



CITY OF
ST. AUGUSTINE
EST. 1565
CORRIDOR REVIEW COMMITTEE

A G E N D A

THURSDAY, DECEMBER 4, 2025 - 2:00 PM

ALCAZAR ROOM

1. Roll Call
2. General Public Comments for Items not on the Agenda
3. Approval of Minutes
 - a) November 6, 2025 - Regular Meeting
4. Modification and approval of Agenda
5. New Business
 - a) HP2025-0071 Gulfstream Design Group, LLC - Applicant
City of St. Augustine - Owner
500 Anastasia Boulevard
To construct a new fire station and public use facility along the Anastasia Boulevard Entry Corridor.
6. Other Business
7. Next Scheduled Meeting Date(s):
 - a) January 8, 2026 - Regular Meeting (pending application submittal)
8. Adjournment

Notices: In accordance with Florida Statute 286.0105: "If any person decides to appeal any decision made by the Historic Architectural Review Board with respect to any matter considered at this scheduled meeting or hearing, the person will need a record of the proceedings, and for such purpose the person may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." In accordance with the Americans with Disabilities Act, persons needing a special accommodation to participate in this proceeding should contact the individual or agency sending notice not later than seven days prior to the proceeding at the address given on the notice. Telephone: (904) 825-1007 or 1-800-955-8771 (TDD).

Please note that one or more members of the City Commission or its appointed boards or committees may attend this meeting and participate, however they may not engage in a discussion or debate amongst themselves on any issue that will likely come before their respective elected or appointed body.

The materials prepared and presented are part of the City's ongoing Florida Public Records and Government in the Sunshine compliance, and are not intended to be relied upon or to reach investors or the trading markets.

CITY OF ST. AUGUSTINE

Corridor Review Committee Meeting
November 6, 2025

The Corridor Review Committee met in formal session at 2:00 P.M., Thursday, , in the Alcazar Room at City Hall, St. Augustine, Florida. Varghn Cochran, Chairperson, called the regular meeting to order, and the following were present:

1. ROLL CALL: Vaughn Cochran, Chairperson
Lorna MacDonald, Vice-Chair
Michael Blake

City Staff: Julie Courtney, Historic Preservation Officer
Candice Seymour, Historic Preservation Planner
Isabelle Lopez, City Attorney
Elyse Wiemann, Recording Secretary

2. General Public Comments for Items not on the Agenda

(None)

3. Approval of Minutes

- A) April 3, 2025- Regular Meeting
- B) June 26, 2025-Regular Meeting

MOTION

Lorna MacDonald MOVED to APPROVE the April 3,2025 and June 26, 2025, meeting minutes as presented. The motion was SECONDED by Michael Blake and APPROVED BY UNANIMOUS VOICE VOTE.

4. Modification and approval of Agenda

MOTION

Ms. MacDonald MOVED to APPROVE the Agenda as presented. The motion was SECONDED by Mr. Blake and APPROVED BY UNANIMOUS VOICE VOTE.

5. New Business

5. (a) HP2025-0067– Marquis Latimer + Halback, Inc– Applicant Lion gate of St. Augustine, LLC– Owner W King Street (PIDs 1124300000 and 1124200000)

To modify previously approved Design Approval application HP2022-0006 to construct a new three-story residential development on two vacant lots along the King Street Entry Corridor.

Ms. Seymour read the staff report and said based on a review of the King Street Design Standards for Entry Corridors and without evidence, to the contrary the CRC may APPROVE the proposed design if the CRC can make the following findings under the review criteria in section 3.3.2:

Criteria 1: The proposed project meets the intent of the King Street Design Standards

Criteria 2: Approval of the proposal will not set an unintended precedent; Note: Unique qualities of the application will be identified to substantiate the approval and avoid a perceived assumption of precedence.

Criteria 3: Approval of the request will not be detrimental to the physical characteristics of the neighboring sites or the overlay district as a whole, with respect

to the physical characteristics prescribed within the authority of this document. With any modifications as identified by staff or the Committee if the CRC finds that such modifications meet the criteria detailed in section 3.7.5:

Criteria 1: Strict application of the standards is not warranted and granting the Modification will fulfill the intent of the standards.

Criteria 2: The Modification is not a prohibited type of modification listed in Section 3.7.4.

Criteria 3: The Modification is consistent with the Comprehensive Plan and generally consistent with the purpose of the city's Land Development Regulations and the Standards.

Criteria 4: The Modification will not have a material negative impact on adjacent uses, or the applicant proposes to mitigate the negative impact to be created by the modification.

All findings must be proven by the applicant and accepted by the CRC in order to grant a modification. In doing so, the CRC recognizes that the approval is unique to this property and its conditions and does not establish any precedent.

If these findings cannot be made based upon this application and any additional testimony the Modification can be denied, and the applicant may seek an appeal before the City Commission.

Jeremy Marquis and Les Thomas reviewed the project with the Committee.

Ex Parte Communication:

(None)

Board Discussion:

- Renderings helped to identify the recreated elements showing why the structure would fit in the area
- Happy there was an effort to save the tree on the back of the lot

Mr. Marquis replied that the colors and finishes were in the process of being selected, as they were not regulated for the entry corridor on the west side of US1 unlike the east side. He said this was the idea, but it was not finalized.

Mr. Blake asked if the clock from the iconic Magic Beach Hotel could not be salvaged would they try and obtain a similar element.

Mr. Thomas replied in the affirmative. He said they had not been in contact with them yet, but they were trying to.

Mr. Blake asked about the signage and if was intended to be lit or fixed lettering.

Mr. Marquis said the sign would be in compliance with the signage portion of the entry corridor, and the sign would not have any neon elements.

Public hearing was opened.

BJ Kalaidi said that art deco was inappropriate for the West City area and the Magic Beach clock would not promote the unique character of the historic black district. She said approval of this proposal would set an unintended precedent. She encouraged the Committee to continue the item to allow time for the developer to modify the application to promote and fit the historic character of the African American District known as New Augustine. She said this kind of development was not needed in the WCCRA, as it did not support the history in this part of town.

Public hearing was closed.

Board Discussion continued:

- Agreed that neon was not needed for the sign
- Struggled to see the African American heritage along the rest of the corridor in this section and did not think it was a factor
- Felt this would not set a precedent and would be an incredible addition
- Style of the area was eclectic and to blend with a wide range of other buildings
- Appreciated the effort put into the design and felt the area could benefit from having more housing in the area

Ms. Seymour said there were questions regarding the screenings for the garage openings. She asked if the Committee had any preferences.

Mr. Thomas advised that it would be black non-decorative screenings similar those at Flagler College that blend with the structure. He said once they had reached that step in the project, and they could submit those for review.

MOTION

Ms. MacDonald MOVED to APPROVE the Preliminary Design Review application HP2025-0067 finding that the project overall was consistent with the intent of the Design Standards and the necessary modifications including the screen would be neutral. The motion was SECONDED by Mr. Blake and APPROVED by UNANIMOUS VOICE VOTE.

6. Other Business

A) Review and Approval of the 2026 CRC Meeting Schedule

Ms. Seymour presented the 2026 CRC meeting schedule.

There was consensus to approve the meeting dates.

7.) Next Scheduled Meeting Date(s):

A) December 4, 2025 - Regular Meeting

8. Adjournment

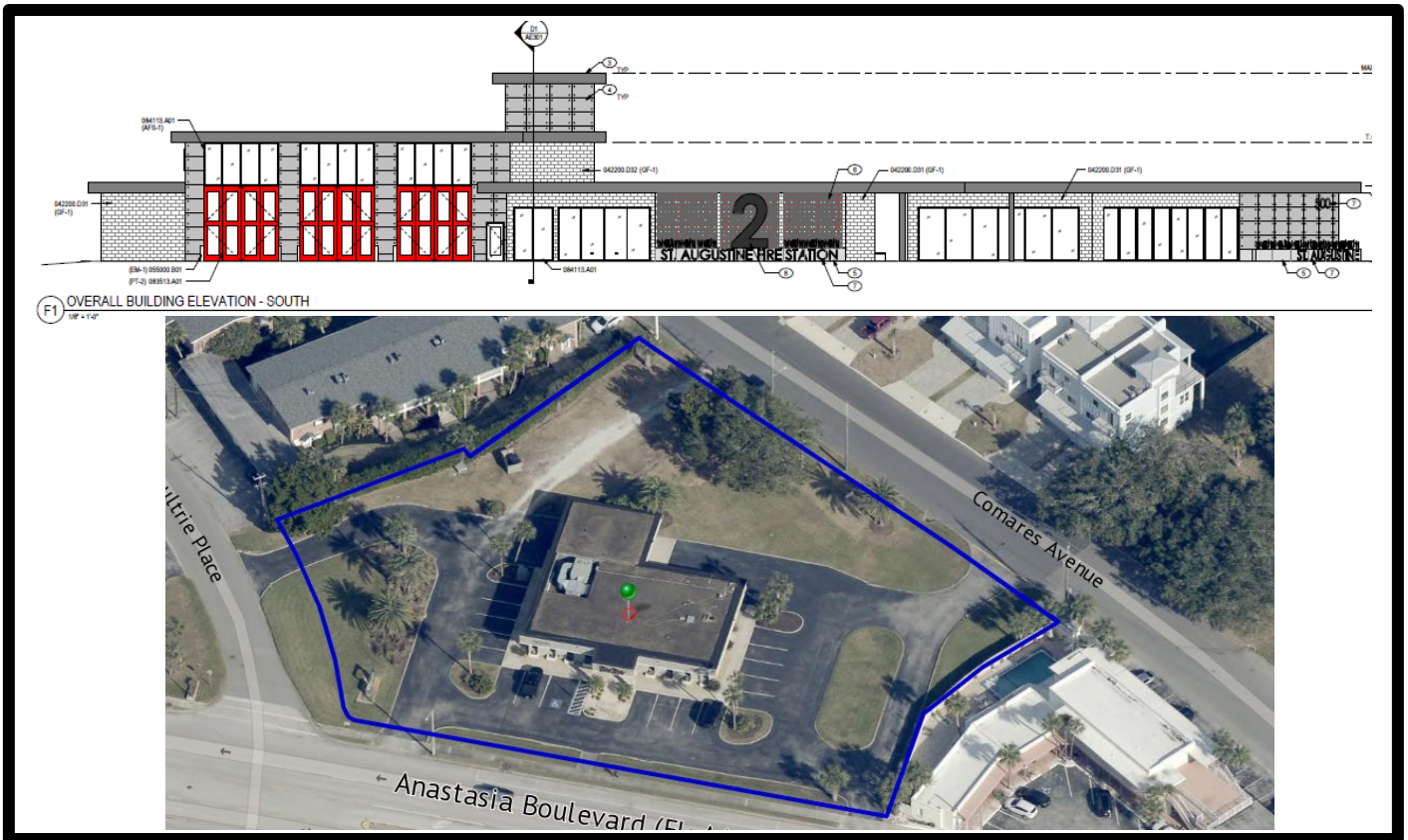
There being no further business, the meeting was adjourned at 2:31 P.M.¹

¹ Transcribed by Elyse Wiemann



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**CITY OF ST. AUGUSTINE CORRIDOR REVIEW COMMITTEE
 STAFF REPORT AND RECOMMENDATION**
 Prepared for the December 4, 2025 Meeting



Application HP2025-0071

Address: 500 Anastasia Boulevard

City of St. Augustine – Owner

Gulfstream Design Group, LLC - Applicant

Project description: To construct a new fire station and public use facility along the Anastasia Boulevard Entry Corridor.

Architectural Style:	Mid-Century Modern (proposed)	Florida Master Site File:	SJ08234
National Register:	N/A	Construction date:	1971 (existing)
Archaeology Zone:	N/A	Zoning District:	CL-2
Parcel number:		Typology:	Commercial(existing) Institutional (proposed)
Agenda Item:	5(a)	Previous Action(s):	N/A (indent)

STAFF SUMMARY AND ANALYSIS:

The applicant is presenting a request for Design Approval of a new institutional development which includes a fire station and public use facility.

Staff identified the following potential Modifications to the Standards for the CRC to consider in their final decision regarding this design approval:

1. **4.4.3 Building Color:** A maximum of 4 building colors, including natural materials such as unpainted concrete, aluminum, etc. are allowed per the Standards. Six (6) different colors/materials are proposed for the building:
 - a. Concrete panels in color smoke
 - b. Concrete block in color White
 - c. Decorative concrete block in color Red (color needs approval)
 - d. Red paint for bay doors (may not match colored concrete block shade; color needs approval)
 - e. Dark Grey paint for aluminum windows and other exterior metal elements (color needs approval unless matching “Classic French Gray” from the pre-approved color palette)
 - f. Light Grey paint (use not made clear; color needs approval unless matching “Amazing Gray” from the pre-approved color palette)

The CRC may approve up-to 2 additional colors for the total of 6 colors proposed and must approve any proposed colors not listed under the pre-approved color palette. While red is not generally a color approved along the Corridor, use of the color will clearly indicate the building’s use as a fire station.

2. **4.4.7 Building Entrances:** There does not appear to be an entry door from Anastasia Boulevard into either the public use facility or Fire Station. The CRC should determine whether pedestrian access to the site from Anastasia Boulevard is sufficient to grant a modification for the lack of entrance immediately from the corridor.
3. **4.7 Stormwater Facilities:** A minimum of two of the low-impact stormwater retention design concepts listed in the Standards should be utilized on this project. Currently, the design features a dry retention pond within the front setback along Anastasia Boulevard. This location is inconsistent with the Standards requirement that traditional stormwater retention facilities, such as ponds, not be located within the front setback. The CRC should determine whether the design of this dry pond meets the definition of one of the low-impact stormwater retention design concept. If not, the CRC may approve the dry pond if it meets the criteria for modification approval.

