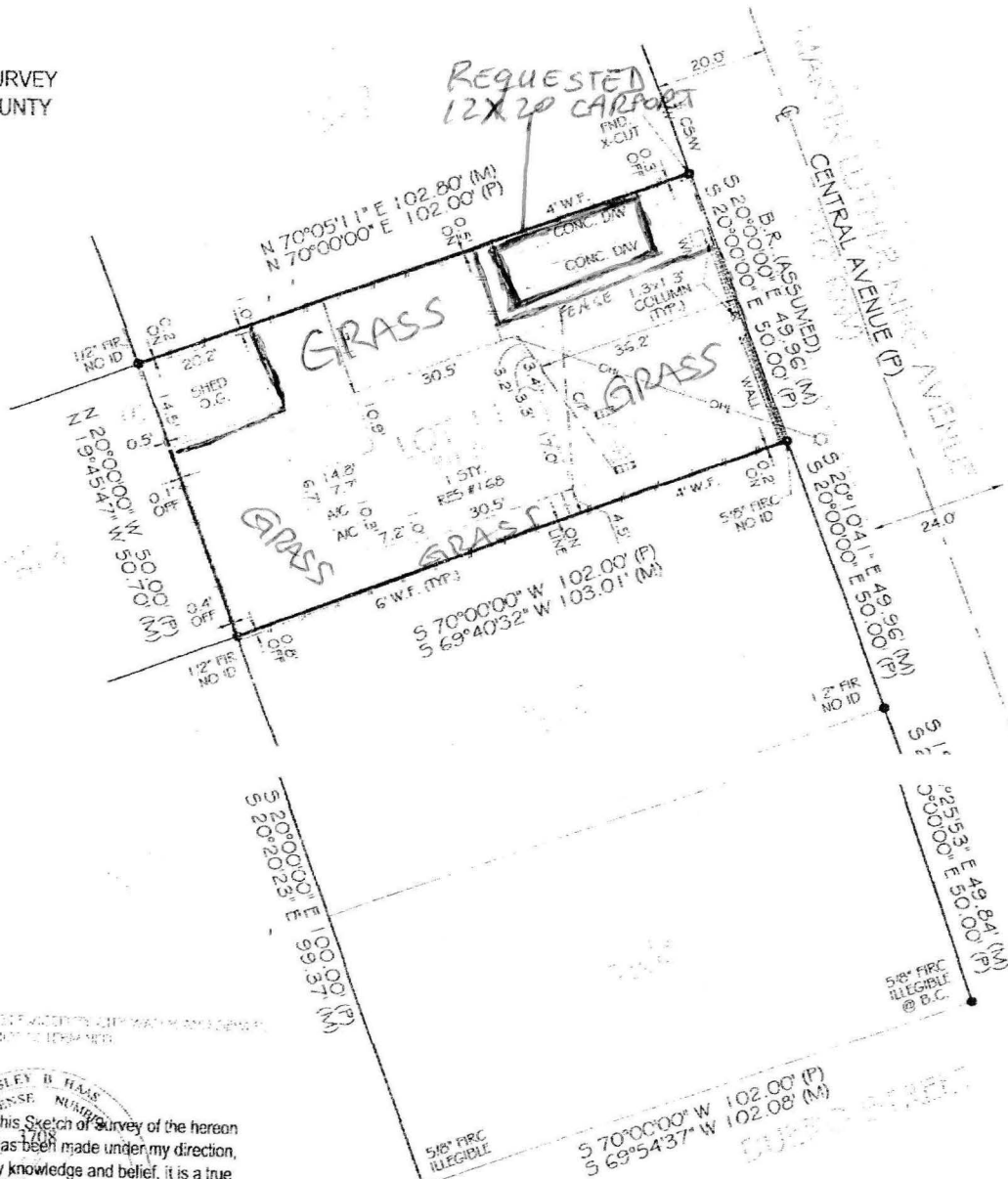
PROPERTY ADDRESS: 168 MARTIN LUTHER KING AVE ST. AUGUSTINE, FLORIDA 32084

SURVEY NUMBER: FL1301.1537

FIELD WORK DATE: 1/25/2013

REVISION DATE(S): (REV 1 1/30/2013)

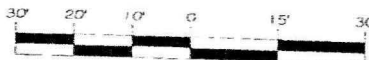
FL1301.1537
BOUNDARY SURVEY
ST. JOHNS COUNTY



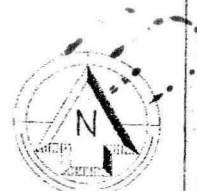
NOTE: FOR APPROVAL OF THE CITY OF ST. AUGUSTINE, THE PROPERTY MUST BE FENCED TO THE DEGREE REQUIRED.

I hereby certify that this Sketch of Survey of the hereon described property has been made under my direction, and to the best of my knowledge and belief, it is a true and accurate representation of a survey that meets the minimum technical standards set forth by the Florida Board of Professional Land Surveyors as described in Chapter 5J-17 of the Florida Administrative Code.

Wesley B. Haas
State of Florida Professional Surveyor and Mapper
License No. 3708



GRAPHIC SCALE
1 inch = 30 feet



Use of This Survey for Purposes other than Intended, Without Written Verification, will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing hereon shall be Construed to Give ANY Rights or Benefits to Anyone Other than those Certified.

FLOOD INFORMATION:

BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE AE (WITH A BASE FLOOD ELEVATION OF 9.0 NGVD 1929). THIS PROPERTY WAS FOUND IN THE CITY OF ST. AUGUSTINE, COMMUNITY NUMBER 125145, DATE 09/02/04.

POINTS OF INTEREST:

(1) SHED OVER LOT LINE.

CINDY ZIMMEDMAN

IMPERVIOUS SURFACE RATIO WORKSHEET
(Method of Calculation)

IMPERVIOUS SURFACE - Any hard-surfaced, man-made area that does not readily absorb or retain water, including but not limited to building roofs, parking and driveway areas, sidewalks and paved recreational facilities.

IMPERVIOUS SURFACE RATIO (ISR) - The total area of impervious surfaces divided by the net area (excluding right-of-way) of the lot.

LOT AREA - The total horizontal area included within the lot lines of the lot. No public right-of-way or access easement for a public street or handle of a panhandle lot shall be included in the calculation of the lot area, nor shall the public right-of-way cross the lot area.

Property Address 168 M L King Ave

Lot Area 5098 square feet

Impervious Surfaces:

- | | | |
|--|-------------|--------|
| 1. Existing building(s) footprint | <u>1570</u> | sq.ft. |
| 2. Existing concrete/paver patios, driveways, walkways, etc. | <u>70</u> | sq.ft. |
| 3. Proposed roofed building(s) footprint | <u>240</u> | sq.ft. |
| 4. Proposed concrete/paver patios, driveways, walkways, etc. | _____ | sq.ft. |

Total Impervious Surfaces _____ sq.ft.

1880 divided by 5098 = 0.37

Total Impervious Surface Lot Area Impervious Surface Ratio %

I, Elizabeth K. Merwin Digitally signed by Elizabeth K. Merwin
Date: 2025.09.01 16:45:32 -0500 (Signature) certify that the calculations submitted above for the Impervious Surface Ratio are accurate and complete to the best of my knowledge.

Date 09012025



From: [Lisa Merwin](#)
To: [Sarah Daugherty](#)
Subject: Re: 168 M L King Ave- PZB2025-0073
Date: Wednesday, September 24, 2025 4:20:59 PM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[gmail_images20250924_161839.png](#)
[image003.png](#)
[image004.png](#)
[image002.png](#)

Caution: This email originated from outside of the organization. Do not click links, open attachments or respond unless you recognize the sender and know the content is safe. When in doubt, contact IT.

It is currently 9'7" from the eastern front, and about 12" from the northern property line. The two driveways touch, basically. I have partially disassembled the front and the side in anticipation of not being granted the variance



Dr. Elizabeth Merwin

"The key to leadership is in the rippling waves. You could not find stillness on a body of water if there was turmoil underneath.

Likewise, you could not find peace and focus in a group unless the leader himself had peace

within" - Robert Jordan, TWoT

On Wed, Sep 24, 2025, 16:10 Sarah Daugherty <sdaugherty@citystaug.com> wrote:

I am currently reviewing your application for a variance at [168 M L King Avenue](#), do you know the distance of the car port to the eastern front property line and to the northern side property line?

Thank you,

Sarah Daugherty

Senior Planner

City of St. Augustine | Planning and Building Department

P.O. Box 210 | St. Augustine, FL 32085

Office: 75 King Street, Lobby B | Phone: 904.209.4213

Email: SDaugherty@citystaug.com

Web: www.CityStAug.com



Please Note: Florida has a very broad Public Records Law. Unless specifically exempt by state law, written communications to city officials or staff regarding official city business are public records available to the public and media upon request. If your email communication is related to official government business, it may therefore be subject to public disclosure.



Planning and Zoning Board

Planning Division Staff Report
 Planning and Building Department

Public Hearing Date	Agenda Item	Application Number
October 7, 2025	7.a.	PZB2025-0065
Request	Address	Parcel ID
Use by Exception	906 Anastasia Boulevard	158540-0000
		[LINK TO ST. JOHNS COUNTY PROPERTY APPRAISER'S WEBSITE]

Site & Background Information

Applicant:	Tiffany Martin c/o The St. Augustine Birth Collective
Owner:	Michael Kuc c/o Island Home Mortgage, LLC
Property Class: (St. Johns County Property Appraiser)	1705 – Office Buildings (1 Story) (Owner Occupied)
Future Land Use Designation:	Commercial Low Intensity
Zoning Designation:	Commercial Low-Two: CL-2 [LINK TO DISTRICT REGULATIONS]
Acreage:	0.32
Neighborhood:	Lighthouse Park
Archaeological Zone:	IIIB

Request Summary

This application is a request for a freestanding birthing center, a use by exception within the CL-2 zoning district, at 906 Anastasia Boulevard. The applicant states that the proposed birthing center “will provide licensed midwifery care to healthy low-risk pregnant individuals in a safe, regulated and family-centered environment.”

Approval of this requested use by exception would allow the applicant to apply for any necessary building permits as well as a business license.

Consistency with the City of St. Augustine Comprehensive Plan 2040

Goal, Policy, or Objective	Staff Analysis
Future Land Use Element [LINK TO DOCUMENT]	
<p>Policy 2.2.1</p> <p>The City's land use plan shall prioritize infill, redevelopment and mixed-use developments, as well as, compact and contiguous developments within the City of St. Augustine.</p>	<p>This request is consistent with the city’s policy to prioritize redevelopments as it would activate the building at 906 Anastasia Boulevard.</p>
<p>Policy 6.5.1</p> <p>Commercial Low Intensity</p> <p>This district is intended to apply to areas where small groups of low intensity commercial uses may be appropriately located to serve within convenient traveling distance from one (1) or several neighborhoods. The district is intended for low traffic generating commercial uses including general retail sales and service-related uses intended to serve the local neighborhoods. In addition, professional and business offices, compatible tourist accommodations and similar uses are encouraged. Appropriate uses may include recreation, public and institutional uses, Open Land (Conservation), multi-family, and residential or non-residential mixed uses.</p> <p>Residential Uses Single or multi-family uses to a maximum of 16 dwelling units per acre.</p> <ul style="list-style-type: none"> • Not more than fifty percent (50%) of the Commercial Low Intensity designation shall be permitted for residential use. Other uses Maximum lot coverage of 60%; maximum height restriction of 35 feet. <p>To encourage mixed use developments:</p> <ul style="list-style-type: none"> • Residential uses included in mixed use developments shall occupy a minimum of 20% and a maximum of 	<p>The proposed intermediate care facility use is consistent with the Commercial Low Intensity future land use designation.</p>

<p>40% of the development area, unless otherwise approved by the PZB.</p> <ul style="list-style-type: none"> Commercial uses included in a residential mixed-use development shall occupy a minimum of 40% and a maximum of 60% of the development area, unless otherwise approved by the PZB. Mixed use commercial projects are encouraged. 	
Historic Preservation Element [LINK TO DOCUMENT]	
Conservation and Coastal Management Element [LINK TO DOCUMENT]	
Recreation and Open Space Element [LINK TO DOCUMENT]	
Transportation and Mobility Element [LINK TO DOCUMENT]	
Housing Element [LINK TO DOCUMENT]	
Infrastructure Element [LINK TO DOCUMENT]	

Staff Analysis of Request and Applicable Sections from the City of St. Augustine’s Code of Ordinances

Sec. 28-2. – Definitions. [[LINK TO CODE SECTION](#)]

Exception means a use that would not be appropriate generally or without restriction throughout the zoning district but which, if controlled as to number, area, location or relation to the neighborhood would promote the public health, safety, welfare, morals, order, comfort, convenience, appearance, prosperity or general welfare. Such uses may be permitted in such zoning district as exceptions, if specific provision for such exception is made in the district regulations of this chapter.

Intermediate care facility means a facility or institution, whether public or private, principally engaged in providing services for health maintenance, diagnosis or treatment of human disease, pain, injury, deformity or physical condition, including, but not limited to, a public health center, diagnostic center, treatment center, rehabilitation center, extended care facility, skilled nursing home, nursing home, tuberculosis hospital, chronic disease hospital, maternity hospital, outpatient clinic, dispensary, home health care agency, boarding home or other home for sheltered care, and bioanalytical laboratory or central services facility serving one (1) or more such institutions but excluding institutions that provide healing solely by prayer.

Sec. 28-29. – Zoning exceptions, variances and appeals. [[LINK TO CODE SECTION](#)]

(a) *Zoning exceptions:*

- (1) *In general.* In the granting of zoning exceptions, the planning and zoning board may provide such conditions and safeguards as may be appropriate of this chapter (see [section 28-2](#), Exception).
- (2) *Written applications.* All applications for an exception under this chapter shall be in writing in such form as may be prescribed by the board.
- (3) *Public hearing.* Unless a longer time shall be agreed upon by the applicant and the board in the particular case, a public hearing shall be held by the board to consider any application for a zoning exception within not more than thirty (30) days from the date of filing of the completed application.

Notice of public hearing shall be made as provided in [section 28-59](#)(a) and (b), and any party shall be heard in person or by agent or attorney.

- (4) *Violations of exceptions.* The violation of the terms of an exception, including any conditions and safeguards which may be made a part thereof, shall be deemed a violation of this chapter and punishable as provided in this chapter.

Sec. 28-207. – Commercial low-two: CL-2. [\[LINK TO CODE SECTION\]](#)

- (3) Permitted uses by exception:
 e. Hospital and intermediate care facility.

Sec. 28-373. – Required off-street parking. [\[LINK TO CODE SECTION\]](#)

(d) *Minimum spaces required:*

	Use	1 Space Per Gross Floor Area (Sq. Ft.)	1 Space Per Rates Patron Capacity	Units, Seats, Rooms, Spaces	Special Requirements
(26)	Office use medical/dental				3 per doctor

Staff Recommendation

Based on a review of Sec. 28-29 staff finds that the Board may **APPROVE** the intermediate care facility use by exception request at 906 Anastasia Boulevard / PID 158540-0000.