The following design elements do not meet the Standards as proposed and will require approval of a variance from the Planning and Zoning Board (PZB):

1. **4.1 Building Placement:** There is a maximum 20’ setback for at least a portion of the building facing any secondary street. The proposed building setbacks along Moultrie Place and Comares Avenue both exceed what could be approved by the CRC (~26’).
2. **4.2 Building Frontage:** The current proposed building frontage along Anastasia Boulevard, measured from end-to-end of the roof eave, is 110’9”. The Standards require a minimum of 70% building frontage along the Corridor, which is approximately 164.5’. The lowest building frontage that can be approved by the CRC is ~115.15’ (35% deviance from the 70% requirement)

Conditions Summary:

1. The existing commercial structure on the site was originally a bank building, and the drive-through teller awning is still extant at the rear of the building. This structure is proposed for demolition which will require Historic Architectural Review Board (HARB) approval because the building is over 50 years of age.
2. The proposed development features a Mid-Century Modern style with simple masonry block, panel, and decorative block cladding and flat roofs with wide eaves. The irregular lot-shape, proposed building footprint, and use of the structure make it so that only a portion of the building runs along Anastasia Boulevard before the building angles away, parallel to Moultrie Place. Driveway access from Moultrie Place and Comares Avenue, as well as parking placement behind the structure, are consistent with the Anastasia Boulevard Design Standards for Entry Corridors.
3. Setbacks along the Corridor are a minimum of 10' and a maximum of 20'. The roof eave for the portion of the building along Anastasia Boulevard appears to sit at about 12' from the property line, in keeping with the standards, though not meeting the frontage requirements. See additional notes above on building placement elements which require Planning and Zoning Board approval.
4. The maximum building height is 35' to the top of what appears to be an elevator/stair shaft. This is consistent with the maximum height allowed per zoning requirements and the DSEC.
5. Building colors were provided by the applicant. See details under "Modifications to the Standards" above.
6. Building materials are consistent with the Mid-Century Modern style; however, some of the concrete block materials are proposed to be left unpainted. The DSEC states that building materials shall be primarily painted concrete block or stucco with unpainted masonry for accents. The CRC should determine whether the proposed unpainted concrete features are acceptable.
7. Glazing calculations along Anastasia Boulevard are difficult to determine with the drawings provided. The applicant should provide a scaled elevation of only the portion of the building fronting Anastasia Boulevard with window dimensions and building width clearly indicated so that staff can determine whether glazing requirements have been met.
8. The Standards require the main entrance to all buildings be oriented toward Anastasia Boulevard. See details under Modifications to the Standards above.
9. Parking placement and pedestrian access meet the Standards. Bicycle parking was not indicated on the plans provided; however, the applicant may consider adding bicycle parking within their site per section 4.5.5.
10. One stormwater retention facility has been indicated on the site plan, and the proposed placement does not meet the Standards. One additional low-impact design concept for stormwater retention should be included with the project design. See "Modifications to the Standards" above for additional details.
11. The applicant has addressed lighting as a stipulation of the site plan; however, no lighting fixture examples for the building or parking facility were provided. These can be administratively reviewed as long as requirements are met.
12. The applicant should demonstrate that they meet all landscape buffer yard and screening elements required by the Standards as well as zoning development regulations prior to issuance of a permit to develop the site. Current Landscape plans reference St. Johns County requirements.
13. Plant materials proposed are found on the list of Florida Friendly Plants and/or the list of pre-approved plants within the Standards.
14. A retaining wall is proposed along the dry retention pond and a portion of Anastasia Boulevard. It is unclear how tall the retaining wall(s) will be, and the application should provide a drawing or rendering showing how the retaining wall design will appear.
15. Mechanical equipment noted on plans is screened in accordance with the Standards. Any additional mechanical equipment must also be screened or located where it is not visible from rights-of-way.

STAFF RECOMMENDATION:

Based on a review of the Anastasia Boulevard Design Standards for Entry Corridors, and without evidence to the contrary the CRC may take the following actions for the proposed development design at 500 Anastasia Boulevard:

1. **CONTINUE** the application to allow the applicant time to submit additional details including scaled drawings of the building portion along Anastasia Boulevard with window sizes provided, details regarding lighting fixtures for the exterior structure, parking, and other site areas, and a visual rendering of the building along Anastasia Boulevard and to redesign any elements as requested by the CRC; OR,
2. **APPROVE the proposed design if the CRC finds the design, as proposed or amended by the CRC, is consistent with the review criteria in section 3.3.2:**
 - a. The proposed project meets the intent of the Anastasia Boulevard Design Standards as defined in Section 1;
 - b. Approval of the proposal will not set an unintended precedent; Note: Unique qualities of the application will be identified to substantiate the approval and avoid a perceived assumption of precedence.
 - c. Approval of the request will not be detrimental to the physical characteristics of the neighboring sites or the overlay district as a whole, with respect to the physical characteristics prescribed within the authority of this document.

and if the CRC can make the following findings for proposed or staff indicated Modifications to the Standards under section 3.7.5:

- a. Strict application of the Standards is not warranted and granting a modification will fulfill the intent of the standards.
- b. The modifications are not prohibited types of modification listed in Section 3.7.4.
- c. The Modifications are consistent with the Comprehensive Plan and generally consistent with the purpose of the city's Land Development Regulations and the Standards.
- d. The Modifications will not have a material negative impact on adjacent uses, or applicant proposes to mitigate the negative impact(s) to be created by the modification.

and with the following conditions:

- a. Approval of a variance application for the reduced building frontage along Anastasia Boulevard and the extended setbacks along Moultrie Place be obtained, or the building be redesigned to meet requirements.
- b. Window sizes are provided to staff, and glazing is determined to meet DSEC requirements.
- c. All other DSEC and zoning requirements are met and any changes to the design that do not meet the Standards or zoning requirements will trigger additional hearings by the CRC and/or PZB prior to the issuance of a permit for development.

All findings must be proven by the applicant and accepted by the CRC in order to grant modifications and design approval. In doing so, the CRC recognizes that the approval is unique to this property and its conditions and does not establish any precedent.

*If these findings cannot be made based upon this application and any additional testimony the application can be **continued** to allow the applicant time to provide the necessary details for approval or **denied** in which case the applicant may seek an appeal before the City Commission.*

Candice Seymour

Candice Seymour
Historic Preservation Planner

EXAMPLE MOTION(S):

TO APPROVE:

"I move to approve Preliminary Design Review application HP2025-0071 finding that the project overall is consistent with the intent of the Design Standards and the necessary modifications including [list modifications being approved] meet the review criteria for approval with the conditions that... [state any staff recommended, or CRC applied conditions to be included in the motion]."

TO CONTINUE:

"I move to continue Preliminary Design Review application HP2025-0071 to the [state preferred meeting date] to allow the applicant time to modify and/or add to the application as recommended during discussion."

TO DENY:

"I move to deny Design Review application HP2025-0071 because the proposed development does not meet the review criteria as detailed under 3.3.2 and/or 3.7.5 of the Design Standards.

SUMMARY SCOPE OF WORK:

1. New construction of a Mid-Century Modern style fire station and public use facility:
 - a. 110'9" along Anastasia Boulevard (measured from roof eaves)
 - b. 35' tall maximum height, 22' to top of bay wall, 14' to top of primary roof.
 - c. Exterior Materials:
 - i. Concrete panels (natural dark grey)
 - ii. Concrete block (white or light grey)
 - iii. Decorative concrete block (red)
 - iv. Metal fascia and other metal elements (dark grey)
 - v. Concrete block (Linen; for retaining wall)
 - d. Bay doors (red)
 - e. Window systems (dark grey)
2. Associated hardscaping for fire apparatus drive aisle, parking, and pedestrian access (see site plan)
3. Associated landscaping (see landscape plan)

Interior layout, changes of use, zoning requirements such as parking standards, stormwater maintenance, and other such city requirements are not in the purview of the CRC unless such requirements alter or conflict with the design requirements addressed in the Standards.

CITY CODES/DESIGN GUIDELINES: RELEVANT EXCERPTED SECTIONS ONLY

CITY OF ST. AUGUSTINE CODE OF ORDINANCES

Sec. 28-353. - Design standards for entry corridors.

The Design Standards for Entry Corridors, as originally prepared by Herbert-Halback, Inc., dated January 24, 2000, and subsequently amended by resolution from time to time ("DSEC standards"), are hereby adopted and incorporated herein by reference. All new construction and site development within the entry corridors, excluding work within right-of-way, shall conform to these standards unless a variance is granted pursuant to the criteria enumerated in the DSEC standards. Any change in the use of a parcel of property shall require that the site, excluding buildings and facilities, be developed to conform to these standards, unless technically infeasible. Each element or space of a building or facility that is altered shall comply with these standards, unless technically infeasible.

Anastasia Boulevard Design Standards for Entry Corridors

Section 1. Purpose and Intent

The purpose of the standards contained in this document is to:

- a. Promote the unique characteristics of the Anastasia Boulevard overlay area, which features many of the characteristic of mid-century American architecture;
- b. To facilitate the development of vacant land and the reimagination and repurposing of underutilized properties in this area into a high-quality, multi-modal, mixed-use environment.
- c. To provide standards and criteria by which proposed development in the area will be reviewed.

3.3.2 Review Criteria

The CRC shall use the following criteria (in addition to the standards contained herein) when reviewing an application:

- a. The proposed project meets the intent of the Anastasia Boulevard Design Standards as defined in Section 1;
- b. Approval of the proposal will not set an unintended precedent; Note: Unique qualities of the application will be identified to substantiate the approval and avoid a perceived assumption of precedence.
- c. Approval of the request will not be detrimental to the physical characteristics of the neighboring sites or the overlay district as a whole, with respect to the physical characteristics prescribed within the authority of this document.

3.7 Modification of Standards

Due to the individual unique characteristics or circumstances of any given development along Anastasia Boulevard, flexibility in the application of design standards may be warranted in certain situations. Modifications from the standards may be requested by an applicant as part of the development review process. If an applicant requests multiple modifications, each modification shall be evaluated independently.

3.7.3 CRC Modifications

Modifications of more than ten (10) percent but no more than thirty (30) percent of a dimensional requirement, Modifications of ten (10) percent or less previously denied or referred to the Corridor Review Committee by staff, and Modifications to the non-dimensional requirements contained in this document.

3.7.4 Prohibited Modifications

- a. Use of property as defined in Land Development Regulations.
- b. Maximum levels of density or intensity allowed in comprehensive plan.
- c. Encroachments into the public right-of-way.
- d. A reduction of a setback to less than 5 feet adjacent to a single-family residential district

3.7.5 Review Criteria

A modification of standards may be granted by the approving authority if it finds that strict application of the standards is not warranted and that granting a modification will fulfill the intent of the standards. The approving authority shall apply all the following criteria, when applicable, to determine if the applicant has justified a request for a modification:

- a. The request is within the parameters listed above.
- b. The request is consistent with the Comprehensive Plan and generally consistent with the purpose of the city's Land Development Regulations and this document.
- c. The proposed modification will not have a material negative impact on adjacent uses, or the applicant proposes to mitigate the negative impact to be created by the modification.
- d. Compliance with the requirement is technically infeasible based on-site conditions.

3.7.6 Additional Requirements

- a. The burden of presenting evidence sufficient to satisfy the applicable criteria remains with the applicant seeking the modification.
- b. The applicant may propose conditions to ensure that the use of the property to which the modification applies will be reasonably compatible with the surrounding properties, including visual screening.

4.1 Building Placement

The placement of a building on a site is critical to creating a vital and coherent public realm that is both welcoming and functional. Elements and uses of the "public realm" may include expanded sidewalks, outdoor café areas, bicycle parking, art/sculpture, and outdoor retail spaces, among others. The rhythm/pattern of buildings, combined with their relationship to the street expressed through setbacks and architecture, define the character of the public space. The intent of the following building setback standards is to shape the public realm, and strengthen the physical and functional character of the area. All new buildings within the redevelopment site shall be required to meet the building setback provisions where legally applicable.

1. For those corner lots abutting a R.O.W. intersection, the visibility triangle must be kept free of visual obstacles. Visibility triangle regulations shall always prevail. See Section 5.10.
2. The building setbacks, which shall be measured from the property line to the building wall excluding eaves and overhangs.

3. The minimum front and side street setbacks (as defined in Table 1) may be reduced to 0 feet for a maximum of 50% of the building façade facing the street. Note: Eaves and overhangs may not project over the property line.
4. The maximum front and side street building setback shall only apply to the portion of the building meeting the building frontage requirement. This provision will allow for L-shape buildings, where a portion of the building is recessed more than 20 feet from the front property line
5. The front and side street- setbacks may be used to expand the public sidewalk, for outdoor dining, or for landscaping.
6. Balconies, bay windows, awnings, canopies, and roof overhangs may encroach into the front and side street setback zones, but not into the right-of-way.
7. New developments or additions abutting or across the street from a single-family residential zoning district shall provide a fifteen (15) foot setback along the portion of the site abutting or across the street from the single-family zoned property. Landscaped buffers shall be provided as required in Section 5 of this document
8. Building facades facing a right-of-way shall be built parallel to the property line along that street.

4.2 Building Frontage

The purpose of the following building frontage requirements is to ensure façade continuity along Anastasia Boulevard and to avoid large voids between buildings. The building frontage standards are stated as a proportion of the building width within the required building setback relative to the width of the development site measured at the site frontage line. Portions of the building façade outside the required front/street building setback do not count as building frontage. A Protected Tree along the site frontage can be included in the frontage calculation.

1. The building frontage $((a+b)/c)$ shall be a minimum of 50% of the site frontage.
2. Sites with frontages on multiple streets shall be required to meet the minimum primary frontage along Anastasia Boulevard.
4. The canopy width of a Significant Tree along the site frontage may be counted towards the building frontage requirement as “building frontage” if tree canopy is not significantly altered.

4.3 Building Height

The maximum building height shall be per zoning.

1. Within the first 20', measured from the front property line, the maximum height shall be 25 feet measured from design flood elevation. This portion may be utilized for a roof top deck, but any awnings or coverings shall be a minimum of 10' from the front façade. Note that a rooftop deck shall not be placed above 27 feet anywhere on the building, and an 8-foot minimum solid sound barrier shall be placed on the rear side of the deck. See Section 5.8, Mechanical Equipment for height restrictions on rooftop equipment.

4.3.1 Viewshed

In order to protect the view of the lighthouse from Anastasia Boulevard, the maximum building height for properties located on the north/east side of A1A between Ingram Street and the southern boundary of RB Hunt Elementary School shall not exceed 20' above base flood elevation for 25% of the site frontage. Applicant shall demonstrate clear view of the Lighthouse from the Anastasia Boulevard public right of way in submittals for review.