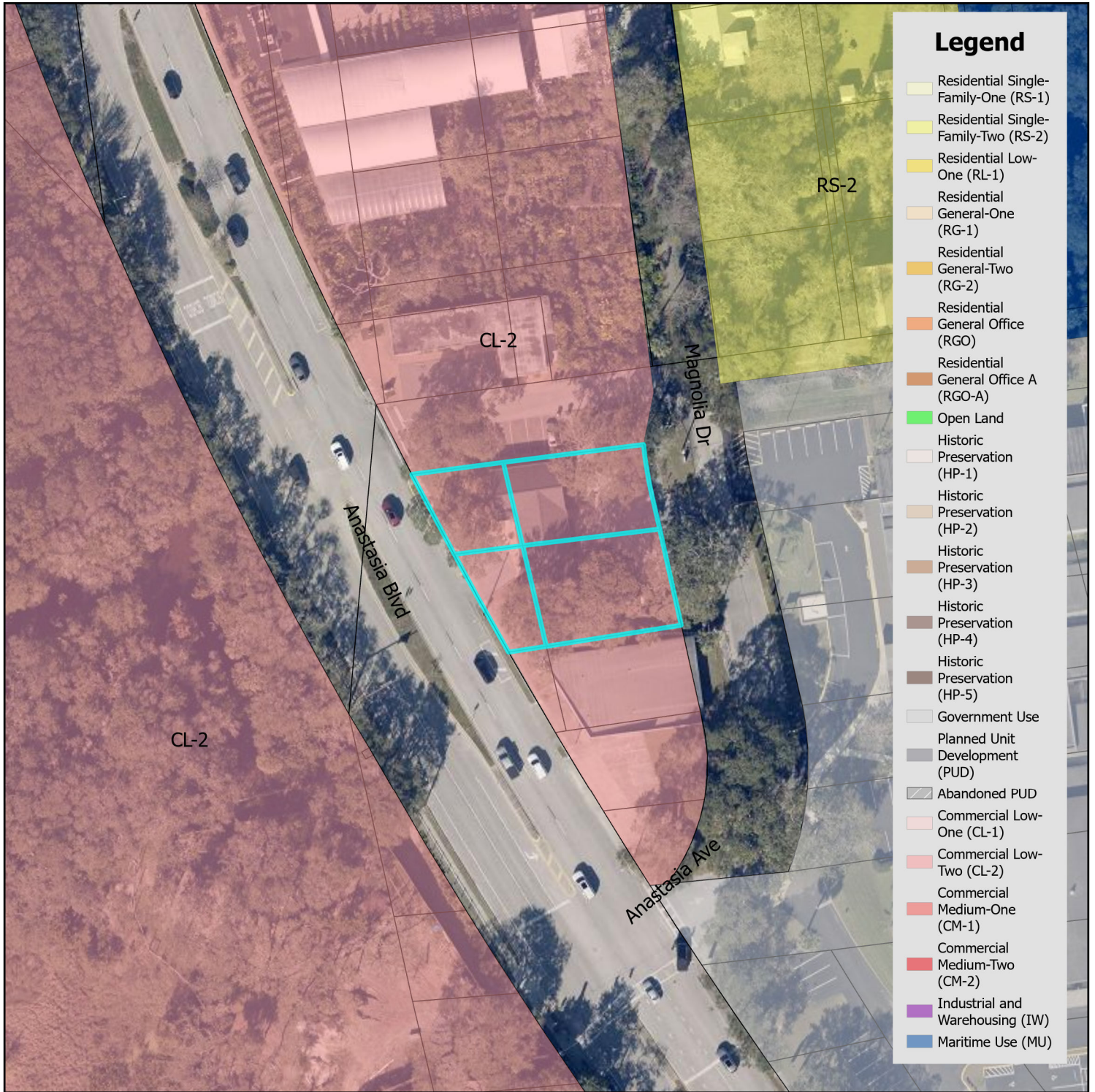
Attachments

1. Site Maps & Photos
2. Application
3. St. Johns County Property Appraiser Report

Staff Report prepared by:

Jacob Fredrikson, CNU-A
 Planning Manager
 Planning and Building Department

**Attachment 1:
Site Maps & Photos**



- ### Legend
- Residential Single-Family-One (RS-1)
 - Residential Single-Family-Two (RS-2)
 - Residential Low-One (RL-1)
 - Residential General-One (RG-1)
 - Residential General-Two (RG-2)
 - Residential General Office (RGO)
 - Residential General Office A (RGO-A)
 - Open Land
 - Historic Preservation (HP-1)
 - Historic Preservation (HP-2)
 - Historic Preservation (HP-3)
 - Historic Preservation (HP-4)
 - Historic Preservation (HP-5)
 - Government Use
 - Planned Unit Development (PUD)
 - Abandoned PUD
 - Commercial Low-One (CL-1)
 - Commercial Low-Two (CL-2)
 - Commercial Medium-One (CM-1)
 - Commercial Medium-Two (CM-2)
 - Industrial and Warehousing (IW)
 - Maritime Use (MU)



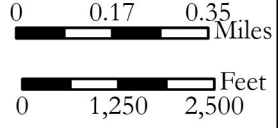
Zoning Map



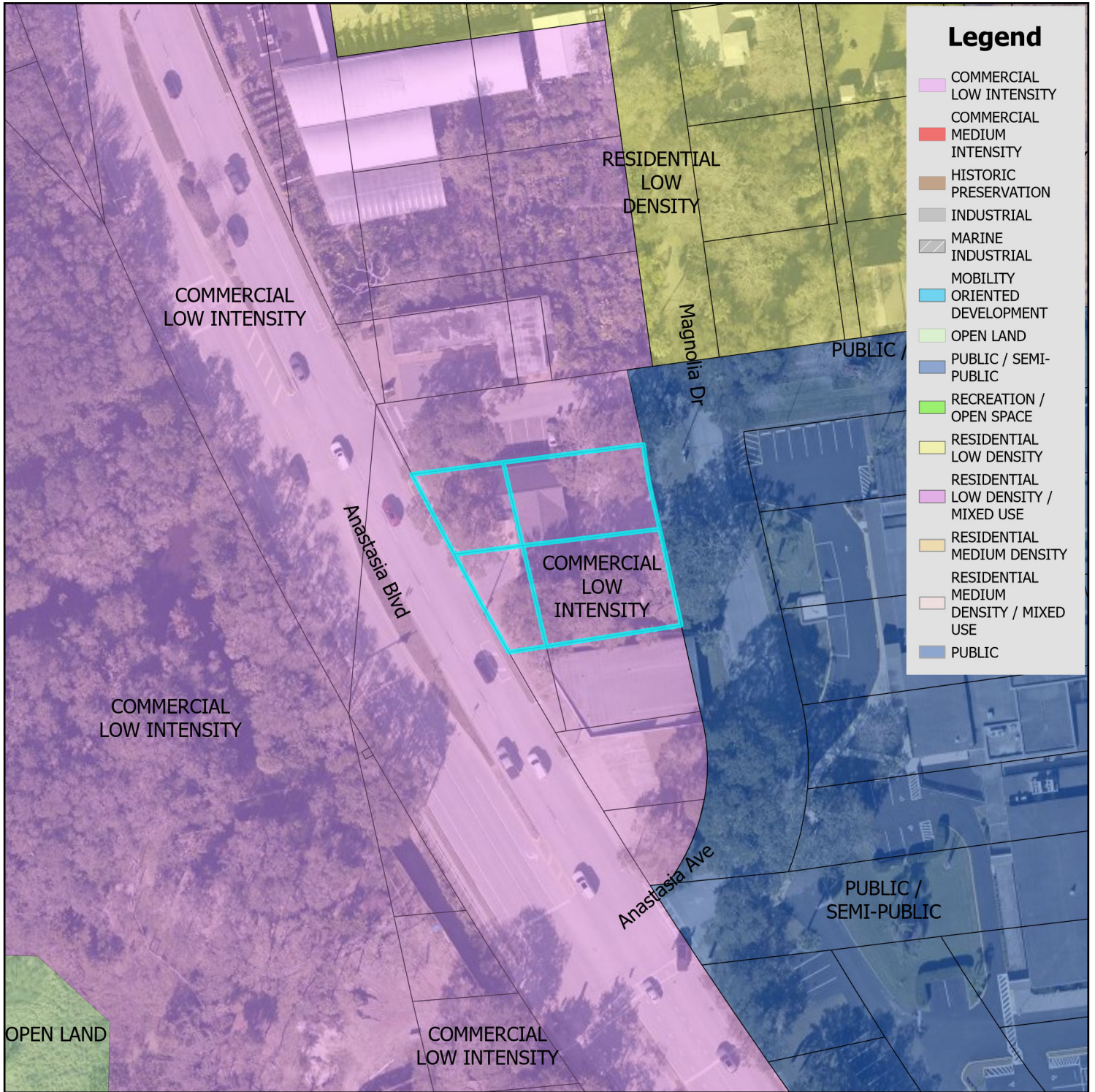
City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
 This map is for reference only. Data provided are derived from multiple sources with varying levels of accuracy. The City of St. Augustine disclaims all responsibility for the accuracy or completeness of the data shown herein.

2025



Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Future Land Use Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

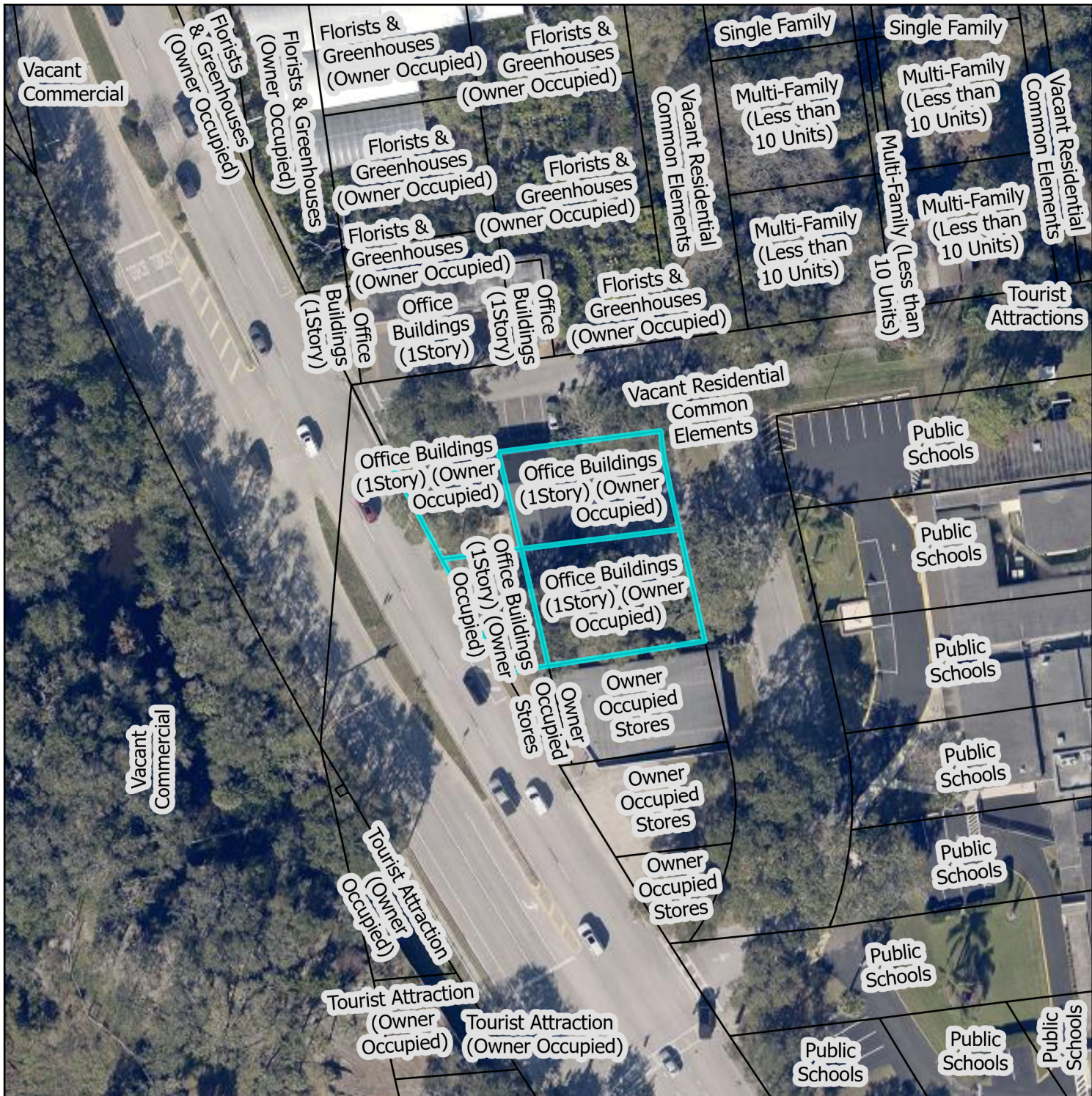
DISCLAIMER
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2025

0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



St. Johns County Property Appraiser Use Classification Map



City of St. Augustine
Planning, Zoning, & Building Department
P.O. Box 210, St. Augustine, FL 32085
Phone: (904) 825-1065

DISCLAIMER
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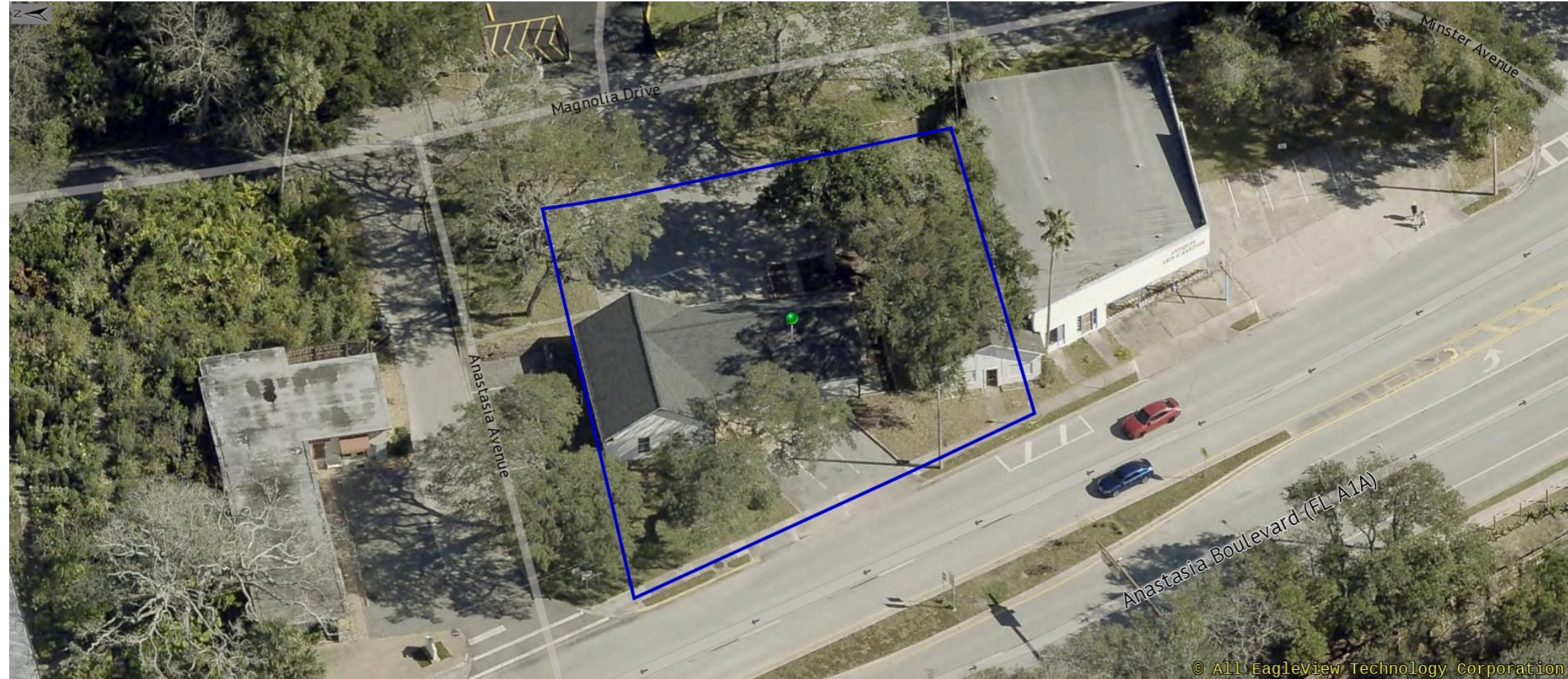
2025