When a property fronts multiple streets, the applicable site frontage to comply with the viewshed requirement shall be the portion along Anastasia Boulevard, measured with a perpendicular line from the center of the right-of-way intersections.

4.4 Architecture

New construction and renovations should focus on the predominant styles currently found in the corridor or on the subject building for redevelopment. Specifically, architectural styles shall be representative of Art Moderne (1940's), Mid-Century Modern (1950's-1970's), or Contemporary (not to be confused with prefabricated/mass produced architecture). The following are some of the elements characteristic of the mid-century architecture and art moderne styles, which should be preserved or used as inspiration when designing new buildings or renovations (see Appendix A for information on mid-century development):

- Horizontal emphasis.
- Simple design with little ornament and expression, except as noted below.
- Geometrical shapes contrasting with the simple design.
- Asymmetrical façades;
- Flat roof with small ledge (coping) at roofline;
- Porte cocheres; cantilever canopies and awnings;

- Covered walkways/breezeways;
- Smooth, rounded wall surfaces, often stucco;
- Horizontal grooves or lines in walls (sometimes fluted or pressed metal);
- Reinforced concrete, steel, glass, storefront.
- Decorative concrete block screens;
- Open indoor spaces with large plate windows;
- Casement, corner, picture or ribbon windows arranged horizontally;
- Expressive building structure (exposed steel frame, architectural block).
- Metal balustrades; angled supports and railings;
- Glass-block windows, often curved and built into the curved wall;
- Sometimes nautical elements such as porthole windows;
- Bright or subdued colors; typically with darker trim colors or bright metals to offset
- Signs that are integral to the architecture of the building.

4.4.1 New Construction

The following section contains additional building design standards that are applicable to all development regardless of the architectural style selected.

- a. All structures on a site shall be of the same architectural character.
- b. Architectural details and materials shall remain consistent on all elevations but may be simplified on the interior side and rear facades.
- c. Upper floor windows shall have a vertical orientation and may be single or double hung. Paned windows are encouraged but not required.
- d. Frosted or patterned glass is not permitted on windows facing the street. Stained glass is permitted.
- e. Shutters, if used, shall be one half the width of the window and shall be (or appear to be) operable.
- f. Extensive building facades shall be subdivided to appear as smaller volumes grouped together. Volume breaks may be achieved by building wall projections and recesses, and varying heights and roof lines. Therefore, building facades shall not exceed fifty (50) feet along a street frontage without providing a substantial volume break such as a recess, or an architecturally prominent public entrance. The recesses and projections shall have a minimum depth of two (2) feet.
- g. Façades shall not exceed twenty (20) horizontal feet and ten (10) vertical feet without including at least one (1) of the following elements:
 - i. A window or door
 - ii. Awning, canopy or marquee.
 - iii. An offset, column, reveal, void, projecting rib, band, cornice, or similar element with a minimum depth of six (6) inches.
 - iv. Arcade, gallery or stoop.
 - v. Complementary changes in materials or texture.
- h. Architectural treatments on the façade, such as parapets, cornices or expression lines, shall be continued around the sides of the building.

4.4.3 Building Color

- a. A minimum combination of three (3) colors shall be required per building: one for the main body, another for the trim and the third one for doors or other architectural features. Natural materials such as brick, aluminum, stone, and hardwoods count towards the minimum of three (3) colors. See Appendix C for color palette. A maximum of four (4) colors are permitted including the use of natural materials.
- b. Bands of color around the building are not allowed, unless they are consistent with the pre-approved colors and highlight an architectural feature. See Figure 13.
- c. An applicant that meets the statutory criteria of Section 553.79(20)(a), Florida Statutes, must clearly identify in the application materials the specific elements of the proposed project that apply to the statute. Once identified, these statutory design elements will be approved administratively.
- d. If an applicant wishes to use a non-pre-approved building color, the applicant may submit the color(s) for review and approval by the CRC. If noted as such, approved colors shall apply to all future projects and shall amend the approved colors noted in Appendix C.

e. Building elevations (secondary/interior side façades) shall have the same color and materials as the façade facing the street.

f. Corporate colors not consistent with the pre-approved colors are not allowed. Bands of color around the building are not allowed, unless they are consistent with the pre-approved colors and highlight an architectural feature.

4.4.4 Building Materials

Allowable exterior finishes shall be selected based on the architectural style (see Appendix A). Exposed pre-engineered metal buildings, metal siding that is found on pre-engineered metal buildings, plastic panels, and other veneers are not allowed, unless a Modification of Standard is approved by the CRC. Unpainted wood siding is not allowed; however, natural siding (cedar, cypress, ipe, and natural hardwoods) may be left unpainted.

a. Building materials shall be primarily painted concrete block or stucco. Accent detailing may include brick or stone bulkheads.

b. Stretch awnings on curved aluminum frames are not allowed.

4.4.5 Fenestration and Glazing

Fenestration is the arrangement of windows and doors on a façade while glazing is the proportion of glass to the solid surface of a façade. Fenestration shall be calculated as the total area of glass (windows and glass doors), or openings in the case of open porches, divided by the façade area measured from design flood elevation to eight (8) feet above ground in the case of the first story, and from the floor of the upper story to eight (8) feet above that line for upper stories (see Figure 19). If the façade includes several planes, they all count toward the calculation if the façade planes are within the required building setback.

a. The percent of glazing at ground floors abutting rights-of-way shall be 30% minimum and 65% maximum of the ground floor facade area (not including parapet). The percent of glazing on upper floors abutting city rights-of-way shall be 30% minimum and 40% max.

b. The size and orientation of windows shall reflect the architectural style of the building (see Appendix A).

c. Glass shall be clear float (thin, smooth, clear glass surface), gray light, or solar glazing with 80% minimum transmittance. Reflective glass or film is not allowed.

d. Glass panes shall not exceed a maximum size of 6 feet by 8 feet.

e. Windows shall not be obscured or visually blocked by paint, shelves or attachments, but blinds and curtains are allowed to achieve privacy.

f. Bulkheads shall extend a minimum of 12 inches and a maximum of 30 inches above the finished floor (see Figure 19). Existing garage and bay doors reused as windows are exempt from meeting this requirement. Buildings that are required to be elevated due to floodplain regulations may measure these distances from the interior finished floor.

4.4.6 Awnings and Canopies

a. Awnings or canopies (see Figures 15, 16 & 17), if installed, shall be placed between the first and second stories to provide protection from the weather and to delineate the transition between ground and upper floors.

b. Awnings and canopies shall not obscure prominent architectural features, such as cornice lines, parapets, decorative window trim, etc. Stretched awnings on curved aluminum frames are not allowed.

c. Awnings shall be placed in a way to accentuate the architectural features of the building. Therefore, awnings shall not be installed to extend over multiple windows and doors. Figure 17 shows two examples, one where the awning was placed entirely across the façade (prohibited), while the other example shows the awnings used to accentuate the windows (allowed).

4.4.7 Building Entrances

a. The main entrance of all buildings shall be oriented toward Anastasia Blvd. The design of the façade shall reinforce the presence of the main entrance.

b. The front entrance (facing Anastasia Blvd) shall be operable, clearly-defined and highly-visible. In order to emphasize entrances, they shall be accented by a change in materials around the door, recessed into the façade (alcove), or accented by an overhang, awning, canopy or similar feature.

c. Doors may be solid or glazed. The acceptable door materials include wood, painted steel, and painted aluminum.

d. Pedestrian connections from the public sidewalk and parking areas to the building entrance shall be provided. Buildings with entrances at a higher elevation than the public sidewalk shall create a transition within the setback (see Figure 18).

e. Entries shall be recessed from the main façade or under a canopy or awning to provide for a cover. Doors may be solid or glazed. The acceptable door materials include wood, painted steel, and painted aluminum.

4.4.8 Building Roof

a. Buildings with flat roofs shall have a cornice treatment or a parapet. The cornice shall be at least eighteen (18) inches in height. Parapet shall be a minimum of two (2) feet in height measured from the exterior horizontal roof surface.

b. Sloping roofs shall not exceed the height of the supporting walls.

c. In the case of flat roofs, roof materials shall be light-colored or a planted surface (green roof).

d. New mansard roofs shall be prohibited.

4.5.1 Pedestrian Access and Circulation

Pedestrian walkways, ramps or steps (or a combination of these) shall link the public sidewalk to the front door entry.

4.5.2 Vehicular Access

Parking areas shall be accessed from a rear alley, secondary street, or from an adjacent property (shared use agreement necessary), if any of these are available or proposed as part of the development. Where the only option for vehicular access is from Anastasia Boulevard, the following standards shall apply:

a. Only one driveway (ingress/egress) shall be allowed per site.

b. One-way drives shall not exceed 13 feet in width.

c. Two-way driveways shall not exceed 24 feet in width.

d. Turning radii of driveways along Anastasia Boulevard shall be determined by the applicable authority in the right of way.

e. Turning radii of driveways along all other streets shall not exceed 20 feet.

4.5.3 Parking Placement

Surface parking lots shall be located behind the building. However, the following parking placement alternatives are also allowed:

a. Where a site is too shallow to provide parking behind the building, the placement of parking facilities is permitted on the side of the proposed building. This is allowed only if the building setback and building frontage requirements are met. A street wall, in addition to landscaping, will be required to screen the parking facility. See Figure 23.

b. The placement of parking facilities in front of a building is only permitted for the portion of the building that is not used to meet the building setback and building frontage requirements. A street wall, in addition to landscaping, will be required to screen the parking facility.

4.5.5 Bicycle Parking

In conjunction with new construction and substantial redevelopment (as defined in Section 3), the applicant may provide bicycle parking facilities on the site at a suggested minimum rate of one bike rack space per 20 required vehicle spaces. The rack may be placed within the street setback area, but not within the public right-of-way, and it shall count towards the required front or side yard buffer (2' of width per bicycle space, not to exceed 6') or as an offset to required trees at a rate of one tree per three spaces (not to exceed two (2) trees).

4.6 Site and Building Lighting

Acceptable lighting on the site may include lights on the exterior of a building, up or down lighting shining on buildings or trees, and parking lot pole lighting. Only product information sheets shall be required for submittal.

4.6.1 Architectural Lighting

a. Lighting fixtures on the building shall be compatible with the architecture of the building and measure between 2700-3000K.

b. Permanent accent lighting, distinct from seasonal or holiday lighting, designed to accentuate building details is encouraged.

- c. Holiday lighting, such as for Nights of Lights, may be additionally regulated by the City Commission.
- d. Color and/or neon may be used as architectural lighting to accentuate building frame, profiles or details, with Corridor Review Committee approval.

4.6.2 Site + Parking Lighting

- a. For basic site lighting applications (such as parking lot, pathway, and area lighting), full cut-off lighting fixtures shall be used for all exterior lighting. Such lights shall not point directly at the right-of-way nor the sky. (see Figure 25) Source of illumination shall not be visible from a residential district.
- b. Exposed interior and exterior fluorescent or incandescent bulbs that are visible from the public right-of-way are not allowed.
- c. Lighting poles may not surpass 20' in height as measured to the point of light output (see Figure 25b).
- d. LED dimming technology shall be incorporated in all exterior lighting mounted higher than 10'-0" to reduce lighting level to minimum safe illumination after business closing hours, if possible. Refer to Illuminating Engineering Society guidelines. Minimum for a private parking lot is 0.13 foot-candles. A Lighting professional shall confirm minimum lighting level.

4.7 Stormwater Facilities

Traditional stormwater retention facilities (such as ponds), where required, shall not be located within the front setback. Stormwater is recommended to be incorporated into the overall design of the project as amenities (The goal of encouraging the use of these mechanisms is to reduce stormwater runoff, capture contaminants closer to the source and reduce the use of potable water for irrigation and grey water activities). Minimum criteria are below.

Projects shall include at least two of the following low impact design concepts, which may be located anywhere on the project (including the front setback):

- Rain water harvesting (rain barrels, underground cisterns, and similar)
- Bioswales a long, channeled depression or trench that receives rainwater runoff (as from a parking lot) and has vegetation (such as grasses, flowering herbs, and shrubs) and organic matter (such as mulch) to slow water infiltration and filter out pollutant
- Rain gardens
- Green roof (layer of vegetation planted over a waterproofing system that is installed on top of a flat or slightly-sloped roof)
- Pervious pavement (pervious concrete, pervious pavers, and/or other pervious pavements recognized by the United States Green Building Council). To be used for 10% minimum non-vehicular and vehicular parking for credit.

5.5.1 Plant Materials

In general, site landscaping shall consist of native or naturalized plants that thrive in the St. Augustine climate and environment (see plant list in Appendix C). Plants shall be relatively drought tolerant to encourage the conservation of water.

5.1.2 Protection of Existing Landscape

Effort shall be made to minimize disturbance of terrain around buildings or elsewhere on the site, thus reducing the possibility of destroying or damaging important landscape features or archaeological resources. Construction plans shall indicate areas of protection and shall have applicable notes regarding minimal disturbance of landscape elements to be preserved.

Along the corridor, existing oaks in good health shall be protected when possible. Oaks over 12" dbh to be removed shall have an additional 25% deficit applied to current tree mitigation calculations. Note: A Protected Tree along the site frontage can be included in the building frontage calculation.

5.7 Fences and Walls

While fences are typically used to achieve privacy on a site, street walls are used to continue the building frontage along a street, to screen vehicular areas such as parking lots, and to frame public zones such as courtyards and outdoor dining areas. Street walls and fences shall meet the following standards:

5.7.1 Fences

- a. Along the front property line and front setback, gates, railings, and fencing materials shall be painted wood, powder-coated aluminum, or wrought iron. Note that these elements are likely attached to the required site wall, as defined in section 5.7.2.
- b. Chain link, wire, and PVC fencing shall be prohibited in the front setback but may be used along side or rear areas.

5.7.2 Street Walls

- a. 1. In the absence of a building façade along any part of the site frontage line, a street wall shall be built in line with (co-planar with) the façade. Breaks are permitted in the street wall to provide vehicular and pedestrian access to the site, for plazas and gathering spaces, and for the purpose of tree protection. Street walls shall have openings no larger than necessary to allow automobile and pedestrian access.
- b. Street walls are the only types of fences/walls allowed facing streets (see Figure 31). Privacy fences and walls are not allowed between adjacent uses along Anastasia Boulevard.
- c. Street walls shall be located within the front setback, and may have landscaping or hard surface between the wall and the public sidewalk.
- d. Street walls shall be a minimum of 3 feet in height and shall not exceed a 5 foot maximum, as measured from the lower elevation of the public sidewalk or final elevation of adjacent interior development. However, the portion of the wall above 3 feet shall be no more than 50% solid.
- e. Street walls shall be constructed of brick or masonry. Fencing, as per 5.7.1, may be included.
- f. The area in front of a street wall may include landscaping or hardscape if used to expand the sidewalk.
- g. When landscaping is provided between the wall and the sidewalk, the landscaping strip shall be a minimum of two (2) feet wide.
- h. A three (3) foot wide landscape strip, as measured from the wall, shall also be provided on the interior side of the street wall.

5.8 Mechanical Equipment

For the purpose of this section, mechanical equipment shall include, but is not limited to, a heating, ventilation, or air conditioning unit placed outside of a building; vehicular/parking equipment (except for gate arms, if applicable); and any utility-related equipment such as pumps, meters, transformers and similar equipment required to be installed on a development site. Mechanical equipment shall be located so that noise and visual impacts upon abutting residential property are minimized.

1. Mechanical equipment shall not be permitted within any required building setback unless the utility company determines this to be the only possible location.
2. Mechanical equipment shall not be located between the building and the street, unless technically infeasible. On corner lots, the location of mechanical equipment along a secondary street may be permitted through the modification of standards process (see Section 3.7) subject to the screening requirements stated below.
3. Screening (by wall, solid fence or vegetative matter) that exceeds the height of the equipment shall be required if the equipment is visible from the street or adjacent properties. Certain equipment, such as, but not limited to rain barrels or cisterns, shall not require screening provided they are designed to blend with the building and are constructed with the same materials and colors.
4. Air conditioning units and elevator shafts are permitted to go above the standard building height limit but shall be visually screened from all public rights-of-way as shown in Figure 33. This restriction may limit the number of stories that can be built within the 35 foot maximum building height.

5.10 Visibility Triangle

All landscaping within the triangular areas described below shall provide unobstructed cross visibility at a level between three (3) and eight (8) feet above the ground. Trees having limbs and foliage extending into this cross visibility area shall be allowed, provided that they are so located so as not to create a traffic hazard. Landscaping, except grass and ground cover, shall not be located closer than three (3) feet from the edge of any accessway pavement. The triangular areas are:

DSEC HP2025-0071
500 Anastasia Boulevard
December 4, 2025

1. The areas of property on both sides of an accessway formed by the intersection of each side of the accessway, i.e. driveway, and the public right-of-way pavement line with two (2) sides of each triangle being ten (10) feet in length from the point of intersection and the third side being a line connecting the ends or the other sides.
2. The area of property located at a corner formed by the intersection of two (2) or more public rights-of-way with two (2) sides of the triangular areas being measured thirty (30) feet in length along the abutting edges of pavement, from their point of intersection, and the third being a line connecting the ends of the other two (2) lines.

Link to full Comprehensive Plan

https://www.citystaug.com/DocumentCenter/View/2976/2040_Comp_Plan_Update?bidId=

Link to full Land Development Code

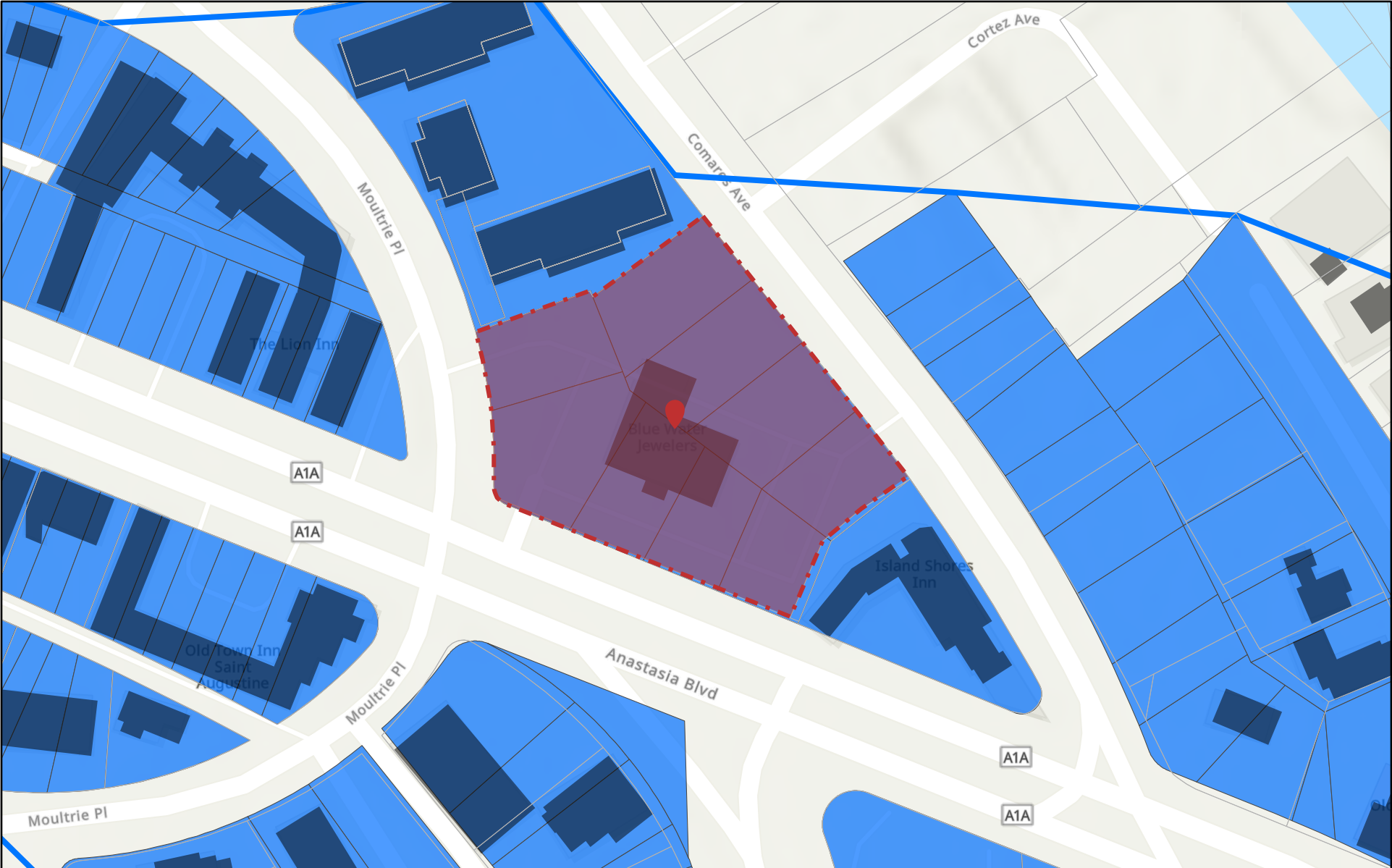
https://library.municode.com/fl/st._augustine/codes/code_of_ordinances?nodId=THCOSTAUFL

DSEC HP2025-0071
500 Anastasia Boulevard
December 4, 2025

LIST OF ATTACHMENTS:

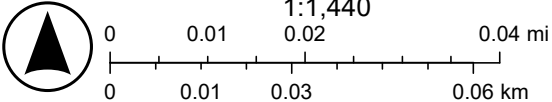
1. Location Map (GIS)
2. Staff photographs

500 Anastasia Boulevard



11/26/2025

- SJC Parcels
- Anastasia Street Parcels
- Entry Corridors
- Project Location
- Anastasia Street Buildings



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community, Sources: Esri, Maxar, Airbus DS, Cseymour/CoSA

Staff Photographs 500 Anastasia Boulevard



Front (south) Elevation from Anastasia Boulevard

Staff Photographs 500 Anastasia Boulevard



Building Views - Front

Staff Photographs 500 Anastasia Boulevard



Building Views, west, south, east, and north

Staff Photographs 500 Anastasia Boulevard



Building Views - Rear

Staff Photographs 500 Anastasia Boulevard



Site Views from SW corner



Staff Photographs 500 Anastasia Boulevard



Site Views from SE corner

Staff Report pg. 21

Staff Photographs 500 Anastasia Boulevard



Site Views from SE and NE corners

Staff Photographs 500 Anastasia Boulevard



Site Views from Comares Avenue

Staff Photographs 500 Anastasia Boulevard



Site Views – NE Corner

Staff Photographs 500 Anastasia Boulevard



Context Photographs – Immediately adjacent properties

**CITY OF ST. AUGUSTINE
CORRIDOR REVIEW COMMITTEE**



DESIGN APPROVAL

MODIFICATION TO THE STANDARDS

Application Fee: \$ _____ BDAC Project No. _____
Receipt No. _____ Meeting _____
Date: Advertising Costs \$ _____ Paid on _____ Receipt No. _____

1. NAME OF APPLICANT City of St. Augustine

Business (if applicable) _____

Address 75 King Street

City St. Augustine State FL Zip Code 32084

Daytime telephone 904-825-1040 E-mail address _____

2. NAME OF PROPERTY OWNER City of St. Augustine

Business (if applicable) _____

Address 75 King Street

City St. Augustine State FL Zip Code 32084

Daytime telephone (required) 904-825-1040 E-mail address _____

3. PROJECT STREET ADDRESS 500 Anastasia Blvd., St. Augustine, FL 32080

4. LEGAL DESCRIPTION: Lot _____ Block 33 Subdivision Davis Shores Ocean View Parcel 2185700000

5. EXISTING USE Stores (Retail) PROPOSED USE Fire Station

6. ENTRY CORRIDOR: ANASTASIA KING SAN MARCO

7. TYPOLOGY: RESIDENTIAL INSTITUTIONAL TRADITIONAL COMMERCIAL MIXED

8. PROPOSED PROJECT WORK:

A. DEMOLITION: Buildings and architectural features that are 50 years old or older, listed on the Florida Master Site File, or which have been designated as an historical landmark require a Certificate of Demolition application to be filed separately.

Yes No

B. New construction on a vacant or redeveloped site

New construction on an existing site

New construction that includes parking structures

All other, describe fully below

C. PROJECT DESCRIPTION:

This project consists of a new fire station with a main building for administrative and crew functions, a three-bay apparatus for emergency vehicles, on-site employee parking, a separate training building, and associated infrastructure including access drives, stormwater facilities, and utility connections.

Complete #9 only if seeking a modification

9. Modification of the Design Standards :

A. Section(s) of the Design Standards applicable to the Modification(s): NA

B. DESCRIBE THE MODIFICATION AND WHY IT IS NECESSARY:

N/A

C. DESCRIBE HOW THE MODIFICATION IS CONSISTENT WITH THE INTENT OF THE DESIGN STANDARDS AND THE CHARACTER OF THE CORRIDOR:

N/A

Note that the applicant is responsible for presenting evidence sufficient to satisfy the applicable criteria

10. AGREEMENT

If the applicant is different than the property owner, the application must be signed by both parties. A letter of authorization signed by the property owner must be submitted in absence of the property owner's signature or where an authorized agent signs in lieu of the property owner.

In filling out this application, I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.

I further understand that if this application is approved, I am required to obtain other development approvals, archaeological review, and a building permit as necessary prior to starting project work and that the costs of newspaper notices and surrounding notices to property owners will be assessed by the City and must be paid prior to the issuance of a development permit.

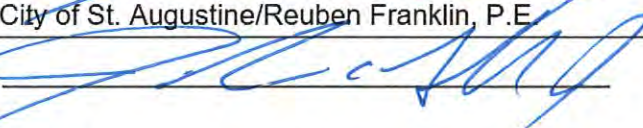
Once the hearing date has been set and a legal notice has been published or posted, the applicant must be prepared to present the request at the scheduled hearing date. Subsequent hearings requiring re-notice as a result of the applicant postponing or re-scheduling any hearing will also be assessed to the applicant.

PRINT APPLICANT'S NAME City of St. Augustine/Reuben Franklin, P.E.

SIGNATURE OF APPLICANT 

DATE 10/21/25

PRINT OWNER'S NAME City of St. Augustine/Reuben Franklin, P.E.

SIGNATURE OF OWNER 

DATE 10/21/25

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.


CRC APPLICATION AGREEMENT

In filling out this application:

- I understand that it becomes part of the Public Record of the City of St. Augustine and hereby certify that all information contained herein is accurate to the best of my knowledge.
- I further understand that if this application is approved, I am required to obtain other development approvals, archaeological review, and a building permit as necessary prior to starting project work.
- Once a hearing date has been set and a legal notice has been published or posted, I, or an authorized representative, must be prepared to present the request at the scheduled hearing date. The cost of subsequent hearings requiring re-noticing due to continuance will be assessed to the applicant.
- I have been made aware that applications must be sufficiently complete at the time of submittal or may be delayed. Relevant information necessary for application review shall include but not be limited to the items referenced in section 3.6 – “Submittal Requirements” of the applicable Design Standards for Entry Corridors ([Anastasia Boulevard](#), [San Marco Avenue](#), or [King Street](#)), depending on the scope and scale of the project. The minimum application requirements are marked as required submittal documents in this online application. [Contact Planning Staff](#) if the project is unique and needs to be addressed in a different manner. Minor details may be submitted in the portal up to 10 days before the meeting and the CRC will determine if additional materials may be presented at the meeting.

All applicants/owners of record must sign the application agreement. If the property applicant/owner is a governmental agency; licensed business or company; incorporated organization; or an administered estate, an authorized agent may sign. If the applicant is different than the property owner, the application must be signed by both parties. An [Authorization Form](#) signed by the property owner(s) and notarized, must be submitted only in the absence of the property owner’s signature.

Project Address: 500 Anastasia Blvd., St. Augustine, FL 32084

Applicant’s Name: Reuben Franklin, P.E. Applicant’s Signature: 

Owner’s Name: Reuben Franklin, P.E. Owner’s Signature: 

Owner’s Name: _____ Owner’s Signature: _____

Owner’s Name: _____ Owner’s Signature: _____

(Can add additional signature page if needed)

Florida Statute 286.0105 states that a person appealing any decision by this board at any meeting regarding this application may need a verbatim record of the proceedings which includes testimony and evidence upon which the appeal is to be based.