0 0.01 0.01 Miles

0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

906 Anastasia Boulevard



© All EagleView Technology Corporation



Legend

Flood Zones FEMA

- AE
- VE



FEMA Flood Zone Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

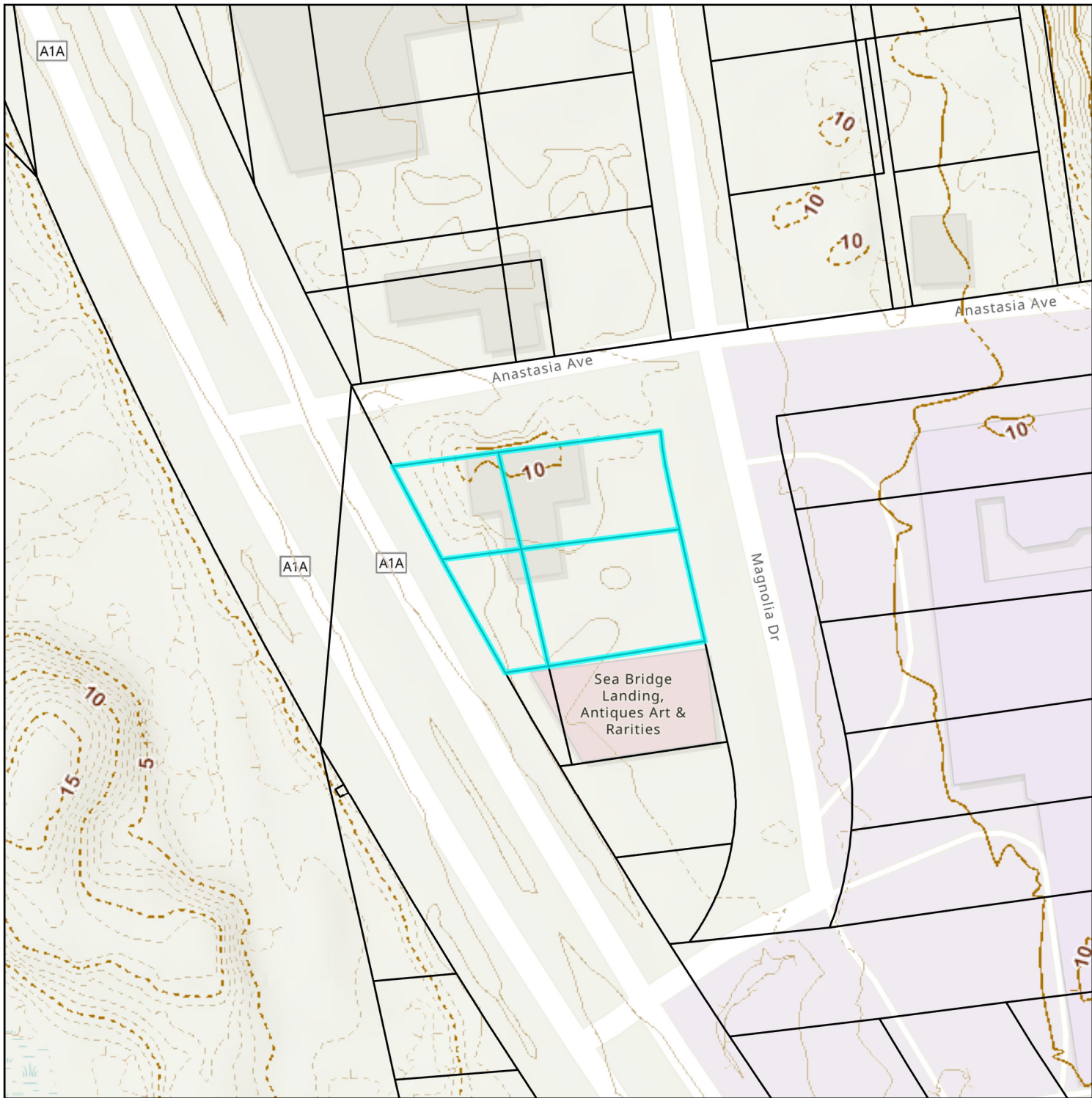
DISCLAIMER
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2025

0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Elevation Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
 This map is for reference only. Data provided are derived from multiple sources with varying levels of accuracy. The City of St. Augustine disclaims all responsibility for the accuracy or completeness of the data shown hereon.

2025

0 0.01 0.01 Miles

0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

Attachment 2: Application



CITY OF ST AUGUSTINE APPLICATION TO PLANNING AND ZONING BOARD

Application Fee: _____ (plus advertising costs) Project Number: _____

Receipt Number: _____ Meeting Date: _____

Advertising Costs: \$ _____ Paid On: _____ Receipt Number: _____

1. NAME OF APPLICANT: Tiffany Martin Contact Number: (512) 954-7937
 Business (if applicable): The St. Augustine Birth Collective
 Address: 16 Ocean Woods Drive W City: St. Augustine State: FL Zip: 32080
 E-Mail Address: tiffany@stabirthcollective.com

2. NAME OF PROPERTY OWNER: Michael Kuc Contact Number: (904) 640-1874
 Business (if applicable): Island Home Mortgage, LLC
 Address: 906 Anastasia Blvd City: St. Augustine State: FL Zip: 32080
 E-Mail Address: _____

3. LEGAL DESCRIPTION OF PROJECT PROPERTY:
 Lot: LOTS 39 & 40 & ALL LOTS 41 & 42 Block: 3-48
 Subdivision: Aviles Terrace Parcel Number: 1585400000

4. PROJECT STREET ADDRESS: 906 Anastasia Blvd

5. SPECIFIC PROPOSED USE: Birth Center

6. ACTION REQUESTED:

<input type="checkbox"/> Conservation Zone Development	<input type="checkbox"/> Appeal of Staff Determination
<input checked="" type="checkbox"/> Exception	<input type="checkbox"/> Land Use Plan Amendment
<input type="checkbox"/> Variance	<input type="checkbox"/> Rezoning
<input type="checkbox"/> Other: _____	

7. DESCRIPTION OF ACTION REQUESTED: The applicant requests a zoning usage exception to permit the operation of a licensed freestanding birthing center at the address above. The proposed birth center will provide licensed midwifery care to healthy low-risk pregnant individuals in a safe, regulated and family-centered environment. The facility will operate in accordance with licensing requirements of the State of Florida and the Agency for Health Care Administration. The birth center will operate in the existing structure and will not involve significant alterations to the building.

8. JUSTIFICATION FOR ACTION REQUESTED: The regulations for the current zoning of the property (CL-2) indicate that "hospitals or intermediate care facilities" are permitted with exceptions. A Licensed Birthing Center would fall into this category. Additionally, the proposed use is low-impact to the surrounding area and adds benefit to the community via access to holistic maternal healthcare. All applicable licensing, safety and health standards will be met by the facility, ensuring the operation remains lawful, safe and accountable to governing bodies. The number of clients served at any given time is minimal, and parking is sufficient on-site to avoid any overflow onto public roads. Births will occur on-site, attended by licensed midwives, with no overnight stays outside of labor and delivery and postpartum care (typically under 12 hours) The center will operate by appointment only.

9. IF APPLYING FOR A VARIANCE, PLEASE COMPLETE THE FOLLOWING AND EXPLAIN THE SITUATION FULLY ALONG WITH PROVIDING DOCUMENTATION:

- (a) Does the property because of size, shape, topography or other physical conditions, suffer singular disadvantage, which disadvantage does not apply to other properties in the vicinity: _____

- (b) Can you establish that this disadvantage causes the owner to be unable to make reasonable use of the affected property: _____

- (c) Can you establish that this disadvantage does not exist because of conditions created by the owner or applicant: _____

- (d) Can you establish that granting of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this Section: _____

10. PREVIOUS APPPLICATIONS:

Has any application been submitted to the Planning & Zoning Board concerning any part of the subject property within the past year?

Yes No If yes, please give date and final disposition below.

11. AGREEMENT:

In filing this application, I understand that it becomes a part of Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

Application must be signed by both applicant and property owner if different. Letter of authorization must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of either property owner or applicant.

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

IMPORTANT NOTICE: When the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the Board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the Board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the Code.

Signature of Applicant		08/06/2025
		Date
Signature of Property Owner		8/7/25
		Date



Owner's Authorization For Agent

Tiffany Martin is/are hereby authorized TO ACT ON BEHALF OF Island Home Mortgage, LLC, the owner(s) of those lands described within the attached application, or described within the previously filed Application number: _____, and as described in the attached deed or other such proof of ownership as may be required, in applying to the City of St. Augustine's Planning & Zoning Board, located at: 906 Anastasia Blvd. Saint Augustine, FL 32080

BY: [Signature]
Signature of Owner
Michael Kuc
Print Name of Owner
407 617 5135
Telephone Number

State of Florida

County of St. Johns

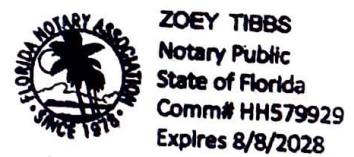
Signed and sworn before me on this 7th day of August, 2025

By Michael Kuc

Identification verified: Yes No

Notary Signature: [Signature]

My Commission expires: 8/8/2028





**CITY OF ST. AUGUSTINE
DEVELOPMENT PERMIT APPLICANT WAIVER**

The applicant acknowledges and agrees to waive the limitation of three requests for additional information by the City of St. Augustine, pursuant to Chapter 166.033, Florida Statutes.

The applicant acknowledges and agrees that the City offers weekly Friday Review development review meetings, as well as, department specific applicant meetings with its reviewing staff at any point in the application process to attempt to resolve outstanding issues. The applicant is responsible for scheduling any requested meetings with City staff directly.

The applicant acknowledges and agrees that if after three unresolved submittals the applicant elects to proceed with final approval or denial proceedings, the applicant must request so in writing to the City.

Tiffany Martin

Print name of applicant

Signature of applicant

08/06/2025

Date

PZB APPLICATION FEE SCHEDULE

Planning and Zoning Board fees are set by Resolution 2021-38 as follows:

Description of Work	Fee Amount
Rezoning: small scale	\$300.00 + ads & notices
Rezoning: large scale	\$1,000.00 + ads & notices
Land Use Plan Amendment: small scale	\$400.00 + ads & notices
Land Use Plan Amendment: large scale	\$1,400.00 + ads & notices
Planned Unit Development	\$400.00 or \$35.00/acre, whichever is greater, \$1,400 max + ads & notices
Zoning Variance	\$350.00 + ads & notices
Zoning Exception	\$250.00 + ads & notices
Conservation Overlay Zone Development	\$165.00 + ads & notices
Significant Tree Removal or Appeal of Tree Removal Permit Denial	\$165.00 + ads & notices
Appeal of Staff Determination	\$200.00 + ads & notices
Application to Amend Zoning Code	\$600.00 + ads & notices
Subdivision Plat Review	\$275.00 + ads, notices & additional associated costs

"Note: The cost of newspaper advertisement and all notices to surrounding property owners will be assessed by the city, paid by the city and reimbursed by the applicant. All advertising costs must be paid prior to issuance of a development permit.

The applicant shall reimburse the City the mailing cost for all notices and for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing."

If a Credit Card Authorization Form is used for the payment of fees, the City will maintain the form and automatically charge additional advertising and noticing fees, once determined, to the credit-card account submitted.

By signing below, I acknowledge responsibility for both the initial application fee and any subsequent costs associated with legal advertising and/or noticing and understand that permits associated with my application may not be issued until such fees are paid.

I authorize the Planning and Building Department to maintain my payment information until a final cost for advertising and/or noticing is determined and charged. If a payment method other than Credit Card Authorization Form is used, I understand that I will be sent an invoice for the costs of advertising/noticing which must be paid prior to the issuance of any development permit related to my application. I am aware that I can request a copy of these fees and my receipt from Building Department Staff.

906 Anastasia Blvd. Saint Augustine, FL 32080

Project Address: _____

Tiffany Martin

Applicant's Name: _____ Applicant's Signature: *Tiffany Martin*

Michael Kuc

Owner's Name: *Michael Kuc* Owner's Signature: *MK*

Attachment 3:
St. Johns County Property Appraiser
Report

St. Johns County, FL

Apply for Exemptions

Apply for Exemptions

Homestead Compliance

This form is not a Homestead Exemption application. To apply online for homestead and related exemptions, please click [here](#).

Homestead Compliance

2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID	1585400000
Location	906 ANASTASIA BLVD
Address	SAINT AUGUSTINE 32080-0000
Neighborhood	Office (Class C) Countywide (COM) (202.03)
Tax Description*	3-48 AVILES TERRACE LOTS 39 & 40 & ALL LOTS 41 & 42 (EX R/W OF A1A & PT LYING W OF A1A) OR5508/1419
	<i>*The Description above is not to be used on legal documents.</i>
Property Use Code	Office Buildings (1Story) (Owner Occupied) (1705)
Subdivision	Aviles Terrace
Sec/Twp/Rng	58-7-30
District	City of St Augustine (District 452)
Millage Rate	18.72
Acreage	0.320
Homestead	N

[Click Here to Open Cyclomedia Viewer in a New Tab](#)



Owner Information

Owner Name	Island Home Mortgage LLC 100%
Mailing Address	906 ANASTASIA BLVD SAINT AUGUSTINE, FL 32080-0000

Map



Valuation Information

Assessed Year	2025
Building Value	\$244,071.00
Extra Features Value	\$8,179.00
Total Land Value	\$278,200.00
Agricultural (Assessed) Value	\$0.00
Agricultural (Market) Value	\$0.00
Just Market	\$530,450.00
Total Deferred	\$0.00
Assessed Value	\$530,450.00
Total Exemptions	
Taxable Value	\$530,450.00

Values listed are from our working tax roll and are subject to change. Exemption and taxable values shown reflect County-level assessment.

Historical Assessment Information

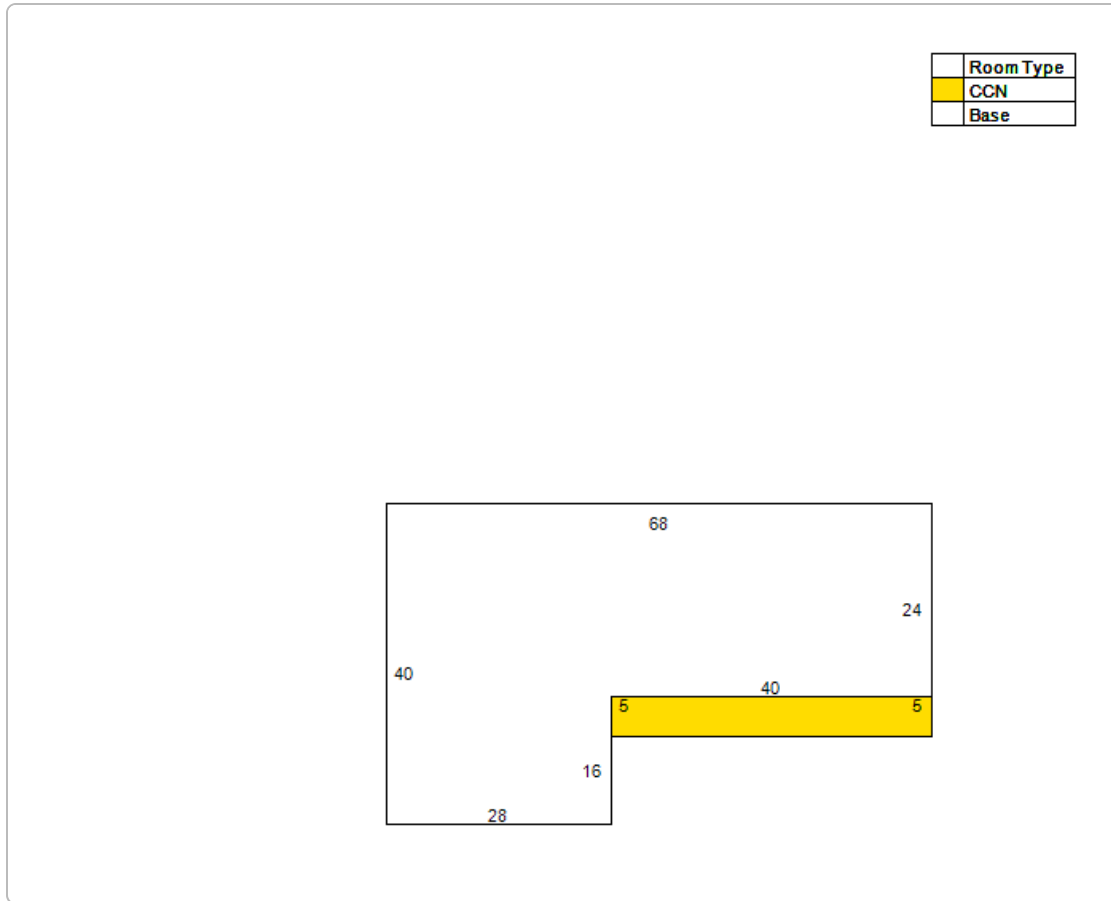
Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value
2024	263111	8717	278200	0
2023	244220	9118	278200	0
2022	69931	6778	166920	0
2021	62268	3472	166920	0
2020	52688	4023	166920	0
2019	46858	4129	166920	0
2018	38375	6260	139100	0
2017	20198	4278	139100	0
2016	16158	4286	139100	0
2015	16158	4293	139100	0
2014	15207	4301	139100	0

Building Information

Building	1	Roof Cover	Composite Shingle
Building Value	\$244,071	Roof Structure	Wood Truss
Year Built	1963	Interior Flooring	Carpet
Actual Area	2280	Interior Wall	Drywall
Conditioned Area	2080	Heating Type	Air Duct
Use	Office Class C	Air Conditioning	Central
Style	04	Bedrooms	
Exterior Wall	Concrete Block, Jumbo Brick	Baths	

Description	Square Footage
BASE AREA	2080
FINISHED CANOPY	200
Total SqFt	2280

Sketch Information



Room Type
CCN
Base

Extra Feature Information

Code Description	Status	Value
Asphalt Paving (COM)		5177
Curb (COM)		1440
Concrete Paving - Under 8" (COM)		1562

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Office Buildings (1 Story)	107	130	13910	SF	\$278,200

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
3/7/2022	3/4/2022	\$600,000.00	WARRANTY DEED	5508	1419	Q	I	LARDNER NANCY G REV LIVING TRUST D: 11/16/2018	ISLAND HOME MORTGAGE LLC
3/7/2022	2/4/2022	\$100.00	CORRECTIVE DEED	5508	1414	U	I	JONES FAMILY TRUST	LARDNER NANCY G REV LIVING TRUST D: 11/16/2018
3/6/2020	2/4/2020	\$100.00	WARRANTY DEED	4982	1238	U	I	LARDNER NANCY G	LARDNER NANCY G REV LIVING TRUST D: 11/16/2018
	1/30/1998	\$160,000.00	WARRANTY DEED	1293	114	Q	I	JONES LOREN N & JANE P TRUSTEES	LARDNER NANCY G
	1/1/1991	\$0.00		881	1700	U	I		JONES LOREN N, JANE P TRUSTEES

No data available for the following modules: Sales Questionnaire Form, Exemption Information.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.
[User Privacy Policy](#) | [GDPR Privacy Notice](#)
 Last Data Upload: 9/8/2025, 2:30:21 AM

Contact Us





Planning and Zoning Board

Planning Division Staff Report
 Planning and Building Department

Public Hearing Date	Agenda Item	Application Number
October 7, 2025	7.b	PZB2025-0072
Request	Address	Parcel ID
Use by Exception	241 San Marco Avenue	152810-0000
		[LINK TO ST. JOHNS COUNTY PROPERTY APPRAISER'S WEBSITE]

Site & Background Information

Applicant:	Luis Garcia
Owner:	Leland Company's LLC
Property Class: (St. Johns County Property Appraiser)	2500 – Repair Service Shops (Non-automotive)
Future Land Use Designation:	Commercial Medium Intensity
Zoning Designation:	Commercial Medium-Two: CM-2 [LINK TO DISTRICT REGULATIONS]
Acreage:	0.28
Neighborhood:	Greater Fullerwood
Archaeological Zone:	N/A

Request Summary

This application is a request for a used car dealership, a use by exception within the CM-2 zoning district, at 241 San Marco Avenue. The applicant states that “we would like to open a used high-end car dealership” as their justification for this request.

Approval of this requested use by exception would allow the applicant to apply for any necessary building permits as well as a business license.

Consistency with the City of St. Augustine Comprehensive Plan 2040

Goal, Policy, or Objective	Staff Analysis
Future Land Use Element [LINK TO DOCUMENT]	
<p>Policy 2.2.1</p> <p>The City's land use plan shall prioritize infill, redevelopment and mixed-use developments, as well as, compact and contiguous developments within the City of St. Augustine.</p>	<p>This proposal is consistent with the city’s policy to prioritize infill and redevelopment as it would allow for redevelopment at 241 San Marco Avenue.</p>
<p>Objective 3.2</p> <p>The City shall encourage redevelopment and renewal of areas that are exhibiting evidence of decline (i.e., disproportionate number of vacant, dilapidated and/or substandard structures) or blight through redevelopment programs and through maintaining land development codes that contain standards and procedures to encourage redevelopment where desirable</p>	<p>This proposal is consistent with the city’s objective to encourage redevelopment and renewal of areas that are exhibiting evidence of decline such as 241 San Marco Avenue.</p>
<p>Policy 6.5.2</p> <p>Commercial Medium Intensity</p> <p>This district is intended to apply where adequate traffic circulation capacity is available to provide medium intensity automotive oriented commercial and service uses and related facilities, and to areas where adequate lot depth is available to provide meaningful development for service-oriented automotive uses, tourist accommodations, attractions and supporting facilities. Appropriate uses may include recreation, public and institutional uses, Open Land (Conservation), multi-family, and residential or non-residential mixed uses.</p> <p>Residential Uses Single or multi-family units to a maximum of 16 units per acre.</p> <ul style="list-style-type: none"> • Not more than fifty percent (50%) of the Commercial Medium Intensity designation shall be permitted for 	<p>The proposed automotive oriented commercial use is consistent with the Commercial Medium Intensity future land use designation.</p>

<p>residential use. Other uses maximum lot coverage of 70%; maximum height restriction of 35 feet.</p> <p>To encourage mixed use developments:</p> <ul style="list-style-type: none"> • Residential uses included in mixed use developments shall occupy a minimum of 25% and a maximum of 50% of the development area, unless otherwise approved by the PZB. • Commercial uses included in a residential mixed-use development shall occupy a minimum of 30% and a maximum of 70% of the development area, unless otherwise approved by the PZB. • Mixed use commercial projects are encouraged. 	
Historic Preservation Element [LINK TO DOCUMENT]	
<p>Goal 3</p> <p>Preserve and protect the historic and authentic character of St. Augustine to minimize the demolition of older, historic buildings and structures.</p>	<p>This proposal is consistent with the city’s goal to minimize the demolition of older, historic buildings and structures by preserving the existing structure at 241 San Marco Avenue.</p>
Conservation and Coastal Management Element [LINK TO DOCUMENT]	
<p>Policy 2.16.13</p> <p>Development and redevelopment in the City shall utilize strategies, site development techniques, engineering solutions, and best practices to reduce the flood risk and losses due to flooding in the City, including but not limited to:</p> <ol style="list-style-type: none"> 1. Green street techniques to divert, capture or absorb water in a way to reduce flood impacts on private property, including, but not limited to street trees, landscaped areas and vegetative curb extensions, bioswales, vernacular streetscapes, and roadway redesign; 2. Hybrid stormwater master plan to integrate a combination of green and gray infrastructure, including but not limited to bioretention, increasing pipe capacity, stormwater parks, rain garden/bioswales, pumps, and water flow diversion strategies; 3. Underground utilities in vulnerable and feasible areas; 4. Assess parking standards and redesign parking lots with greater water capture techniques; 5. Comprehensive planning; 6. Land development regulations; 7. Increases of setback lines; 	<p>This proposal has the potential to be more consistent with the city’s policy for redevelopment to utilize strategies to reduce the impacts of flooding through the inclusion of permeable pavement and other site development techniques.</p>

8. Natural shoreline restoration; 9. Permeable pavement; 10. Dry and wet flood proofing of structures; and 11. Green/open space.	
Recreation and Open Space Element [LINK TO DOCUMENT]	
Transportation and Mobility Element [LINK TO DOCUMENT]	
Housing Element [LINK TO DOCUMENT]	
Infrastructure Element [LINK TO DOCUMENT]	

Staff Analysis of Request and Applicable Sections from the City of St. Augustine’s Code of Ordinances

Sec. 28-2. – Definitions. [[LINK TO CODE SECTION](#)]

Automobile means motor vehicle as defined in F.S. § 322.01.

Exception means a use that would not be appropriate generally or without restriction throughout the zoning district but which, if controlled as to number, area, location or relation to the neighborhood would promote the public health, safety, welfare, morals, order, comfort, convenience, appearance, prosperity or general welfare. Such uses may be permitted in such zoning district as exceptions, if specific provision for such exception is made in the district regulations of this chapter.

Used car lot means a lot or group of contiguous lots used for the storage, display and sale of used automobiles and where no repair work is done except the necessary reconditioning of the cars to be displayed and sold on the premises.

Sec. 28-29. – Zoning exceptions, variances and appeals. [[LINK TO CODE SECTION](#)]

(a) *Zoning exceptions:*

- (1) *In general.* In the granting of zoning exceptions, the planning and zoning board may provide such conditions and safeguards as may be appropriate of this chapter (see [section 28-2](#), Exception).
- (2) *Written applications.* All applications for an exception under this chapter shall be in writing in such form as may be prescribed by the board.
- (3) *Public hearing.* Unless a longer time shall be agreed upon by the applicant and the board in the particular case, a public hearing shall be held by the board to consider any application for a zoning exception within not more than thirty (30) days from the date of filing of the completed application. Notice of public hearing shall be made as provided in [section 28-59](#)(a) and (b), and any party shall be heard in person or by agent or attorney.
- (4) *Violations of exceptions.* The violation of the terms of an exception, including any conditions and safeguards which may be made a part thereof, shall be deemed a violation of this chapter and punishable as provided in this chapter.

Sec. 28-209. – Commercial medium-two: CM-2. [[LINK TO CODE SECTION](#)]

- (3) Permitted uses by exception:
 - j. Businesses that offer for sale new or used automobiles, trucks, boats and tractors.

Sec. 28-373. – Required off-street parking. [[LINK TO CODE SECTION](#)]

(d) *Minimum spaces required:*

	Use	1 Space Per Gross Floor Area (Sq. Ft.)	1 Space Per Rates Patron Capacity	Units, Seats, Rooms, Spaces	Special Requirements
(4)	Auto, boat, equipment sales, rentals	300 (buildings)			
(41)	Business, commercial, or service establishments	300			

Staff Recommendation

Based on a review of Sec. 28-29 staff finds that the Board may **APPROVE** the sales of used automobiles use by exception request at 241 San Marco Avenue / PID 152810-0000.

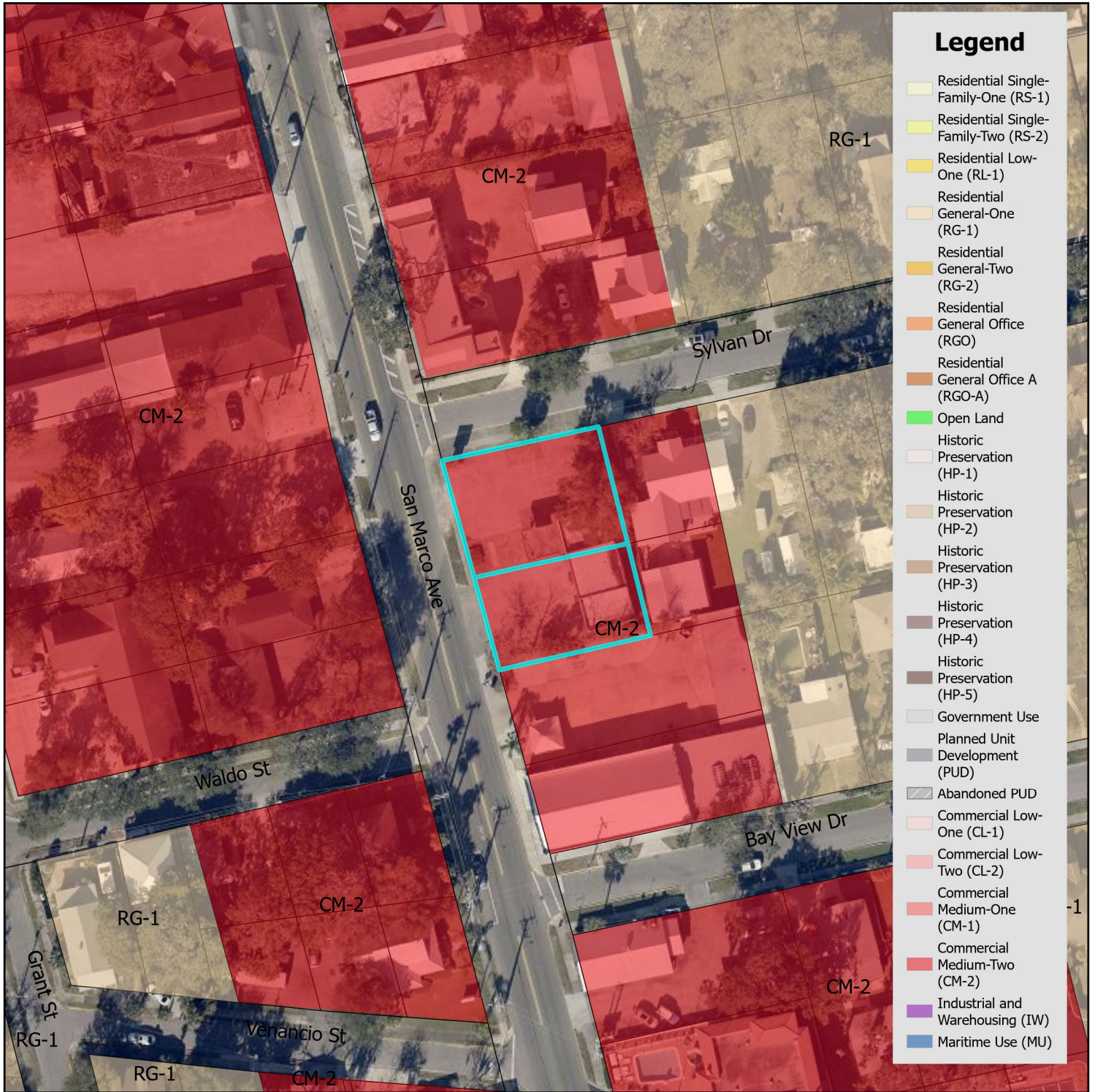
Attachments

1. Site Maps & Photos
2. Application
3. St. Johns County Property Appraiser Report
4. Conceptual Site Renderings

Staff Report prepared by:

Jacob Fredrikson, CNU-A
Planning Manager
Planning and Building Department

**Attachment 1:
Site Maps & Photos**



- ### Legend
- Residential Single-Family-One (RS-1)
 - Residential Single-Family-Two (RS-2)
 - Residential Low-One (RL-1)
 - Residential General-One (RG-1)
 - Residential General-Two (RG-2)
 - Residential General Office (RGO)
 - Residential General Office A (RGO-A)
 - Open Land
 - Historic Preservation (HP-1)
 - Historic Preservation (HP-2)
 - Historic Preservation (HP-3)
 - Historic Preservation (HP-4)
 - Historic Preservation (HP-5)
 - Government Use
 - Planned Unit Development (PUD)
 - Abandoned PUD
 - Commercial Low-One (CL-1)
 - Commercial Low-Two (CL-2)
 - Commercial Medium-One (CM-1)
 - Commercial Medium-Two (CM-2)
 - Industrial and Warehousing (IW)
 - Maritime Use (MU)