<u>Checklist Item</u>	<u>Checklist Item Description</u>	<u>Status</u>	<u>Comments</u>
FOUNDATION - Material sample, scaled detail drawing, and/or brochure	Material sample, scaled detail drawing, and/or brochure showing the proposed material(s), colors, finish, pattern, and construction details	Need	
EXTERIOR ELECTRICAL/MECHANICAL - Brochure, sample, or scaled drawing	Brochure, sample, or scaled drawing showing the materials, light intensity and source, hardware, colors/finish	Need	Proposed locations for mechanical equipment should be provided on the site plan to ensure that the equipment is not visible from Anastasia Boulevard as required by the Standards. Proposed light fixtures should be included and must meet the DSEC requirements that bulbs are not visible and have a temperature of 2700k-3000K.
EXTERIOR ELECTRICAL/MECHANICAL - For new equipment, scaled drawing	For new equipment, scaled drawing showing proposed project with context site and/or building	Need	
FENCES/WALLS/GATES - Scaled site plan showing the property line	Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed fence/wall (smaller projects may not require a scaled site plan like short extensions of existing fences/walls)	Need	
FENCES/WALLS/GATES - Drawing of proposed fence/wall/gate	Drawing of proposed fence/wall/gate showing material, finish, height, spacing distance, shapes, patterns, hardware, construction section	Need	If any fences or walls are proposed with this application, they should be noted on the site plan and all proposed designs/materials provided in the packet.
PARKING, LANDSCAPE OR OTHER SITE FEATURE - Scaled site plan	Scaled site plan showing the property line, building footprints, sidewalks, driveways and other major site features and proposed feature (smaller projects may not require a scaled site plan if limited to a small area)	Need	
PARKING, LANDSCAPE OR OTHER SITE FEATURE - Details of proposed features	Details of proposed features including material, finish, height, spacing, shapes, patterns, hardware, construction details such as a section drawing	Need	
PARKING, LANDSCAPE OR OTHER SITE FEATURE - Plant material list	Plant material list with identification, quantity, size at planting and maturity, spacing	Need	
NEW CONSTRUCTION - Photographs of existing site area	Photographs of existing site area within view of proposed construction with context area	Need	
NEW CONSTRUCTION - Scaled site plan showing the property line & existing site	Scaled site plan showing the property line and existing site features like buildings, sidewalks, driveways	Need	

<u>Checklist Item</u>	<u>Checklist Item Description</u>	<u>Status</u>	<u>Comments</u>
NEW CONSTRUCTION - Scaled site plan showing the property line & proposed constr	Scaled site plan showing the property line and proposed construction	Need	All site features should be noted on the proposed site plan.
NEW CONSTRUCTION - Scaled landscape plan	Scaled landscape plan	Need	Landscape Plan should include list of proposed plants. FL native plants and any listed within the DSEC pre-approved plants list are preferred. Any non-native or pre-approved plants should be noted for CRC approval as a modification to the Standards.

Other Details Necessary for Review

N/A



Via Electronic Submittal

October 21, 2025

Amy Skinner
Director
City of St. Augustine
Planning and Building Department
75 King Street
St. Augustine, FL 32084

RE: COSA Fire Station #2
GDG: #24-212
Entry Corridor

Dear Ms. Skinner:

On behalf of my client, JL2 Architecture, please find the following documents in support of a pre-application for GDG# 24-212, COSA Fire Station #2.

- One (1) CRC Application
- One (1) CRC Application Agreement
- Set of Photographs of Existing Conditions
- Sample of Proposed Roofs and Roofings
- Sample of Exterior Finishes
- Sample of Porches/Decks/Balconies
- Sample of Awning/Canopy
- Sample of Exterior Doors
- Sample of Windows
- Sample of Foundation
- Sample of Exterior Electrical/Mechanical
- Sample of Fences/Walls/Gates
- Sample of Parking, Landscaping or other Site Feature
- One (1) Set of Signed and Sealed Civil Engineering Drawings

If you have any questions or require additional information, please do not hesitate to email me at sbaez@gulfstreamdesign.com.

Sincerely,

Samantha Baez
Project Administrator
Gulfstream Design Group, LLC



















DIAMOND
VAULT

Blue Waters
JEWELERS

ORIS



DIAMOND
VAULT

ORIS

ORIS

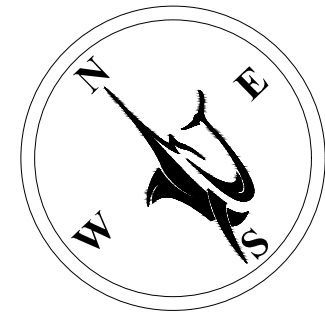












GRAPHIC SCALE
0 10 20 30 40
1"=20'

EXISTING

- PROPERTY LINE
- RW LINE
- - - CENTER LINE
- ASPHALT PAVEMENT

LEGEND

PROPOSED

- CURB & GUTTER
- - - CENTER LINE
- BUILDING OUTLINE
- - - SETBACK DIMENSION
- BUFFER DIMENSION
- # STANDARD PARKING COUNT
- # ADA PARKING COUNT
- HEAVY DUTY ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK

GENERAL SITE NOTES:

1. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS OF THE CITY OF ST. AUGUSTINE LAND DEVELOPMENT CODE.
2. ALL DIMENSIONS ARE SHOWN TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. BUILDING DIMENSIONS FOR REFERENCE ONLY. SEE ARCHITECTURAL PLANS BY, FOR EXACT DIMENSIONS. CIVIL PLANS REFERENCE EXTERIOR WALL DIMENSIONS. CONTRACTOR TO VERIFY FOUNDATION AND ROOF OVERHANG.
4. ALL HANDICAP RAMPS SHALL MEET CURRENT ADA REQUIREMENTS AND INCLUDE DETECTABLE WARNING PER CITY OF ST. AUGUSTINE REQUIREMENTS.
5. CONTRACTOR SHALL STAKE EACH STAGE OF WORK. HORIZONTAL AND VERTICAL, IN ADVANCE OF CONSTRUCTION TO ENSURE THAT NO CONFLICTS EXIST. CONTRACTOR SHALL NOTIFY GULFSTREAM DESIGN GROUP, LLC, IMMEDIATELY IF CONDITIONS DIFFER IN THE FIELD.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS AND/OR EXISTING EASEMENTS BEFORE BEGINNING CONSTRUCTION.
7. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER, ANY EXTRA WORK REQUESTED BY ANY REGULATORY AGENCY THAT IS NOT SHOWN ON THE PLANS. THIS EXTRA WORK MUST BE APPROVED BY THE ENGINEER AND THE OWNER BEFORE THE CONTRACTOR PROCEEDS WITH THE EXTRA WORK.
8. ALL ELEMENTS THAT ARE PLACES OF PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES ON THE SITE (INCLUDING ACCESSIBLE ROUTES AND PARKING) SHALL MEET THE REQUIREMENTS OF "FLORIDA AMERICANS WITH DISABILITIES ACCESSIBILITY IMPLEMENTATION ACT", ADA STANDARDS FOR ACCESSIBLE DESIGN, FLORIDA BUILDING CODE - ACCESSIBILITY AND THE FAIR HOUSING ACT, WHEN APPLICABLE.
9. ALL OUTSIDE STORAGE YARDS MUST BE FENCED PER CITY OF ST. AUGUSTINE REQUIREMENTS.
10. PRIOR TO TRANSFER OF PROPERTY OWNERSHIP (REAL LAND OR CHANGE IN OWNERSHIP) FOR ANY PORTIONS OF THE APPROVED OR CONSTRUCTED BUILDING, OWNERSHIP DOCUMENTS MUST BE SUBMITTED TO THE BUILDING DEPARTMENT IN ORDER TO MAKE SURE OWNERSHIP DOES NOT VIOLATE BUILDING CODE.
11. ALL SIGNS SHALL MEET THE REQUIREMENTS OF CITY OF ST. AUGUSTINE LDC.
12. APPROXIMATE LOCATION OF PROJECT SIGNAGE SHOWN HEREON.
13. NO DUMPSTER REQUIRED PER CITY OF ST. AUGUSTINE.
14. LIGHT FIXTURES SHALL MEET THE DSEC REQUIREMENTS THAT BULBS ARE NOT VISIBLE AND HAVE A TEMPERATURE OF 2700K-3000K.

SITE DETAILS: (S-xx)

- S-D-1 TYPE D CURB
- S-D-9 CONCRETE SIDEWALK
- S-D-11 HEAVY DUTY CONCRETE PAVEMENT SECTION
- S-D-13 HEAVY DUTY PAVEMENT SECTION
- S-D-20 WHEELCHAIR RAMP IN SIDEWALK
- S-D-22 THICKENED EDGE SIDEWALK

SITE KEY NOTES: (S-xx)

- S-01 PROPERTY LINE
- S-02 CONNECT TO EXISTING SIDEWALK

SITE DATA TABLE

GROSS PROPERTY AREA:	55,321 SF	1.27 AC
BUILDING FOOTPRINT AREA:	12,790 SF	0.29 AC
PARKING AND DRIVEWAYS:	17,467 SF	0.40 AC
SIDEWALK AREA:	7,525 SF	0.17 AC
TOTAL IMPERVIOUS AREA:	37,782 SF	0.87 AC

PROPERTY ID NO:	218570 0000	
ZONING:	N/A	
FLUM:	N/A	
FEMA FIRM PANEL NUMBER	12108C0314L	
IMPERVIOUS SURFACE AREA RATIO:	MAXIMUM:	PROPOSED
	75.00%	68.30%
FLOOR AREA RATIO:	75.00%	23.12%
BUILDING HEIGHT:	30'	±30'

BUFFER & SETBACK TABLE

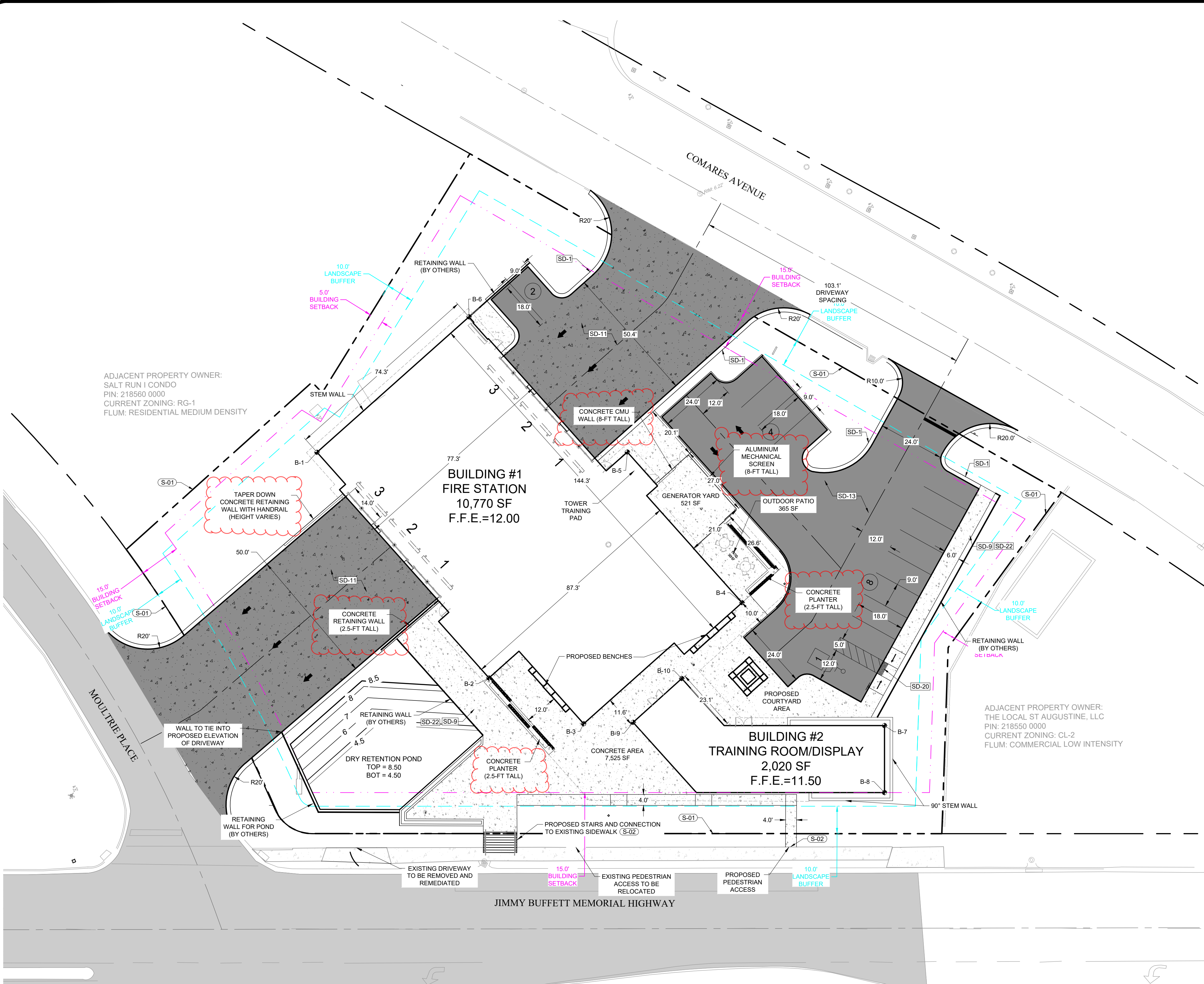
BUFFERS & SETBACKS	MINIMUM	PROPOSED
FRONT BUILDING SETBACK (W,E)	15'	15'
SIDE BUILDING SETBACK (N,S)	5'	5'
FRONT LANDSCAPE BUFFER (W,E)	10'	10'
SIDE LANDSCAPE BUFFER (N,S)	10'	10'

BUILDING POINT TABLE

POINT #	NORTHING	EASTING
B-1	2020328.2205	562719.5204
B-2	2020228.2431	562746.7114
B-3	2020199.7422	562772.4791
B-4	2020218.9478	562842.7127
B-5	2020285.7012	562824.5711
B-6	2020353.1961	562789.5599
B-7	2020157.7992	562874.0557
B-8	2020135.1259	562864.8555
B-9	2020193.4198	562789.4343
B-10	2020201.5589	562811.9013