Zoning Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

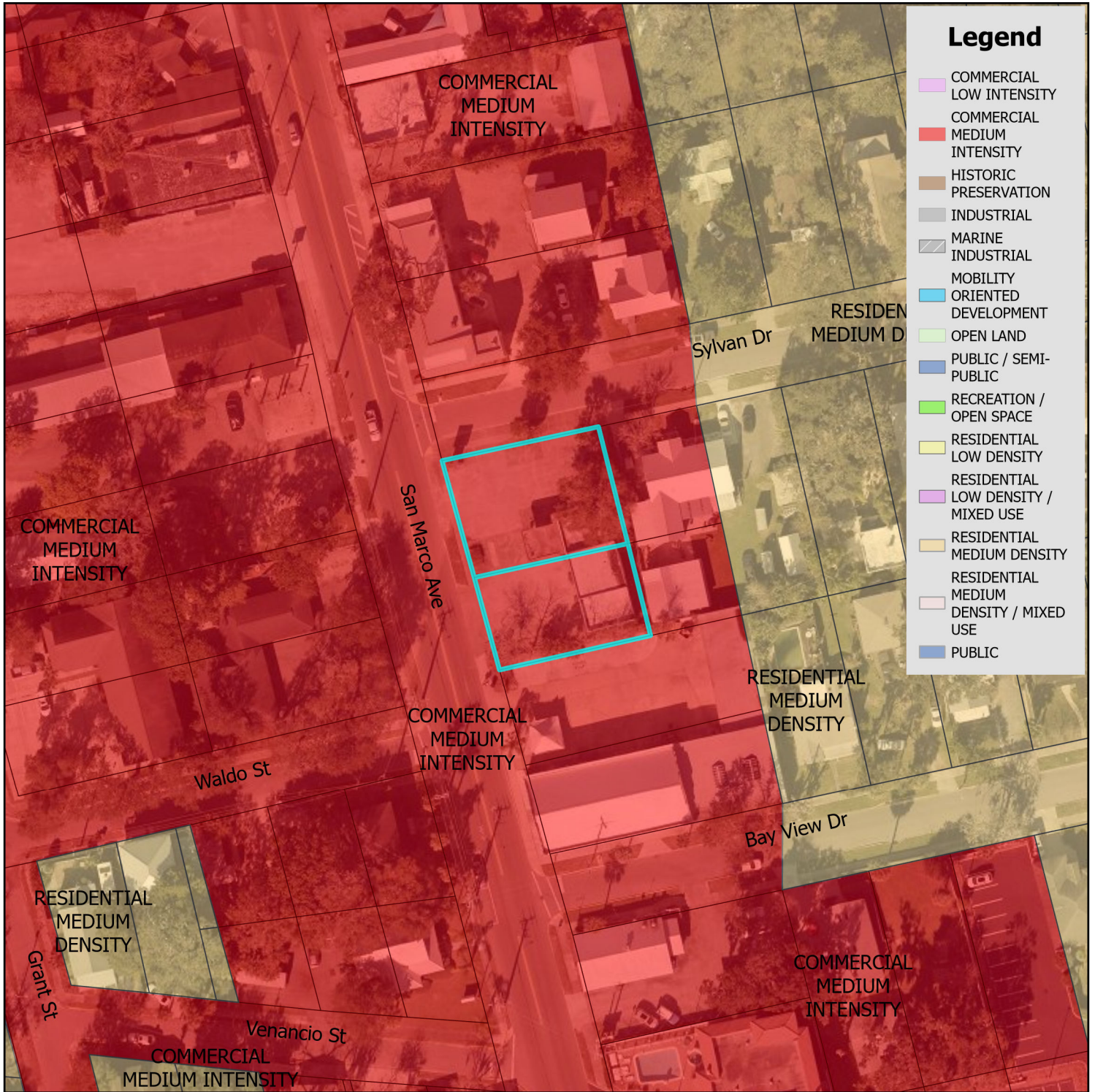
DISCLAIMER
 This map is for reference only. Data provided are derived from multiple sources with varying levels of accuracy. The City of St. Augustine disclaims all responsibility for the accuracy or completeness of the data shown herein.

2025

0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Future Land Use Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

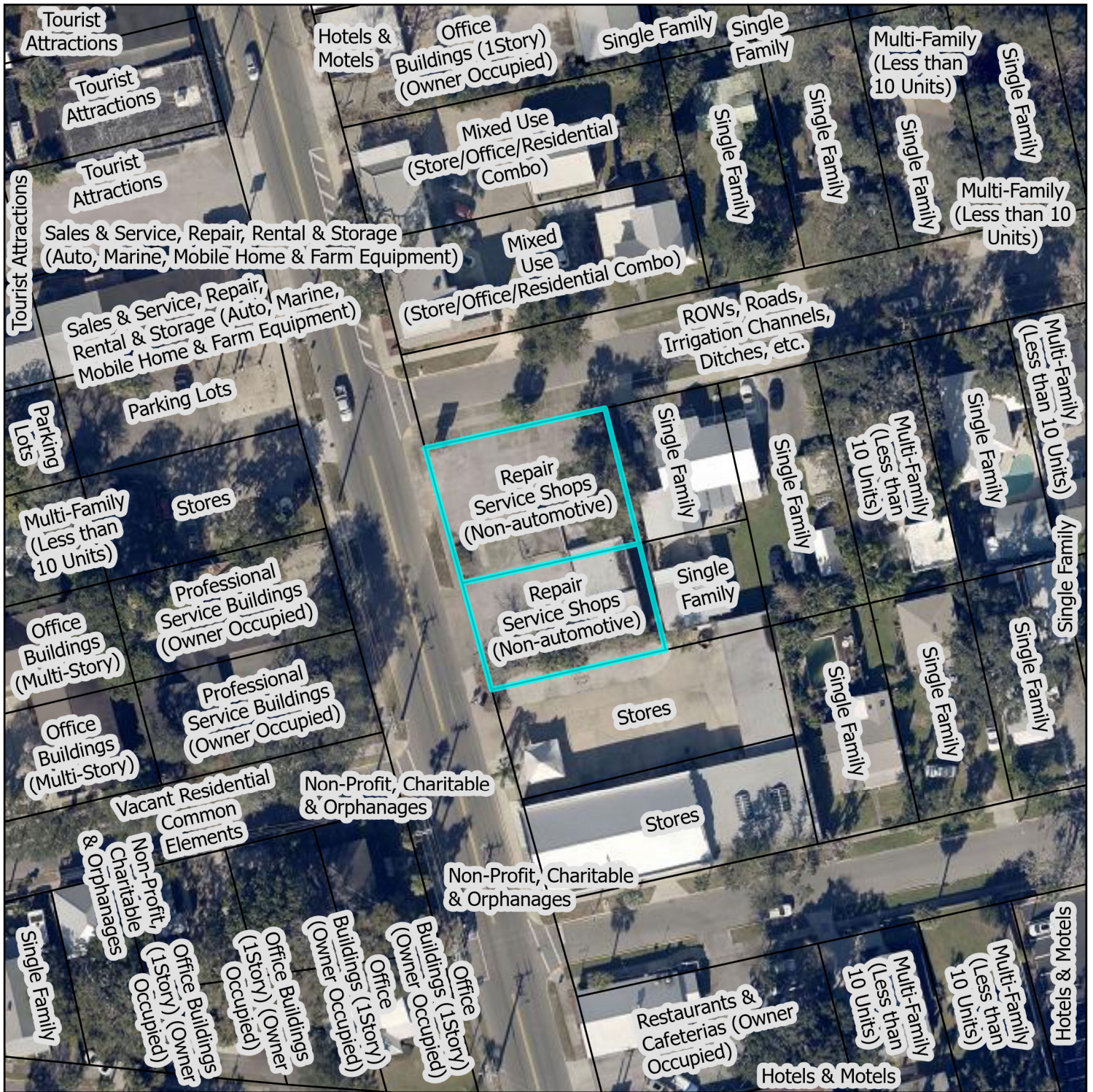
DISCLAIMER
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2025

0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



St. Johns County Property Appraiser Use Classification Map



City of St. Augustine
Planning, Zoning, & Building Department
P.O. Box 210, St. Augustine, FL 32085
Phone: (904) 825-1065

DISCLAIMER
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2025

0 0.01 0.01 Miles

0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

241 San Marco Avenue





Legend

Flood Zones FEMA

- AE
- VE



FEMA Flood Zone Map

City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

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2025



0 0.17 0.35 Miles

0 1,250 2,500 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Elevation Map



City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

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2025

0 0.01 0.01 Miles

0 40 80 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

Attachment 2: Application



**CITY OF ST AUGUSTINE
APPLICATION TO PLANNING AND ZONING BOARD**

Application Fee: _____ (plus advertising costs) Project Number: _____
 Receipt Number: _____ Meeting Date: _____
 Advertising Costs: \$ _____ Paid On: _____ Receipt Number: _____

1. NAME OF APPLICANT: Luis Garcia Contact Number: 904-540-8764
 Business (if applicable): _____
 Address: 48 Manresa Rd City: St. Augustine State: FL Zip: 32084
 E-Mail Address: luisgarcia021@aol.com

2. NAME OF PROPERTY OWNER: Leland Company's LLC Contact Number: 352-835-8425
 Business (if applicable): _____
 Address: 11053 W Harbor Watch Loop City: Crystal River State: FL Zip: 34428
 E-Mail Address: 241.san.marco@gmail.com

3. LEGAL DESCRIPTION OF PROJECT PROPERTY:
 Lot: 111 & 112 Block: 7
 Subdivision: 2-18 Fullerwood Park Parcel Number: OR5780/801

4. PROJECT STREET ADDRESS: 241 San Marco Ave. St. Augustine, FL 32084

5. SPECIFIC PROPOSED USE: high end used car dealership

6. ACTION REQUESTED:

<input type="checkbox"/> Conservation Zone Development	<input type="checkbox"/> Appeal of Staff Determination
<input checked="" type="checkbox"/> Exception	<input type="checkbox"/> Land Use Plan Amendment
<input type="checkbox"/> Variance	<input type="checkbox"/> Rezoning
<input type="checkbox"/> Other: _____	

7. DESCRIPTION OF ACTION REQUESTED: Exception needed for use of used high-end car dealership

8. JUSTIFICATION FOR ACTION REQUESTED: We would like to open a used high-end car dealership.

9. **IF APPLYING FOR A VARIANCE, PLEASE COMPLETE THE FOLLOWING AND EXPLAIN THE SITUATION FULLY ALONG WITH PROVIDING DOCUMENTATION:**

(a) Does the property because of size, shape, topography or other physical conditions, suffer singular disadvantage, which disadvantage does not apply to other properties in the vicinity:_____

(b) Can you establish that this disadvantage causes the owner to be unable to make reasonable use of the affected property:_____

(c) Can you establish that this disadvantage does not exist because of conditions created by the owner or applicant:_____

(d) Can you establish that granting of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this Section:_____

10. **PREVIOUS APPPLICATIONS:**

Has any application been submitted to the Planning & Zoning Board concerning any part of the subject property within the past year?

Yes No If yes, please give date and final disposition below.

11. **AGREEMENT:**

In filing this application, I understand that it becomes a part of Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

Application must be signed by both applicant and property owner if different. Letter of authorization must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of either property owner or applicant.

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

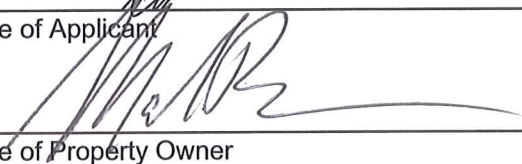
IMPORTANT NOTICE: When the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the Board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the Board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the Code.



Signature of Applicant

09/02/2025

Date



Signature of Property Owner

09/02/2025

Date



**CITY OF ST. AUGUSTINE
DEVELOPMENT PERMIT APPLICANT WAIVER**

The applicant acknowledges and agrees to waive the limitation of three requests for additional information by the City of St. Augustine, pursuant to Chapter 166.033, Florida Statutes.

The applicant acknowledges and agrees that the City offers weekly Friday Review development review meetings, as well as, department specific applicant meetings with its reviewing staff at any point in the application process to attempt to resolve outstanding issues. The applicant is responsible for scheduling any requested meetings with City staff directly.

The applicant acknowledges and agrees that if after three unresolved submittals the applicant elects to proceed with final approval or denial proceedings, the applicant must request so in writing to the City.

Luis Garcia

Print name of applicant

A handwritten signature in blue ink, appearing to read 'Luis Garcia'.

Signature of applicant

09/02/2025

Date



Owner's Authorization For Agent

Luis Garcia

_____ is/are hereby authorized TO ACT ON BEHALF OF MARK BAKER, the owner(s) of those lands described within the attached application, or described within the previously filed Application number: _____, and as described in the attached deed or other such proof of ownership as may be required, in applying to the City of St. Augustine's Planning & Zoning Board, located at: _____

BY: [Signature]
Signature of Owner

MARK BAKER
Print Name of Owner

954-471-5770
Telephone Number

State of FLORIDA

County of CITRUS

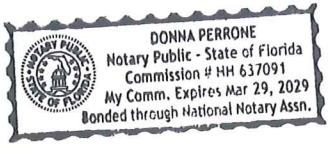
Signed and sworn before me on this 2 day of September, 2025

By Mark Baker

Identification verified:

Oath sworn: Yes No

Notary Signature: Donna Perrone



My Commission expires: 03/29/2029

PZB APPLICATION FEE SCHEDULE

Planning and Zoning Board fees are set by Resolution 2021-38 as follows:

Description of Work	Fee Amount
Rezoning: small scale	\$300.00 + ads & notices
Rezoning: large scale	\$1,000.00 + ads & notices
Land Use Plan Amendment: small scale	\$400.00 + ads & notices
Land Use Plan Amendment: large scale	\$1,400.00 + ads & notices
Planned Unit Development	\$400.00 or \$35.00/acre, whichever is greater, \$1,400 max + ads & notices
Zoning Variance	\$350.00 + ads & notices
Zoning Exception	\$250.00 + ads & notices
Conservation Overlay Zone Development	\$165.00 + ads & notices
Significant Tree Removal or Appeal of Tree Removal Permit Denial	\$165.00 + ads & notices
Appeal of Staff Determination	\$200.00 + ads & notices
Application to Amend Zoning Code	\$600.00 + ads & notices
Subdivision Plat Review	\$275.00 + ads, notices & additional associated costs

"Note: The cost of newspaper advertisement and all notices to surrounding property owners will be assessed by the city, paid by the city and reimbursed by the applicant. All advertising costs must be paid prior to issuance of a development permit.

The applicant shall reimburse the City the mailing cost for all notices and for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing."

If a Credit Card Authorization Form is used for the payment of fees, the City will maintain the form and automatically charge additional advertising and noticing fees, once determined, to the credit-card account submitted.

By signing below, I acknowledge responsibility for both the initial application fee and any subsequent costs associated with legal advertising and/or noticing and understand that permits associated with my application may not be issued until such fees are paid.

I authorize the Planning and Building Department to maintain my payment information until a final cost for advertising and/or noticing is determined and charged. If a payment method other than Credit Card Authorization Form is used, I understand that I will be sent an invoice for the costs of advertising/noticing which must be paid prior to the issuance of any development permit related to my application. I am aware that I can request a copy of these fees and my receipt from Building Department Staff.

241 San Marco Ave

Project Address: _____

Luis Garcia

Applicant's Name: _____ Applicant's Signature: _____

Leland Company's LLC

Owner's Name: _____ Owner's Signature: _____

**Electronic Articles of Organization
For
Florida Limited Liability Company**

**L13000127918
FILED 8:00 AM
September 09, 2013
Sec. Of State
nculligan**

Article I

The name of the Limited Liability Company is:

LELAND COMPANIES, LLC

Article II

The street address of the principal office of the Limited Liability Company is:

6304 SOUTH TEX POINT
HOMOSASSA, FL. 34448

The mailing address of the Limited Liability Company is:

6304 SOUTH TEX POINT
HOMOSASSA, FL. 34448

Article III

The purpose for which this Limited Liability Company is organized is:

ANY AND ALL LAWFUL BUSINESS.

Article IV

The name and Florida street address of the registered agent is:

MARK L BAKER
4146 N. CONCORD DRIVE
CRYSTAL RIVER, FL. 34428

Having been named as registered agent and to accept service of process for the above stated limited liability company at the place designated in this certificate, I hereby accept the appointment as registered agent and agree to act in this capacity. I further agree to comply with the provisions of all statutes relating to the proper and complete performance of my duties, and I am familiar with and accept the obligations of my position as registered agent.

Registered Agent Signature: MARK BAKER

SEP-11-2013 02:57 FROM: M... SERVICE 854212270 TO: ... 0330 ... 1



1300012718

04 S... Joint/Mos... FL 34448
352... phone • 850-212-0270 fax
MarkL.Baker@aol.com

Neysa Culligan
Regulatory Specialist II
Registration/Qualification Section

Reg. Document Number: W13000049715
Entity Name: LELAND COMPANIES, LLC
Tracking Number: 400251537074
Letter Number: 130909141633-400251537074

Via Fax: 850-245-6030

Dear Ms. Culligan,

My wife and I are the principles in both, Leland Companies, Inc, an administratively dissolved Florida Corporation, and the proposed Leland Companies, LLC. We will not be reinstating Leland Companies, Inc...

I called your office, and a very pleasant woman explained that a notarized letter would not be necessary. If this is not the case please let me know.