PARKING CALCULATIONS

USE	PROPOSED BUILDING AREA (SF)	PROVIDED PARKING SPACES
FIRE STATION & TRAINING ROOM	12,790 SF	14
ADA PARKING SPACES		1
TOTAL PARKING SPACES		15



NO.	DATE	BY	DESCRIPTION
1	11-25-25	TVB	PER COSA COMMENTS
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			

ENGINEERING PLANS FOR COSA FIRE STATION #2 GEOMETRY CONTROL POINTS CITY OF ST. AUGUSTINE, FLORIDA



FOR PERMIT REVIEW



2225 A1A S, SUITE A2
ST. AUGUSTINE, FLORIDA 32080
904.784.4231
matt@gulfstreamdesign.com
© GULFSTREAM DESIGN GROUP, LLC 2025

PROJECT NO: 24-212
ISSUE DATE: 8-15-2025
DRAFTED BY: TDP
DESIGNED BY: TVB
CHECKED BY: MHL
NOT VALID WITHOUT SEAL

N:\V01 - Gulfstream - Project Files\24-000-24-212 - COSA Fire Station #2\04 - Drawings\05 - Construction_S&I\24-212_S&I_Plan.dwg, 11/25/2025 10:41:37 AM, 1:03/394, 1/6

A
B
C
D
E
F

1 2 3 4 5 6 7

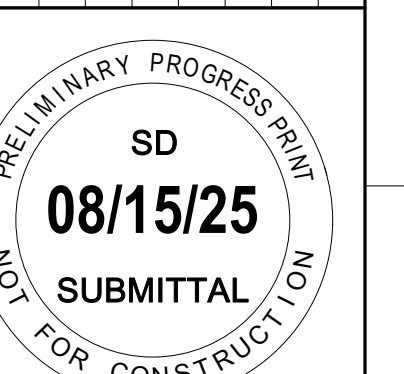
8

NOTES:

SHEET NOTES:

- A REFER TO SHEET G001 FOR ARCHITECTURAL NOTES, ABBREVIATIONS, AND SYMBOLS.
- B ARCHITECTURAL EXTERIOR DIMENSIONS ARE TO COLUMN GRID, FACE OF FASCIA, AND CENTER OF DOWNSPOUTS, UNO.
- C SLOPED ROOFING COMPOSITION IS A STANDING SEAM METAL ROOF PANEL ON 5/8" GLASS MAT COVER BOARD AND BELOW THE 4" POLYISOCYANURATE RIGID BOARD INSULATION.
- D ARROWS INDICATE ROOF SLOPE.
- E REFER TO SHEET AESXX FOR ROOF PENETRATION DETAILS.
- F REFER TO ELECTRICAL DRAWINGS FOR LIGHTNING PROTECTION PLAN.
- F ALUMINUM GUTTERS ARE 6" X 6" MIN WITH 2-1/2" X 2-1/2" MIN. DOWNSPOUTS.

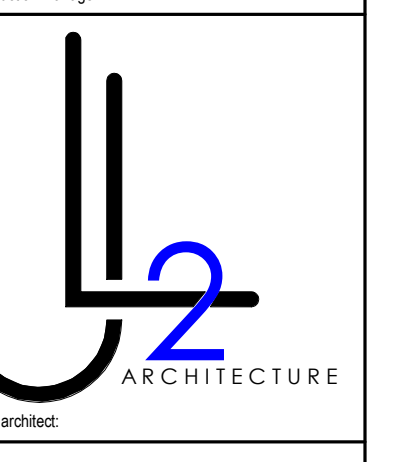
NO.	DESCRIPTION	DATE



name:
professional license no.:



date:
construction manager:



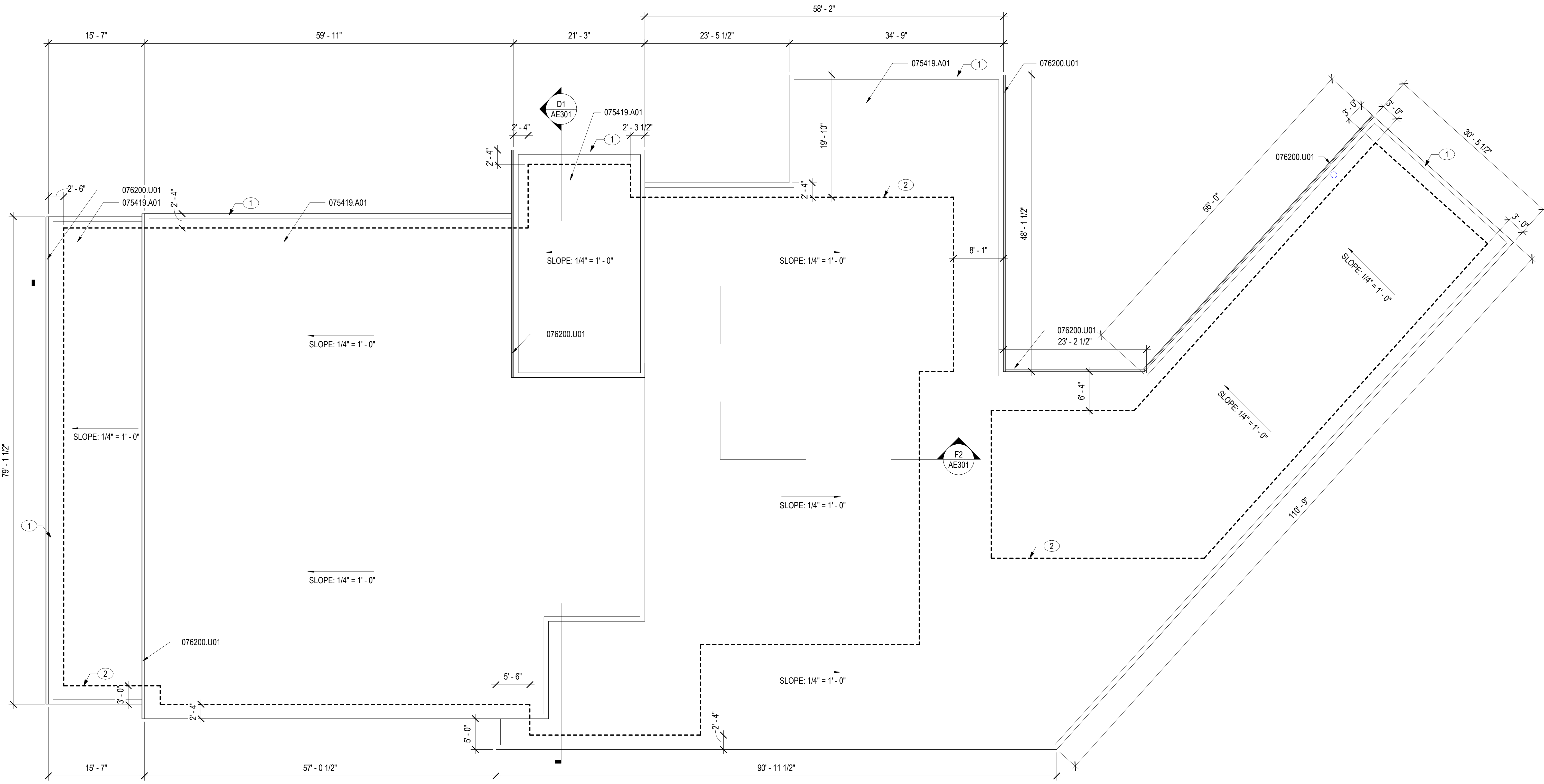
consultant:

KEY NOTES (00)

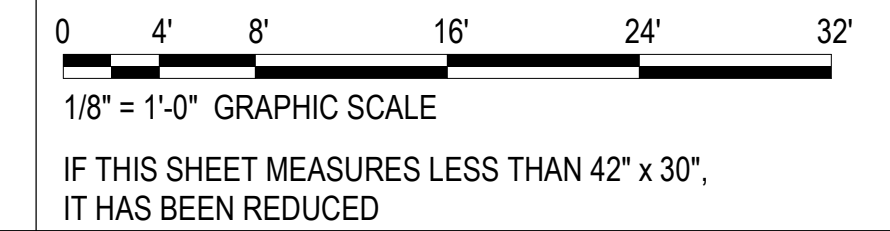
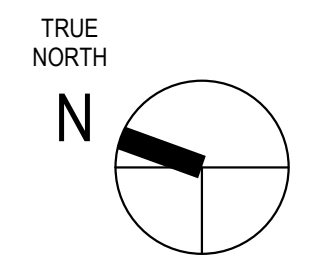
- 1 PARAPET WALL
- 2 DASHED LINE DEPICTS EXTERIOR WALL BELOW

MATERIAL NOTES

- 075419.A01 SINGLE-PLY POLYVINYL-CHLORIDE (PVC) ROOFING SYSTEM
- 076200.U01 GUTTER



F1 COMPOSITE FLOOR PLAN, ROOF
1/8" = 1'-0"



COMPOSITE FLOOR PLAN, ROOF

PROJECT NO. FIRE STATION NO. 2
PROJECT DATE: SCHEMATIC DESIGN

CITY OF ST. AUGUSTINE
PROJECT ADDRESS: 500 ANASTASIA BLVD, ST AUGUSTINE, FL 32080
DATE:

issue date:	08/15/25
project no.:	2024-P027
designed by:	BCP
drawn by:	BCP
scale:	1/8" = 1'-0"
sheet number:	

AE103

EXTERIOR FINISH LEGEND		
MATERIAL KEY	DESCRIPTION	COLOR
WP-1	CONCRETE WALL PANEL	SMOKE - CONCRETE WITH EXPOSED BOLT HOLES
WP-2	GROUND FACE CMU	BOD: WESTBROOK GFP-647
EM-1	EXTERIOR METAL	DARK GREY
GF-1	GROUND FACE CMU	WHITE
AFS-1	ALUMINUM FRAME STOREFRONT	DARK GREY
PT-1	PAINT	LIGHT GREY
PT-2	PAINT	RED

NOTES:

SHEET NOTES:

- A REFER TO SHEET AE001 FOR ARCHITECTURAL NOTES, ABBREVIATIONS, AND SYMBOLS.
- B WHERE COLOR IS SHOWN AS BEING SPECIFIC TO ONE MANUFACTURER, AN EQUIVALENT COLOR BY ANOTHER MANUFACTURER MAY BE SUBMITTED FOR APPROVAL. MANUFACTURERS AND MATERIALS SPECIFIED ARE NOT INTENDED TO LIMIT THE SELECTION OF EQUAL COLORS FROM OTHER MANUFACTURERS.
- C COORDINATE ALL EXTERIOR EQUIPMENT WITH ENGINEERING DRAWINGS.
- D ARROWS INDICATE ROOF SLOPE.
- E ARCHITECTURAL ELEVATION FOR FIRST FLOOR TOP OF SLAB IS DEFINED AS 0'-0". REFER TO CIVIL PLANS FOR SLAB ELEVATIONS RELATIVE TO NORTH AMERICAN VERTICAL DATUM (NVD) SYSTEM.
- F REFER TO SHEETS AE103, OVERALL ROOF PLANS, FOR DOWNSPOUT LOCATIONS.

MATERIAL NOTES

- 042200.D31 GROUND FACED MASONRY UNIT 8"
- 042200.D32 GROUND FACED MASONRY UNIT 12"
- 055000.B01 STEEL BOLLARD
- 083323.A01 OVERHEAD COILING DOOR
- 083513.A01 FOUR FOLDING DOOR
- 084113.A01 GLAZED ALUMINUM STOREFRONT SYSTEM

KEY NOTES (00)

- 1 ALUMINUM LOUVERED MECHANICAL SCREEN
- 2 CONCRETE RETAINING WALL (WP-2)
- 3 ALUMINUM FASCIA (EM-1)
- 4 CONCRETE WALL PANELS (WP-2)
- 5 CONCRETE PLANTER (WP-2)
- 6 CONCRETE BREEZE BLOCKS; BOD: BERMUDA GEOMETRIC BLOCK BY VILLA LAGOON TILE IN RED
- 7 METAL SIGNAGE (EM-1)
- 8 METAL SIGNAGE (PT-2)