Respectfully Yours,


Mark Baker

RECEIVED
13 SEP -9 PM 4:22
SECRETARY OF STATE
TALLAHASSEE, FLORIDA



Girls Make Better Signs



2025 FLORIDA LIMITED LIABILITY COMPANY ANNUAL REPORT

DOCUMENT# L13000127918

Entity Name: LELAND COMPANIES, LLC

Current Principal Place of Business:

11053 W HARBOR WATCH LOOP
CRYSTAL RIVER, FL 34428-6234

Current Mailing Address:

7183 W GROVER CLEVELAND BLVD
HOMOSASSA, FL 34446 US

FEI Number: 42-1579339

Certificate of Status Desired: No

Name and Address of Current Registered Agent:

LELAND COMPANIES, LLC
11053 W HARBOR WATCH LOOP
CRYSTAL RIVER, FL 34428-6234 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE: MARK BAKER

03/13/2025

Electronic Signature of Registered Agent

Date

Authorized Person(s) Detail :

Title MGR
Name BAKER, MARK L
Address 6304 SOUTH TEX POINT
City-State-Zip: HOMOSASSA FL 34428

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath. I am a managing member or manager of the limited liability company or the receiver or trustee empowered to execute this report as required by Chapter 605, Florida Statutes, and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: MARK LELAND BAKER

PRESIDENT/CEO

03/13/2025

Electronic Signature of Signing Authorized Person(s) Detail

Date

Attachment 3:
St. Johns County Property Appraiser
Report

St. Johns County, FL

Apply for Exemptions

Apply for Exemptions

Homestead Compliance

This form is not a Homestead Exemption application. To apply online for homestead and related exemptions, please click [here](#).

Homestead Compliance

Sales Questionnaire Form

If you are a new owner of this property, please click here to submit a Sales Questionnaire

Sales Questionnaire

2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID	1528100000
Location Address	241 SAN MARCO AVE SAINT AUGUSTINE 32084-0000
Neighborhood	Repair Service Shop (Non-auto) B (COM) (647.57)
Tax Description*	2-18 FULLERWOOD PARK SUB ALL LOTS 111 & 112 (EX E60FT) BLK 7 OR5780/801 <i>*The Description above is not to be used on legal documents.</i>
Property Use Code	Repair Service Shops (Non-automotive) (2500)
Subdivision	Fuller Wood Park Addition to St. Augusti
Sec/Twp/Rng	48-7-30
District	City of St Augustine (District 452)
Millage Rate	18.72
Acreage	0.280
Homestead	N

[Click Here to Open Cyclomedia Viewer in a New Tab](#)



Owner Information

Owner Name	Leland Companies LLC 100%
Mailing Address	11053 W HARBOR WATCH LOOP CRYSTAL RIVER, FL 34428-0000

Map



Valuation Information

Assessed Year	2025
Building Value	\$97,285.00
Extra Features Value	\$16,302.00
Total Land Value	\$463,448.00
Agricultural (Assessed) Value	\$0.00
Agricultural (Market) Value	\$0.00
Just Market	\$577,035.00
Total Deferred	\$0.00
Assessed Value	\$577,035.00
Total Exemptions	
Taxable Value	\$577,035.00

Values listed are from our working tax roll and are subject to change. Exemption and taxable values shown reflect County-level assessment.

Historical Assessment Information

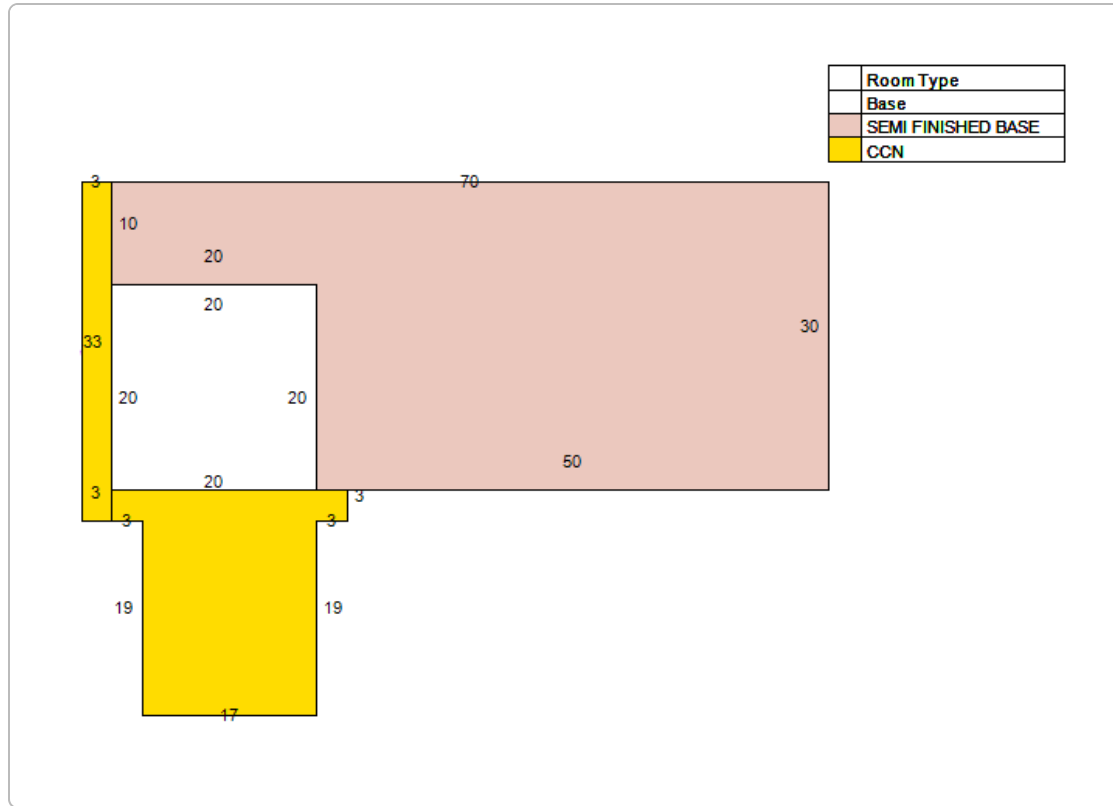
Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value
2024	94434	17085	426860	0
2023	47445	12805	360000	0
2022	34253	7559	240000	0
2021	35966	8533	240000	0
2020	37679	9508	240000	0
2019	30958	10483	240000	0
2018	26688	10971	240000	0
2017	22418	3233	180000	0
2016	24019	3852	180000	0
2015	25354	4474	180000	0
2014	25118	5095	97200	0

Building Information

Building	1	Roof Cover	Built Up
Building Value	\$97,285	Roof Structure	Wood Truss
Year Built	1955	Interior Flooring	Concrete Finish
Actual Area	2591	Interior Wall	Drywall
Conditioned Area	1675	Heating Type	Forced Air
Use	Repair Service Shops (Non-Automotive)	Air Conditioning	Window
Style	04	Bedrooms	
Exterior Wall	Concrete Stucco	Baths	

Description	Square Footage
FINISHED CANOPY	99
SEMI-FINISHED BASE	1700
BASE AREA	400
FINISHED CANOPY	392
Total SqFt	2591

Sketch Information



Extra Feature Information

Code Description	Status	Value
Concrete Paving - Under 8" (COM)		4416
Asphalt Paving (COM)		11278
Metal Fence - 6' (COM)		608

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Repair Service Shops (Non-automotive)	120	100	12196	SF	\$463,448

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
6/23/2023	6/22/2023	\$850,000.00	WARRANTY DEED	5780	801	Q	I	JACALONE JOSEPH O,JENNIFER LEE	LELAND COMPANIES LLC
7/27/2012	7/24/2012	\$100.00	WARRANTY DEED	3593	73	U	I	JACALONE JOSEPH O,JENNIFER LEE	JACALONE JOSEPH O,JENNIFER LEE
	10/25/1999	\$100.00	WARRANTY DEED	1460	1200	U	I	JACALONE JOSEPH O & MARC A JACALONE	JACALONE JOSEPH O
	2/11/1997	\$100.00	WARRANTY DEED	1234	1605	U	I	JACALONE JOSEPH O ETAL	JACALONE JOSEPH O & MARC A (T/C)
	2/11/1997	\$100.00	WARRANTY DEED	1225	58	U	I	JACALONE JEANETTE M	JACALONE JOSEPH O & MARC A
	5/1/1990	\$0.00		855	1208	U	I		JACALONE JOSEPH,JEANETTE M ***
	3/1/1981	\$65,000.00		486	643	U	I		

No data available for the following modules: Exemption Information.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.
[User Privacy Policy](#) | [GDPR Privacy Notice](#)
 Last Data Upload: 9/8/2025, 10:04:34 AM

Contact Us



Attachment 4:
Conceptual Site Renderings





Planning and Zoning Board

Planning Division Staff Report
 Planning and Building Department

Public Hearing Date	Agenda Item	Application Number
October 7, 2025	8.a	PZB2025-0068
Request	Address	Parcel ID
Rezoning	SR 312	162210-0016
	SR 312	162210-0017
	SR 312	162210-0020
[HYPERLINKS TO ST. JOHNS COUNTY PROPERTY APPRAISER'S WEBSITE]		

Site & Background Information

Applicant:	Amy Skinner c/o City of St. Augustine – Property Manager
Owner:	TIITF
Property Class: (St. Johns County Property Appraiser)	8710 – State Owned – TIITF
Future Land Use Designation:	Recreation/Open Space
Zoning Designation:	Commercial Medium-Two: CM-2 [LINK TO CODE SECTION] Residential and General Office A: RGO-A [LINK TO CODE SECTION]
Acreage:	54.67
Neighborhood:	N/A
Archaeological Zone:	N/A

Request Summary

This application is a request to rezone approximately 54.67 upland acres of property in the vicinity of SR 312 along the Matanzas River. The requested rezoning is for both Commercial Medium-Two: CM-2 and Residential and General Office A: RGO-A designations to a compatible Government Use: GU zoning designation.

Staff Analysis of Request and Consistency with the City of St. Augustine’s Comprehensive Plan 2040

Goal, Policy, or Objective	Staff Analysis
Future Land Use Element [LINK TO DOCUMENT]	
<p>Policy 6.7.3</p> <p>Recreation/Open Space</p> <p>Lands public or private devoted to and operated for recreational uses, such as parks, sports fields, and historic sites, but not commercial business or commercial tourist attractions.</p> <p>The density and intensity will adhere to the most restrictive adjacent land use designation.</p>	<p>The Recreation/Open Space future land use designation is the current designation for the approximately 54.67 upland acre properties.</p>
<p>Policy 6.7.3.1</p> <p>The recreational land use category is intended to accommodate existing public parks and recreation areas as well as committed public parks.</p>	
Historic Preservation Element [LINK TO DOCUMENT]	
Conservation and Coastal Management Element [LINK TO DOCUMENT]	
Recreation and Open Space Element [LINK TO DOCUMENT]	
Transportation and Mobility Element [LINK TO DOCUMENT]	
Housing Element [LINK TO DOCUMENT]	
Infrastructure Element [LINK TO DOCUMENT]	

Staff Analysis of Request and Applicable Sections from the City of St. Augustine’s Code of Ordinances

Based on Sec. 28-30 of the City’s Code, the land use plan and land use map established by the comprehensive plan may also be amended and the zoning atlas may from time to time be revised by the rezoning of land as provided in this section. [[LINK TO CODE SECTION](#)]

Proposals to amend the city’s zoning atlas shall be submitted in writing, accompanied by all pertinent information which may be required for proper consideration of the matter. The Planning and Zoning Board (PZB) is required to review these types of requests and provide a report and recommendations to the city commission. At a

minimum, the PZB shall show that they studied and considered the need and justification for the change, the relationship of the proposed amendment and rezoning to the city's general planning program and such comprehensive plans, and consistency with the comprehensive plan. Below is the code language for the Government use district: GU, the requested zoning designation of this application.

Sec. 28-266. - Government use district: GU.

Intent. It is the intent of this division that certain lands, which are owned by federal, state or local government and are used for a purpose which is particularly and peculiarly related to governmental functions, shall be placed in a government use—GU district. Any lawful governmental activity is permitted upon such lands without restriction so long as the title to the land is vested in the government. Provided, however, that as to lands the title of which is vested with the government but leased to private persons, firms or corporations, such lands may be used for any private lawful purpose specifically authorized by the lease agreement under which the tenant holds possession. Any lands in a GU district which are converted to private ownership shall be rezoned to a district other than GU as lands in the GU district are restricted exclusively to governmental functions. This provision shall not, however, be deemed to prevent the use by any government of lands located in districts other than GU, provided such use is in compliance with all provisions of this chapter applicable to such other districts.

Staff Recommendation

Based on Sec. 28-30 staff finds that the Board may make a **POSITIVE RECOMMENDATION** to the city commission to rezone the approximately 54.67-acre upland properties from Commercial Medium-Two: CM-2 and Residential and General Office A: RGO-A to a compatible Government Use: GU zoning designation.

The required Board report as part of a potential positive recommendation could include that the Board has studied and considered:

- (1) The need and justification for the change stems from the fact that the city now manages the land described above and intends for it to be used for public and conservation purposes.
- (2) The positive relationship of the proposed amendment and rezoning to the city's general planning program through the 2025 Vision Plan's objective to conserve natural resources and ecosystems as part of enhancing the city's resiliency.
- (3) This request and proposal's consistency with the comprehensive plan as analyzed, documented, and found above in this report.

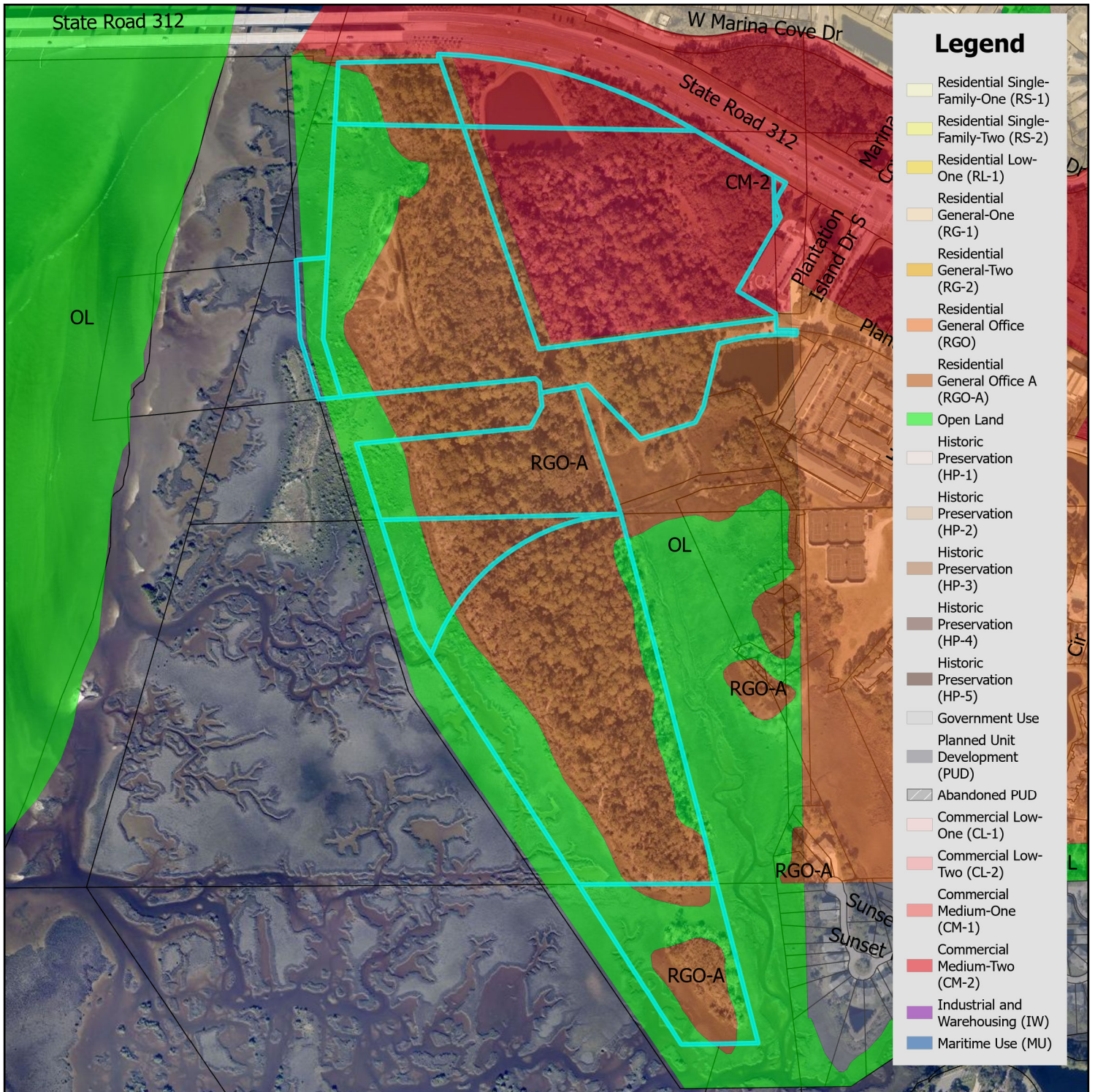
Attachments

1. Site Maps & Photos
2. Application
3. St. Johns County Property Appraiser Report

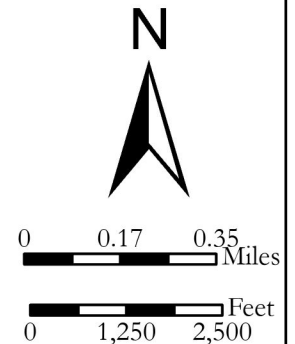
Staff Report prepared by:

Jacob Fredriksson, CNU-A
Planning Manager
Planning and Building Department

**Attachment 1:
Site Maps & Photos**



Zoning Map

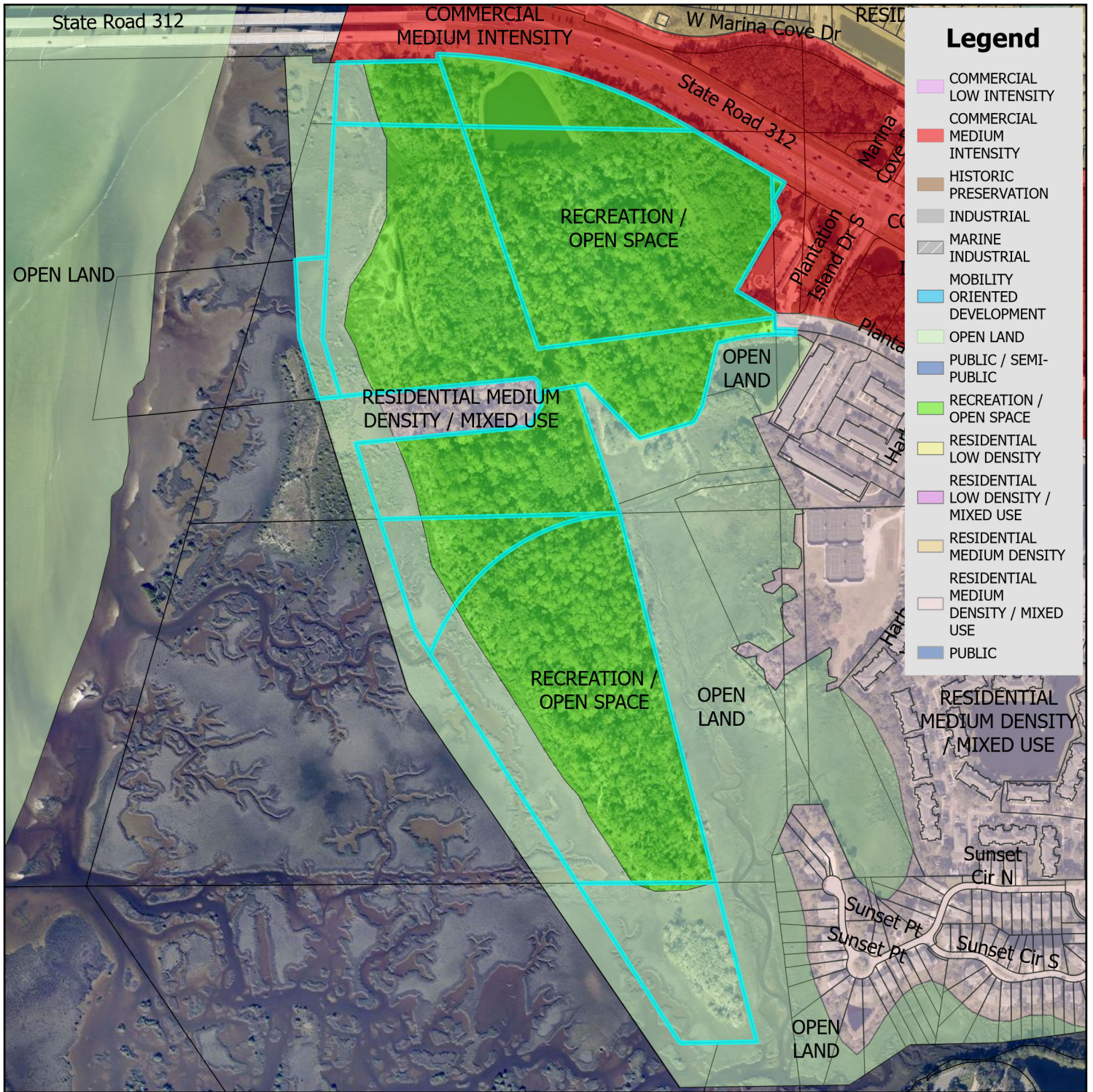


City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
 This map is for reference only. Data provided are derived from multiple sources with varying levels of accuracy. The City of St. Augustine disclaims all responsibility for the accuracy or completeness of the data shown herein.

2025

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

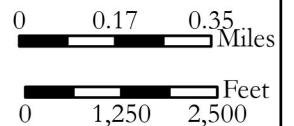


Future Land Use Map

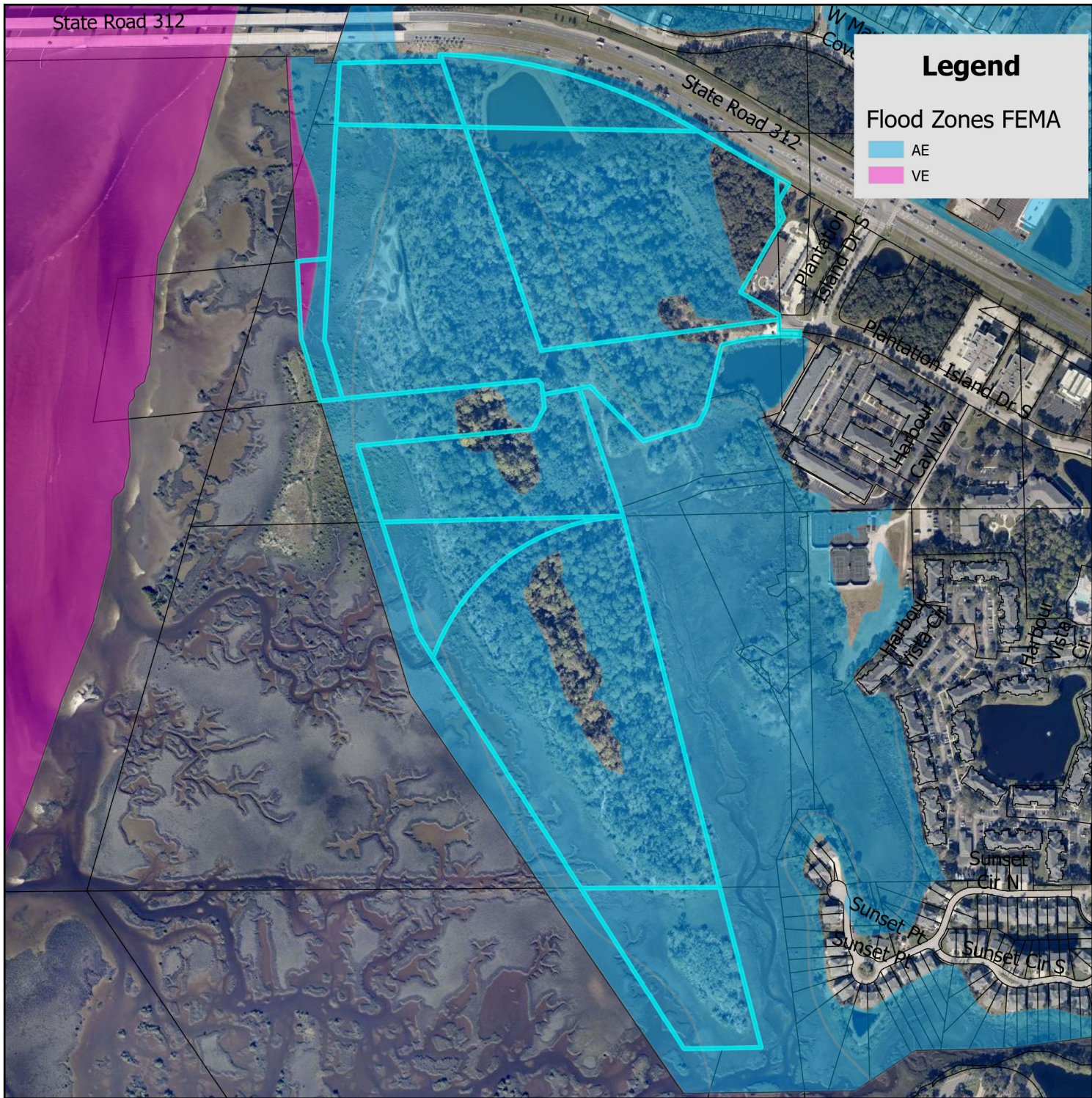
City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

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2025



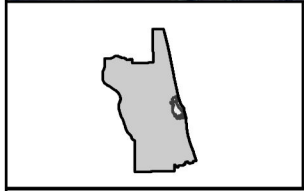
Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Legend

Flood Zones FEMA

- AE
- VE



FEMA Flood Zone Map

N

0 0.17 0.35 Miles

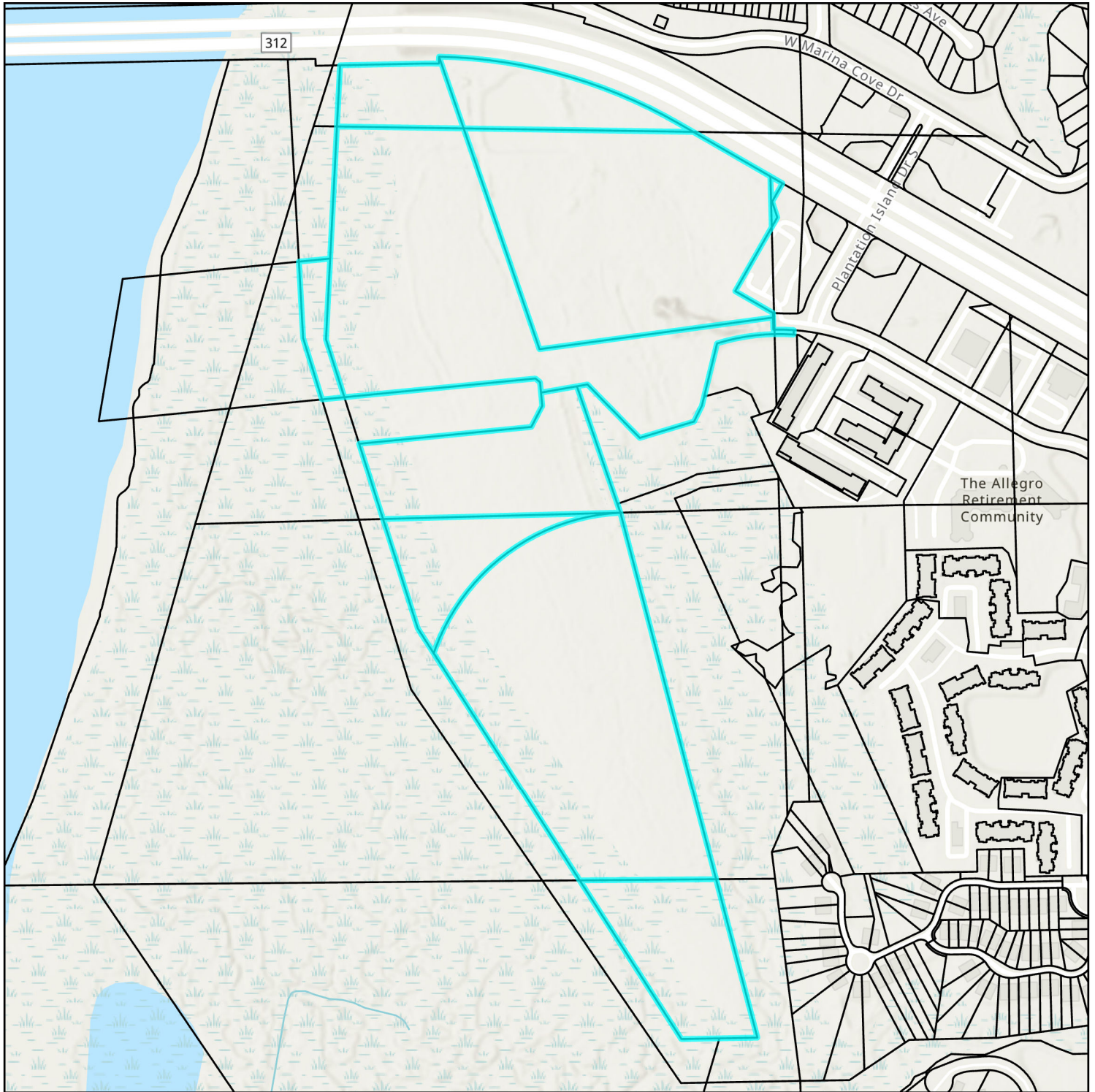
0 1,250 2,500 Feet

City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

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2025

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet



Elevation Map

City of St. Augustine
 Planning, Zoning, & Building Department
 P.O. Box 210, St. Augustine, FL 32085
 Phone: (904) 825-1065

DISCLAIMER
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2025



0 0.04 0.09 Miles

0 295 590 Feet

Coordinate System: NAD 1983 StatePlane Florida East FIPS 0901 Feet

Attachment 2: Application



CITY OF ST AUGUSTINE APPLICATION TO PLANNING AND ZONING BOARD

Application Fee: _____ (plus advertising costs) Project Number: _____

Receipt Number: _____ Meeting Date: _____

Advertising Costs: \$ _____ Paid On: _____ Receipt Number: _____

1. NAME OF APPLICANT: Amy Skinner Contact Number: 904-209-4320

Business (if applicable): City of St. Augustine

Address: 75 King St City: St. Augustine State: FL Zip: 32084

E-Mail Address: askinner@citystaug.com

2. NAME OF PROPERTY OWNER: Tiitf/City of St. Augustine Contact Number: _____

Business (if applicable): _____

Address: _____ City: _____ State: _____ Zip: _____

E-Mail Address: _____

3. LEGAL DESCRIPTION OF PROJECT PROPERTY:

Lot: See attached Block: See attached

Subdivision: N/A Parcel Number: 1622100016, 1622100017, 1622100020

4. PROJECT STREET ADDRESS: SR 312

5. SPECIFIC PROPOSED USE: Conservation / Recreation

6. ACTION REQUESTED:

Conservation Zone Development Appeal of Staff Determination

Exception Land Use Plan Amendment

Variance Rezoning

Other: _____

7. DESCRIPTION OF ACTION REQUESTED: Total of approximately 54.67 upland acres changing from Residential General Office A (RGO-A) to Government Use (GU).

8. JUSTIFICATION FOR ACTION REQUESTED: City purchased the property as part of the conservation lands program.

9. **IF APPLYING FOR A VARIANCE, PLEASE COMPLETE THE FOLLOWING AND EXPLAIN THE SITUATION FULLY ALONG WITH PROVIDING DOCUMENTATION:**

- (a) Does the property because of size, shape, topography or other physical conditions, suffer singular disadvantage, which disadvantage does not apply to other properties in the vicinity: _____

- (b) Can you establish that this disadvantage causes the owner to be unable to make reasonable use of the affected property: _____

- (c) Can you establish that this disadvantage does not exist because of conditions created by the owner or applicant: _____

- (d) Can you establish that granting of the variance will not be contrary to the public interest; will not adversely affect other property in the vicinity; and will be in harmony with the spirit, intent and purpose of this Section: _____

10. PREVIOUS APPPLICATIONS:

Has any application been submitted to the Planning & Zoning Board concerning any part of the subject property within the past year?

Yes No If yes, please give date and final disposition below.