DATE	DESCRIPTION

PRELIMINARY PROGRESS PRINT

SD

08/15/25

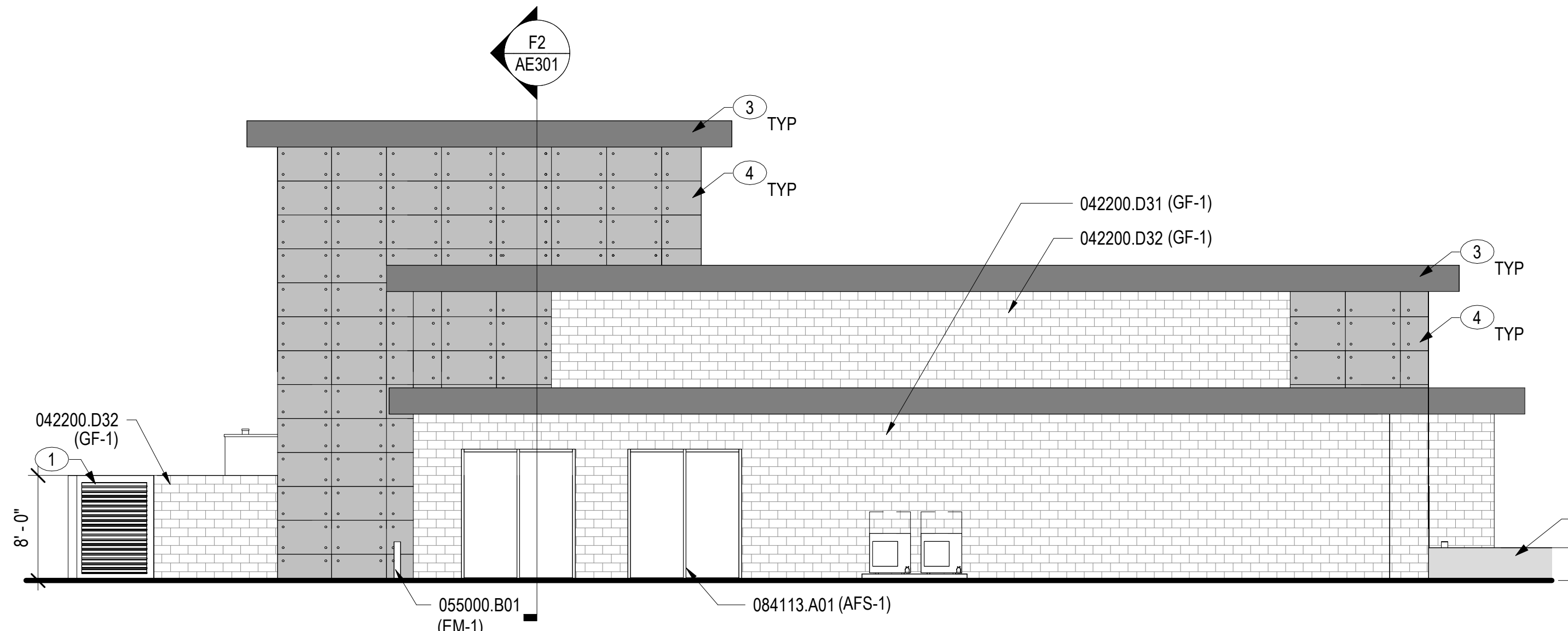
SUBMITTAL

NOT FOR CONSTRUCTION

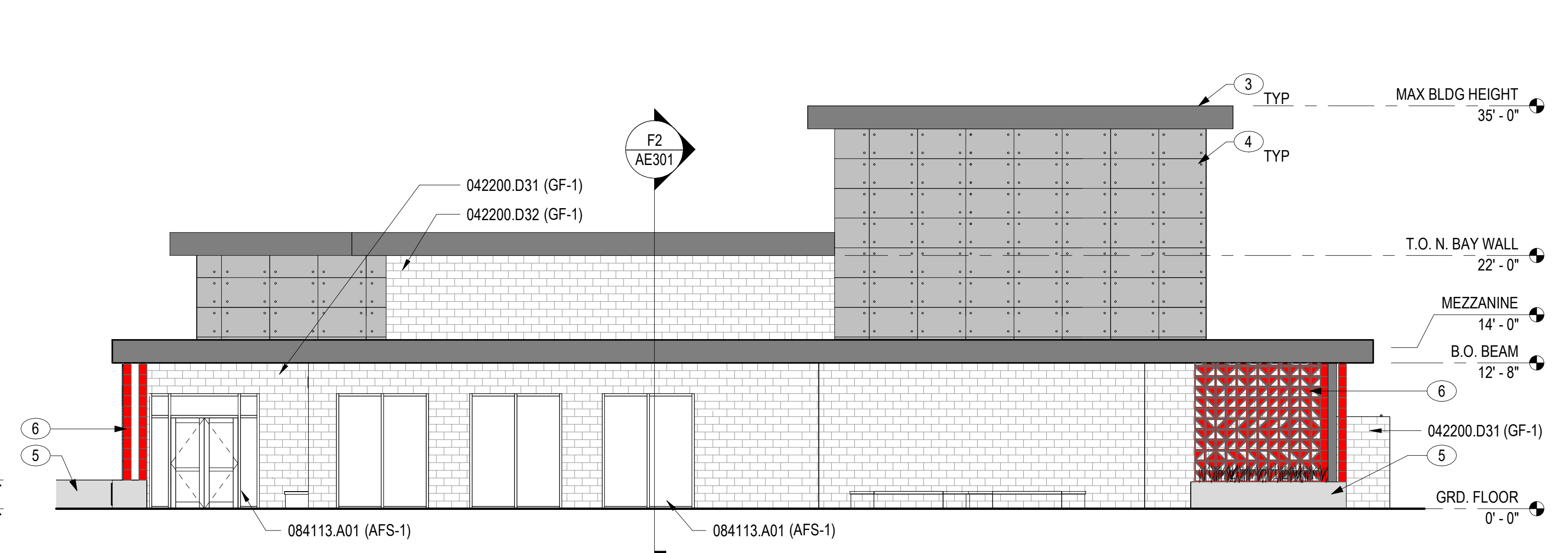
name: _____
professional license no.: _____

architect: 

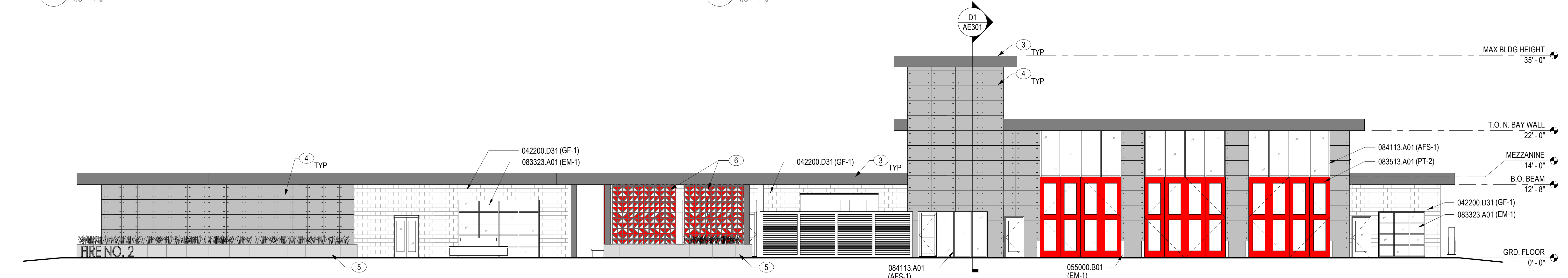
consultant: 



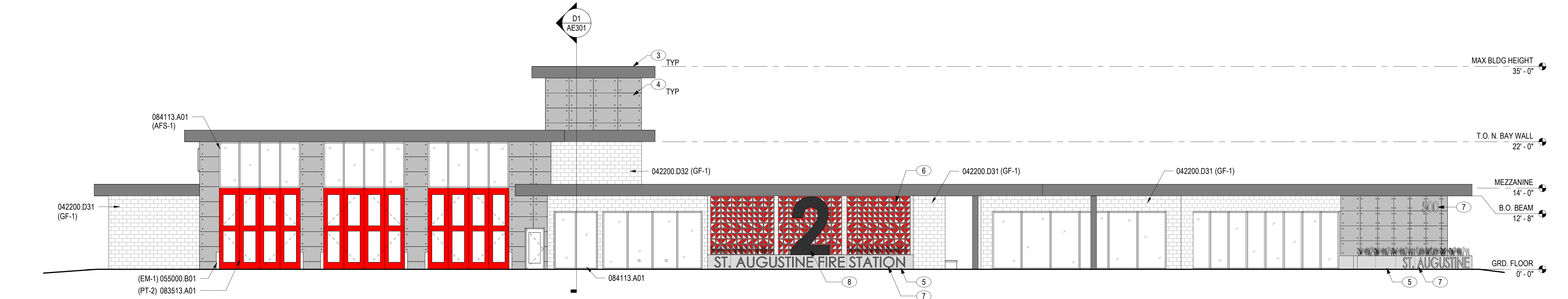
C1 EXTERIOR BUILDING ELEVATION, WEST
1/8" = 1'-0"



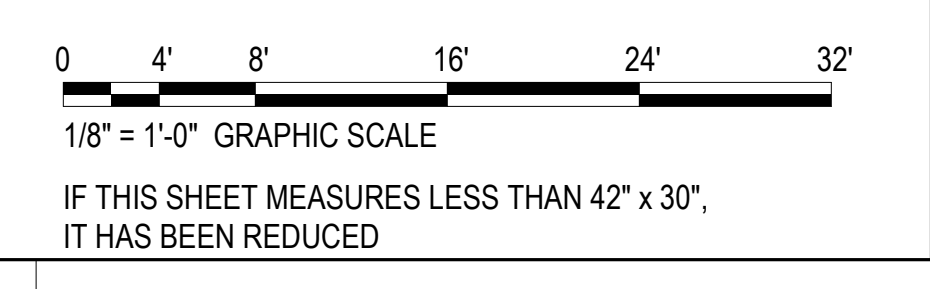
C4 MAIN BUILDING - EAST ELEVATION
1/8" = 1'-0"



D1 OVERALL BUILDING ELEVATION - NORTH
1/8" = 1'-0"



F1 OVERALL BUILDING ELEVATION - SOUTH
1/8" = 1'-0"



EXTERIOR BUILDING ELEVATIONS
 PROJECT: FIRE STATION NO. 2
 PREPARED: SCHEMATIC DESIGN
 CITY OF ST. AUGUSTINE
 PROJECT ADDRESS: 500 ANASTASIA BLVD., ST. AUGUSTINE, FL 32080
 DATE: 08/15/25
 PROJECT NO.: 2024-P027
 DESIGNED BY: BCP
 DRAWN BY: BCP
 SCALE: As indicated
 SHEET NUMBER:

AE201

INSULATION VALUES			
CLIMATE ZONE 2A, FLAGLER COUNTY (WARM-HUMID COUNTY) HEATING LOAD - MAX 72 DEG. F COOLING LOAD - MIN. 75 DEG. F			
SPEC NO.	DESCRIPTION	DEPTH	R-VALUE
072200.R01	ROOF RIGID BOARD INSULATION (ENTIRELY ABOVE DECK)	4.5 INCHES	R-27ci
--	ATTIC	NR	NR
072100.R01	MASS (RIGID BOARD, EPS)	2 INCHES	R-8 ci
--	UNDERSLAB RIGID INSULATION	NR	NR
--	OPAQUE DOORS, NON-SWINGING	--	R-4.75
SPEC NO.	DESCRIPTION	DEPTH	U-VALUE
--	FENESTRATION, OPERABLE	NR	NR
SPEC NO.	DESCRIPTION	ORIENTATION	SHGC
088000.A01	FENESTRATION, FIXED	NORTH	0.37
SPEC NO.	DESCRIPTION	ORIENTATION	SHGC
088000.A01	FENESTRATION, FIXED	S,W,E	0.30
PER FBC, ENERGY CONSERVATION, TABLE C402.1.3			

- NOTES:**
- SHEET NOTES:
- A REFER TO SHEET G001 FOR ARCHITECTURAL NOTES, ABBREVIATIONS, AND SYMBOLS.
 - B ARCHITECTURAL ELEVATION FOR FIRST FLOOR TOP OF SLAB IS DEFINED AS 0'-0". REFER TO CIVIL PLANS FOR SLAB ELEVATIONS RELATIVE TO NORTH AMERICAN VERTICAL DATUM (NVD) SYSTEM.
 - C REFER TO INSULATION SCHEDULE FOR REQUIRED R-VALUES.
 - D SLOPED ROOFING COMPOSITION IS A STANDING SEAM METAL ROOF PANEL ON 5/8" GLASS MAT COVER BOARD AND BELOW POLYISOCYANURATE RIGID BOARD INSULATION.
 - E REFER TO CIVIL SHEETS FOR SITE LAYOUT AND GRADING INFORMATION.
 - F ARROWS INDICATE ROOF SLOPE.
 - G REFER TO SHEET AE121 FOR INTERIOR CEILING CONDITIONS.
 - I ALL EXPOSED STEEL TO BE PAINTED.
 - J THE BUILDING IS A CRITICAL FACILITY. PROVIDE A MINIMUM LEVEL "E" RATING ON ALL EXTERIOR OPENINGS WHICH INCLUDES BUT NOT LIMITED TO EXTERIOR GLAZING SYSTEMS AND DOORS.