11. AGREEMENT:

In filing this application, I understand that it becomes a part of Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

Application must be signed by both applicant and property owner if different. Letter of authorization must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of either property owner or applicant.

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.

IMPORTANT NOTICE: When the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. If the applicant requests a continuance, the decision to grant or deny the request for continuance will be decided by a vote of the Board at the scheduled hearing date. The applicant, or a duly authorized representative with authority to bind, should be present at the scheduled hearing date to answer questions from the board regarding the application. If the board votes to deny the request for a continuance, the hearing on the application will go forward, whether or not the applicant is present, and could result in a denial of the application if the Board finds that the application and supporting documents submitted prior to the meeting do not meet the criteria of the Code.

Amy McClure Skinner

Digitally signed by Amy McClure Skinner
Date: 2025.08.13 10:56:39 -04'00'

Signature of Applicant

Date

Amy McClure Skinner

Digitally signed by Amy McClure Skinner
Date: 2025.08.13 10:56:58 -04'00'

Signature of Property Owner

Date

04/18/2019



**CITY OF ST. AUGUSTINE
DEVELOPMENT PERMIT APPLICANT WAIVER**

The applicant acknowledges and agrees to waive the limitation of three requests for additional information by the City of St. Augustine, pursuant to Chapter 166.033, Florida Statutes.

The applicant acknowledges and agrees that the City offers weekly Friday Review development review meetings, as well as, department specific applicant meetings with its reviewing staff at any point in the application process to attempt to resolve outstanding issues. The applicant is responsible for scheduling any requested meetings with City staff directly.

The applicant acknowledges and agrees that if after three unresolved submittals the applicant elects to proceed with final approval or denial proceedings, the applicant must request so in writing to the City.

Amy Skinner

Print name of applicant

**Amy McClure
Skinner** Digitally signed by
Amy McClure Skinner
Date: 2025.08.13
10:57:19 -04'00'

Signature of applicant

08/13/2025

Date



Owner's Authorization For Agent

Amy Skinner _____ is/are hereby authorized TO ACT ON BEHALF OF City of St. Augustine, the owner(s) of those lands described within the attached application, or described within the previously filed Application number: _____, and as described in the attached deed or other such proof of ownership as may be required, in applying to the City of St. Augustine's Planning & Zoning Board, located at: _____

BY: Amy McClure Skinner Digitally signed by Amy McClure Skinner
Date: 2025.08.13 10:58:02 -04'00'

Signature of Owner
Amy McClure Skinner

Print Name of Owner
904-209-4320

Telephone Number

State of _____

County of _____

Signed and sworn before me on this _____ day of _____, 20__.

By _____

Identification verified:

Oath sworn: _____ Yes _____ No

Notary Signature: _____

My Commission expires: _____

PZB APPLICATION FEE SCHEDULE

Planning and Zoning Board fees are set by Resolution 2021-38 as follows:

Description of Work	Fee Amount
Rezoning: small scale	\$300.00 + ads & notices
Rezoning: large scale	\$1,000.00 + ads & notices
Land Use Plan Amendment: small scale	\$400.00 + ads & notices
Land Use Plan Amendment: large scale	\$1,400.00 + ads & notices
Planned Unit Development	\$400.00 or \$35.00/acre, whichever is greater, \$1,400 max + ads & notices
Zoning Variance	\$350.00 + ads & notices
Zoning Exception	\$250.00 + ads & notices
Conservation Overlay Zone Development	\$165.00 + ads & notices
Significant Tree Removal or Appeal of Tree Removal Permit Denial	\$165.00 + ads & notices
Appeal of Staff Determination	\$200.00 + ads & notices
Application to Amend Zoning Code	\$600.00 + ads & notices
Subdivision Plat Review	\$275.00 + ads, notices & additional associated costs

“Note: The cost of newspaper advertisement and all notices to surrounding property owners will be assessed by the city, paid by the city and reimbursed by the applicant. All advertising costs must be paid prior to issuance of a development permit.

The applicant shall reimburse the City the mailing cost for all notices and for any subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling of any hearing.”

If a Credit Card Authorization Form is used for the payment of fees, the City will maintain the form and automatically charge additional advertising and noticing fees, once determined, to the credit-card account submitted.

By signing below, I acknowledge responsibility for both the initial application fee and any subsequent costs associated with legal advertising and/or noticing and understand that permits associated with my application may not be issued until such fees are paid.

I authorize the Planning and Building Department to maintain my payment information until a final cost for advertising and/or noticing is determined and charged. If a payment method other than Credit Card Authorization Form is used, I understand that I will be sent an invoice for the costs of advertising/noticing which must be paid prior to the issuance of any development permit related to my application. I am aware that I can request a copy of these fees and my receipt from Building Department Staff.

Project Address: SR 312

Applicant’s Name: Amy Skinner Applicant’s Signature: Amy McClure Skinner
Digitally signed by Amy McClure Skinner
Date: 2025.08.13 11:08:08 -04'00'

Owner’s Name: Amy Skinner Owner’s Signature: Amy McClure Skinner
Digitally signed by Amy McClure Skinner
Date: 2025.08.13 11:08:28 -04'00'

Attachment 3:
St. Johns County Property Appraiser
Report

St. Johns County, FL

Apply for Exemptions

Apply for Exemptions

Homestead Compliance

This form is not a Homestead Exemption application. To apply online for homestead and related exemptions, please click [here](#).

Homestead Compliance

2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID 1622100016
Location STATE ROAD 312
Address SAINT AUGUSTINE 32080-0000
Neighborhood Anastasia Island (COM) (2650.01)
Tax 3-1F PTS OF GLS 2 & 3 LYING S OF SR312 - DEED PARCELS 1 & 2 (EX ANY PT OF PARCEL 2 OUTSIDE CITY LIMITS OF CITY OF ST AUG) (EX PT IN OR3015/910) OR4835/1731
Description* **The Description above is not to be used on legal documents.*
Property Use Code State Owned - TIITF (8710)
Subdivision N/A
Sec/Twp/Rng 29-7-30
District City of St Augustine (District 452)
Millage Rate 18.72
Acreage 36.640
Homestead N

[Click Here to Open Cyclomedia Viewer in a New Tab](#)



Owner Information

Owner Name [Tiitf](#) 100%
Mailing Address C/O FLORIDA DEPT OF ENVIRONMENTAL PROTECTION
 3900 COMMONWEALTH BLVD MAIL STATION 115
 TALLAHASSEE, FL 32399-3000

Exemption Information

Exemption Type	Status	Amount
State (TRIIF)		\$5,900,349

Map



Valuation Information

Assessed Year	2025
Building Value	\$0.00
Extra Features Value	\$1,552.00
Total Land Value	\$6,110,630.00
Agricultural (Assessed) Value	\$0.00
Agricultural (Market) Value	\$0.00
Just Market	\$6,112,182.00
Total Deferred	\$211,833.00
Assessed Value	\$5,900,349.00
Total Exemptions	\$5,900,349.00
Taxable Value	\$0.00

Values listed are from our working tax roll and are subject to change. Exemption and taxable values shown reflect County-level assessment.

Historical Assessment Information

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value
2024	\$0	\$1,683	\$6,110,630	\$0
2023	\$0	\$1,815	\$4,874,507	\$0
2022	\$0	\$0	\$4,873,330	\$0
2021	\$0	\$0	\$4,873,330	\$0
2020	\$0	\$0	\$4,873,330	\$0
2019	\$0	\$0	\$1,465,030	\$0
2018	\$0	\$0	\$1,465,030	\$0
2017	\$0	\$0	\$1,465,030	\$0
2016	\$0	\$0	\$1,465,030	\$0
2015	\$0	\$0	\$1,465,030	\$0
2014	\$0	\$0	\$1,465,030	\$0

Extra Feature Information

Code Description	Status	Value
Gate - Average (Mix)		461
Wood Fence - Under 6' (COM)		1091

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
State Owned	0	0	27.14	AC	\$6,106,500
Conservation Easements	0	0	7.02	AC	\$3,510
Marshes & Tidal Lands	0	0	2.48	AC	\$620

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
11/21/2019	11/15/2019	\$6,500,000.00	WARRANTY DEED	4835	1731	U	V	FISH ISLAND DEVELOPMENT LLC	THTF

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
11/21/2019	11/15/2019	\$0.00	QUIT CLAIM DEED	4835	1667	U	V	FISH ISLAND VILLAGE LLC	FISH ISLAND DEVELOPMENT LLC
1/30/2017	1/27/2017	\$0.00	LIS PENDENS	4323	1547	U	V	ATLANTIC COAST BANK	FISH ISLAND DEVELOPMENT LLC
5/30/2012	3/20/2012	\$100.00	CONSERVATION EASEMENT	3567	408	U	V	ST JOHNS RIVER WATER MANAGEMENT DISTRICT	FISH ISLAND DEVELOPMENT LLC
7/19/2011	7/18/2011	\$100.00	CONSERVATION EASEMENT	3455	1925	U	V	FISH ISLAND DEVELOPMENT LLC	ST JOHNS RIVER WATER MANAGEMENT DISTRICT
	11/19/2007	\$0.00	OTHER INSTRUMENT	3015	848	U	V		FISH ISLAND DEVELOPMENT LLC
	11/25/2002	\$100.00	QUIT CLAIM DEED	1956	33	U	V	THOMPSON BROS REALTY ETAL	FISH ISLAND DEVELOPMENT LLC
	11/25/2002	\$100.00	QUIT CLAIM DEED	1956	27	U	V	THOMPSON BROS REALTY ETAL	FISH ISLAND DEVELOPMENT LLC
	11/21/2002	\$2,600,000.00	WARRANTY DEED	1956	19	Q	V	THOMPSON BROS REALTY INC ETAL	FISH ISLAND DEVELOPMENT LLC

No data available for the following modules: Sales Questionnaire Form, Building Information, Sketch Information.

The St. Johns County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation.

[User Privacy Policy](#) | [GDPR Privacy Notice](#)
 Last Data Upload: 8/12/2025, 11:53:03 PM

Contact Us



St. Johns County, FL

Apply for Exemptions

Apply for Exemptions

Homestead Compliance

This form is not a Homestead Exemption application. To apply online for homestead and related exemptions, please click [here](#).

Homestead Compliance

2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID	1622100017	
Location	STATE ROAD 312	No Image Available
Address	SAINT AUGUSTINE 32080-0000	
Neighborhood	Anastasia Island (COM) (2650.01)	
Tax Description*	3-1G PT OF GLS 3 & 6 INSIDE ST AUG CITY LIMITS BY ORD #95-31 #97-13 & #98-14 - AKA PHASE 2 OR4835/1731 <i>*The Description above is not to be used on legal documents.</i>	
Property Use Code	State Owned - TIITF (8710)	
Subdivision	N/A	
Sec/Twp/Rng	29-7-30	
District	City of St Augustine (District 452)	
Millage Rate	18.72	
Acreage	9.690	
Homestead	N	

Owner Information

Owner Name [Titif](#) 100%
Mailing Address C/O FLORIDA DEPT OF ENVIRONMENTAL PROTECTION
3900 COMMONWEALTH BLVD MAIL STATION 115
TALLAHASSEE, FL 32399-3000

Exemption Information

Exemption Type	Status	Amount
State (TRIIF)		\$634,113

Map



Valuation Information

Assessed Year	2025
Building Value	\$0.00
Extra Features Value	\$0.00
Total Land Value	\$1,470,040.00
Agricultural (Assessed) Value	\$0.00
Agricultural (Market) Value	\$0.00
Just Market	\$1,470,040.00
Total Deferred	\$835,927.00
Assessed Value	\$634,113.00
Total Exemptions	\$634,113.00
Taxable Value	\$0.00

Values listed are from our working tax roll and are subject to change. Exemption and taxable values shown reflect County-level assessment.

Historical Assessment Information

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value
2024	\$0	\$0	\$1,470,040	\$0
2023	\$0	\$0	\$524,060	\$0
2022	\$0	\$0	\$522,435	\$0
2021	\$0	\$0	\$522,435	\$0
2020	\$0	\$0	\$522,435	\$0
2019	\$0	\$0	\$160,185	\$0
2018	\$0	\$0	\$160,185	\$0
2017	\$0	\$0	\$160,185	\$0
2016	\$0	\$0	\$160,185	\$0
2015	\$0	\$0	\$160,185	\$0
2014	\$0	\$0	\$160,185	\$0

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
State Owned	0	0	6.53	AC	\$1,469,250
Marshes & Tidal Lands	0	0	3.16	AC	\$790

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
11/21/2019	11/15/2019	\$6,500,000.00	WARRANTY DEED	4835	1731	U	V	FISH ISLAND DEVELOPMENT LLC	TIITF
11/21/2019	11/15/2019	\$0.00	QUIT CLAIM DEED	4835	1667	U	V	FISH ISLAND VILLAGE LLC	FISH ISLAND DEVELOPMENT LLC
1/30/2017	1/27/2017	\$0.00	LIS PENDENS	4323	1547	U	V	ATLANTIC COAST BANK	FISH ISLAND DEVELOPMENT LLC
	5/14/2004	\$1,000,000.00	WARRANTY DEED	2203	816	Q	V	THOMPSON BROS REALTY INC, MIZELL ZANE R ETAL	FISH ISLAND DEVELOPMENT LLC

St. Johns County, FL

Apply for Exemptions

Apply for Exemptions

Homestead Compliance

This form is not a Homestead Exemption application. To apply online for homestead and related exemptions, please click [here](#).

Homestead Compliance

2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID	1622100020	
Location Address	STATE ROAD 312	No Image Available
	SAINT AUGUSTINE 32080-0000	
Neighborhood	Anastasia Island (COM) (2650.01)	
Tax Description*	3-1J PT OF GLS 3 & 6 SEC 29 & PT SEC 32-T7S-R30E - PHASE 3 OR4835/1731	
	<i>*The Description above is not to be used on legal documents.</i>	
Property Use Code	State Owned - TIITF (8710)	
Subdivision	N/A	
Sec/Twp/Rng	29-7-30	
District	City of St Augustine (District 452)	
Millage Rate	18.72	
Acreage	23.570	
Homestead	N	

Owner Information

Owner Name [Titif](#) 100%
Mailing Address C/O FLORIDA DEPT OF ENVIRONMENTAL PROTECTION
3900 COMMONWEALTH BLVD MAIL STATION 115
TALLAHASSEE, FL 32399-3000

Exemption Information

Exemption Type	Status	Amount
State (TRIIF)		\$3,033,275

Map



Valuation Information

Assessed Year	2025
Building Value	\$0.00
Extra Features Value	\$0.00
Total Land Value	\$3,033,275.00
Agricultural (Assessed) Value	\$0.00
Agricultural (Market) Value	\$0.00
Just Market	\$3,033,275.00
Total Deferred	\$0.00
Assessed Value	\$3,033,275.00
Total Exemptions	\$3,033,275.00
Taxable Value	\$0.00

Values listed are from our working tax roll and are subject to change. Exemption and taxable values shown reflect County-level assessment.

Historical Assessment Information

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value
2024	\$0	\$0	\$3,033,275	\$0
2023	\$0	\$0	\$3,033,275	\$0
2022	\$0	\$0	\$3,033,275	\$0
2021	\$0	\$0	\$3,033,275	\$0
2020	\$0	\$0	\$3,033,275	\$0
2019	\$0	\$0	\$640,400	\$0
2018	\$0	\$0	\$640,400	\$0
2017	\$0	\$0	\$640,400	\$0
2016	\$0	\$0	\$640,400	\$0
2015	\$0	\$0	\$640,400	\$0
2014	\$0	\$0	\$640,400	\$0

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
State Owned	0	0	13.47	AC	\$3,030,750
Marshes & Tidal Lands	0	0	10.1	AC	\$2,525

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11/21/2019	11/15/2019	\$0.00	QUIT CLAIM DEED	4835	1667	U	V	FISH ISLAND VILLAGE LLC	FISH ISLAND DEVELOPMENT LLC
1/30/2017	1/27/2017	\$0.00	LIS PENDENS	4323	1547	U	V	ATLANTIC COAST BANK	FISH ISLAND DEVELOPMENT LLC
	6/2/2005	\$2,700,000.00	WARRANTY DEED	2456	772	Q	V	THOMPSON BROS REALTY INC & MIZELL ZANE ETAL	FISH ISLAND DEVELOPMENT LLC