NO.	DESCRIPTION	DATE

PRELIMINARY PROGRESS PRINT
SD
08/15/25
SUBMITTAL
NOT FOR CONSTRUCTION

name: _____
professional license no.: _____

architect: **KLUBO STUDIO**
ARCHITECTURE

construction manager: _____

consultant: _____

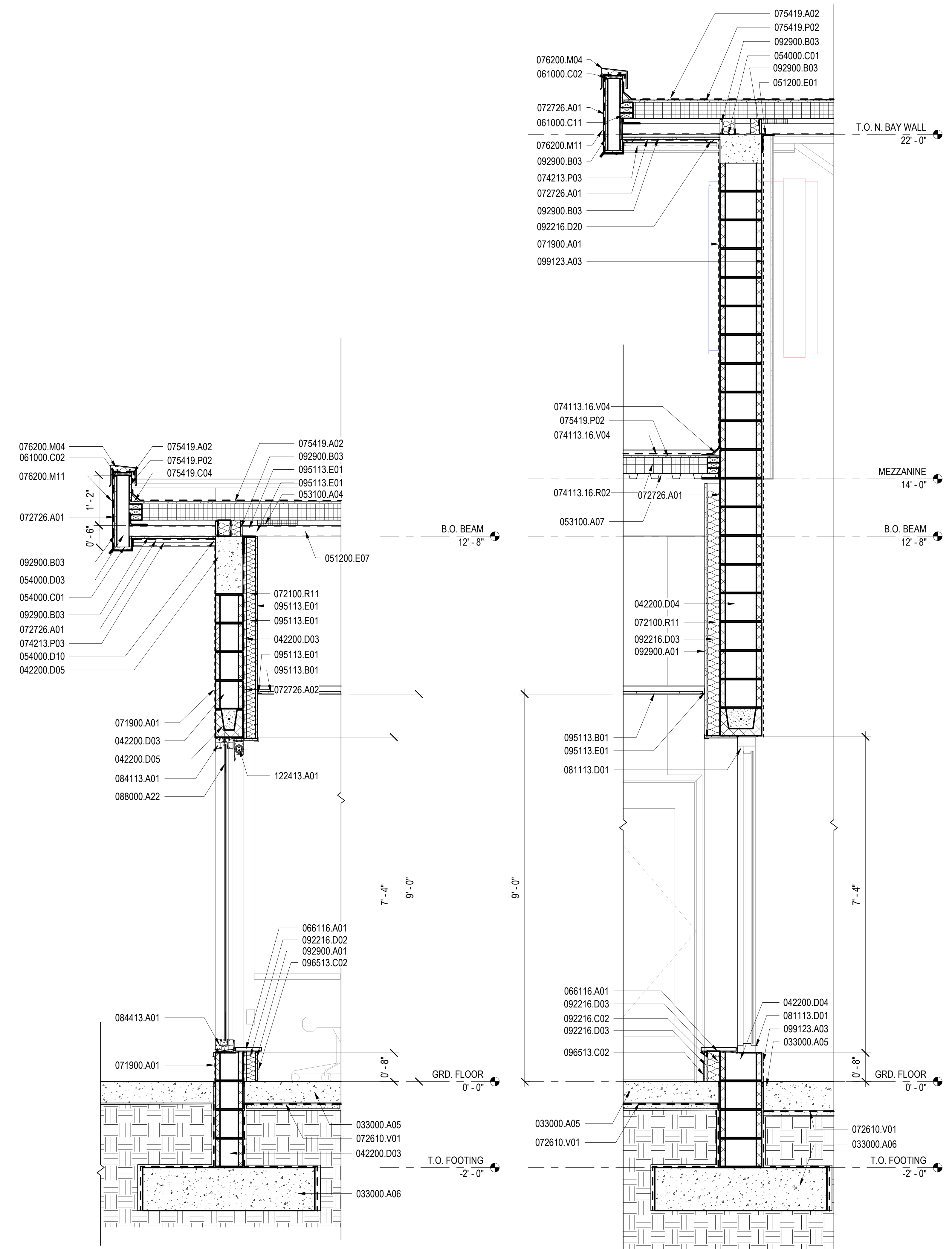
- MATERIAL NOTES**
- 033000.A05 CONCRETE FLOOR
 - 033000.A06 CONCRETE FOOTING
 - 042200.D03 CMU 8"
 - 042200.D04 CMU 12"
 - 042200.D05 CMU BOND BEAM
 - 051200.E01 STEEL ANGLE
 - 051200.E07 STEEL BAR
 - 053100.A04 COMPOSITE STEEL DECK
 - 053100.A07 STEEL ROOF DECK
 - 054000.C01 METAL STUD RUNNER TRACK
 - 054000.D03 METAL STUD 3 5/8"
 - 054000.D10 FURRING CHANNEL, "Z" SHAPE 1"
 - 061000.C02 CONTINUOUS WOOD BLOCKING
 - 061000.C11 PRESSURE TREATED WOOD BLOCKING
 - 066116.A01 SOLID SURFACE WINDOW SILL
 - 071900.A01 PENETRATING WATER REPELLENT, CLEAR
 - 072100.R11 BLANKET INSULATION, FACED
 - 072610.V01 UNDERSLAB VAPOR BARRIER
 - 072726.A01 FLUID-APPLIED AIR BARRIER, VAPOR-RETARDING
 - 072726.A02 FLUID-APPLIED AIR BARRIER, VAPOR-PERMEABLE
 - 074113.16.R02 ROOF INSULATION BOARD
 - 074113.16.V04 HIGH TEMPERATURE RESISTANT UNDERLAYMENT
 - 074213.P03 METAL SOFFIT PANEL SYSTEM
 - 075419.A02 SINGLE-PLY PVC ROOFING MEMBRANE, FULLY ADHERED
 - 075419.C04 PREFORMED CANT
 - 075419.P02 GLASS MAT GYPSUM PROTECTION BOARD
 - 076200.M04 PARAPET COPING
 - 076200.M11 BREAK METAL FASCIA
 - 081113.D01 HOLLOW METAL FRAME
 - 084113.A01 GLAZED ALUMINUM STOREFRONT SYSTEM ASSEMBLY
 - 084413.A01 GLAZED ALUMINUM CURTAIN WALL ASSEMBLY
 - 088000.A22 INSULATING-LAMINATED GLASS UNIT
 - 092216.C02 METAL STUD RUNNER TRACK
 - 092216.D02 METAL STUD 2 1/2"
 - 092216.D03 METAL STUD 3 5/8"
 - 092216.D20 CARRYING CHANNEL 3/4"
 - 092900.A01 GYPSUM BOARD, REGULAR 5/8"
 - 092900.B03 GLASS MAT FACED EXTERIOR GYPSUM SHEATHING 5/8"
 - 095113.B01 EXPOSED-GRID ACOUSTICAL CEILING SYSTEM
 - 095113.E01 WALL ANGLE
 - 096513.C02 RESILIENT WALL BASE, COVERED
 - 099123.A03 PAINT FINISH, EPOXY
 - 122413.A01 WINDOW SHADES

PROJECT: FIRE STATION NO. 2
CITY OF ST. AUGUSTINE
500 ANASTASIA BLVD., ST. AUGUSTINE, FL 32080

DESIGNED BY: SCHEMATIC DESIGN
DATE: 08/15/25

PROJECT NO.: 2024-P027
DESIGNED BY: BCP
DRAWN BY: BCP
SCALE: As indicated
SHEET NUMBER: _____

EXTERIOR WALL SECTIONS

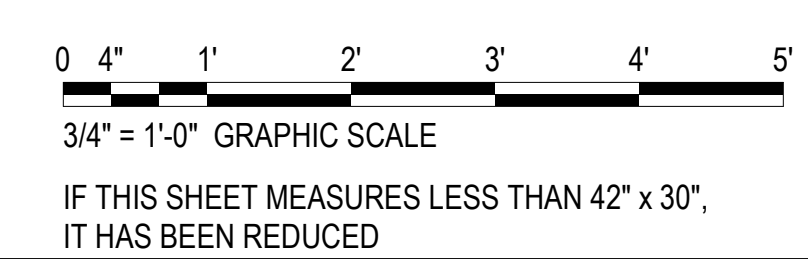


F2 WALL SECTION @ WATCH ROOM
3/4" = 1'-0"

F4 WALL SECTION @ FITNESS ROOM
3/4" = 1'-0"

RATED PARTITIONS

	NON-RATED PARTITION
	SMOKE PARTITION
	1 HOUR FIRE BARRIER



AE311

Sure-Flex™ KEE HP Membrane



Overview

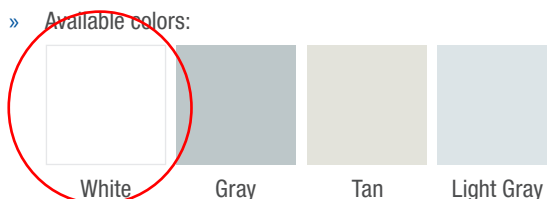
Carlisle's Sure-Flex KEE HP (High Performance) membrane is manufactured using DuPont® Elvaloy® KEE HP resin modifier. The utilization of KEE HP enhances the performance of poly-vinyl chloride (PVC) compounds by providing outstanding thermal stability and flexibility for use in more demanding applications. The higher molecular weight of KEE HP results in slower migration to provide extended low- and high-temperature performance limits, increased chemical resistance, and outstanding microbial growth resistance when compared to standard KEE.

The physical properties of the membrane are enhanced by a tenacious anti-wicking polyester fabric that is encapsulated by thick top and bottom plies. The membrane's smooth surfaces facilitate a permanent weld for a consistent, watertight, monolithic roof assembly.

Features and Benefits

- » KEE HP resin modifier provides enhanced thermal stability, chemical resistance, fire resistance, and microbial growth resistance for use in the most demanding environments
- » Fully formulated monolithic top-ply for withstanding long-term rooftop conditions
- » Enhanced physical characteristics meeting ASTM D4434 Type IV requirements
- » Antimicrobials throughout the polymer for increased resistance to mold, mildew, and algae growth

- » Highly flexible with a wide window of weldability for ease of installation
- » Wide range of membrane widths and thicknesses available
- » Available colors:



Sustainable Attributes

Carlisle SynTec Systems' focus has always been innovation - Innovation to solve problems, improve performance, reduce labor, and above all, improve sustainability. Carlisle is committed to driving sustainable and efficient processes in the design and manufacturing of our products.

- » PVC polymer derived from less than 50% fossil fuels
- » Up to 10% pre-consumer recycled content
- » Fully recyclable when used in mechanically-attached systems
- » 3rd-party verified Environmental Product Declaration available
- » California Title 24 compliant*
- » See Radiative Properties and LEED Information tables below for additional attributes

*White and light gray only.

Installation

Installation requires minimal labor and few components, making it quick and easy to install. Sheet seams are heat-welded together using hot-air welding equipment to create a monolithic, water-tight roof system.

Sure-Flex KEE HP is suitable for the following roof systems:

Fully-Adhered – membrane is adhered to a suitable substrate utilizing an appropriate bonding adhesive

Mechanically Fastened – membrane is attached to a suitable substrate utilizing plates and fasteners which are overlapped with membrane

Induction-Welded – membrane is attached to a suitable substrate via an induction welding tool being placed over the membrane where a fastened PVC induction welding plate is located to weld the two components together

Review Carlisle specifications, product data sheets, and details for complete installation information.

FLOAT

UHP

LIGHTWEIGHT
CONCRETE
PANELS



CATALOGUE

Genuine
concrete surfaces
casted from
nature's elements
in the form of a thin
high-performance panel.

KONKRETE
SERIES.





Panel Specifications

KONKRETE 4

1200 x 600mm

47 1/4" x 23 5/8"

Weight 9.8kg // 21.6 lbs

Thickness 13mm // 0.5"

Finish Natural or Smooth

Detail 4 anchor holes

Coverage 0.72 m² // 7.75 ft²



KONKRETE 3

1300 x 530mm

51 3/16" x 20 7/8"

Weight 9.4kg // 20.7 lbs

Thickness 13mm // 0.5"

Finish Natural or Smooth

Detail 3 anchor holes

Coverage 0.69 m² // 7.42 ft²



KONKRETE SQ

900 x 900mm

35 7/16" x 35 7/16"

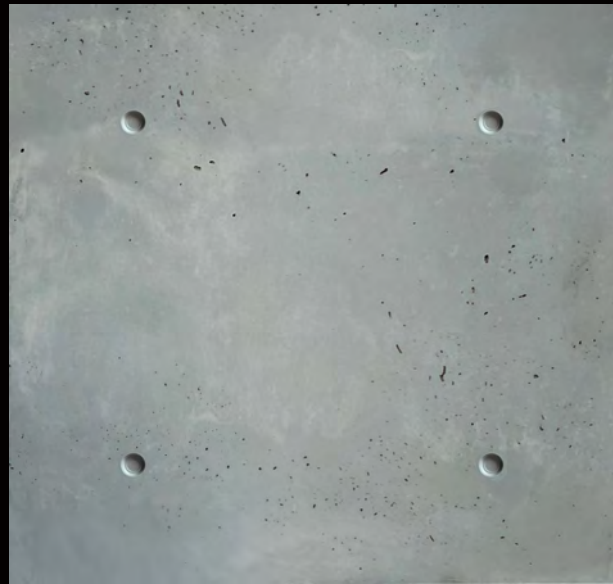
Weight 11kg // 24.3 lbs

Thickness 13mm // 0.5"

Finish Natural or Smooth

Detail **4 anchor holes**

Coverage 0.81 m² // 8.72 ft²



KONKRETE 2

1000 x 500mm

39 3/8" x 19 11/16"

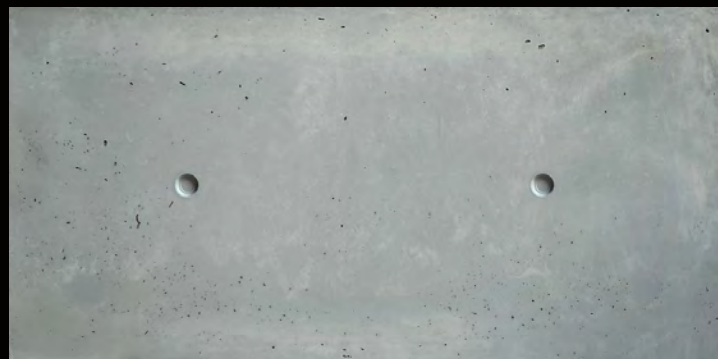
Weight 6.8kg // 15 lbs

Thickness 13mm // 0.5"

Finish Natural or Smooth

Detail **2 anchor holes**

Coverage 0.5 m² // 5.38 ft²



KONKRETE X

1200 x 600mm

47 1/4" x 23 5/8"

Weight 9.8kg // 21.6 lbs

Thickness 13mm // 0.5"

Finish Natural or Smooth

Detail **No anchor holes**

Coverage 0.72 m² // 7.75 ft²



KONKRETE XL

1300 x 800mm

51 3/16" x 31 1/2"



Weight 14.1kg // 31.2 lbs

Thickness 13mm // 0.5"

Finish Natural or Smooth

Detail **No anchor holes** OR **4 anchor holes**

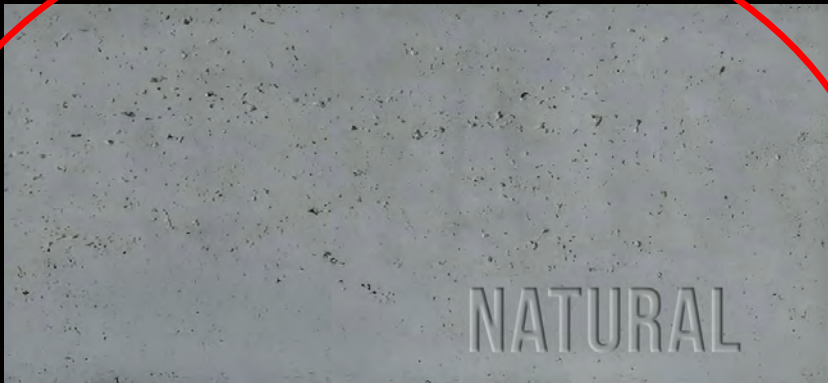
Coverage 1.04 m² // 11.19 ft²



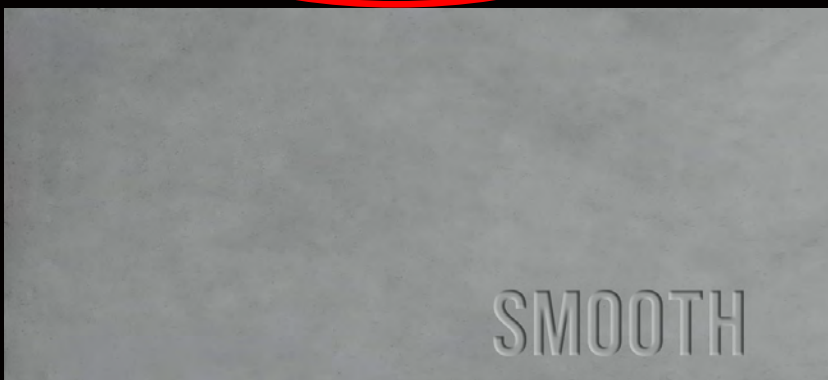
IUHPC

What is the difference between natural or smooth finish?

Both finishes reveal natural concrete mottling and tonal movement inherent to real concrete.

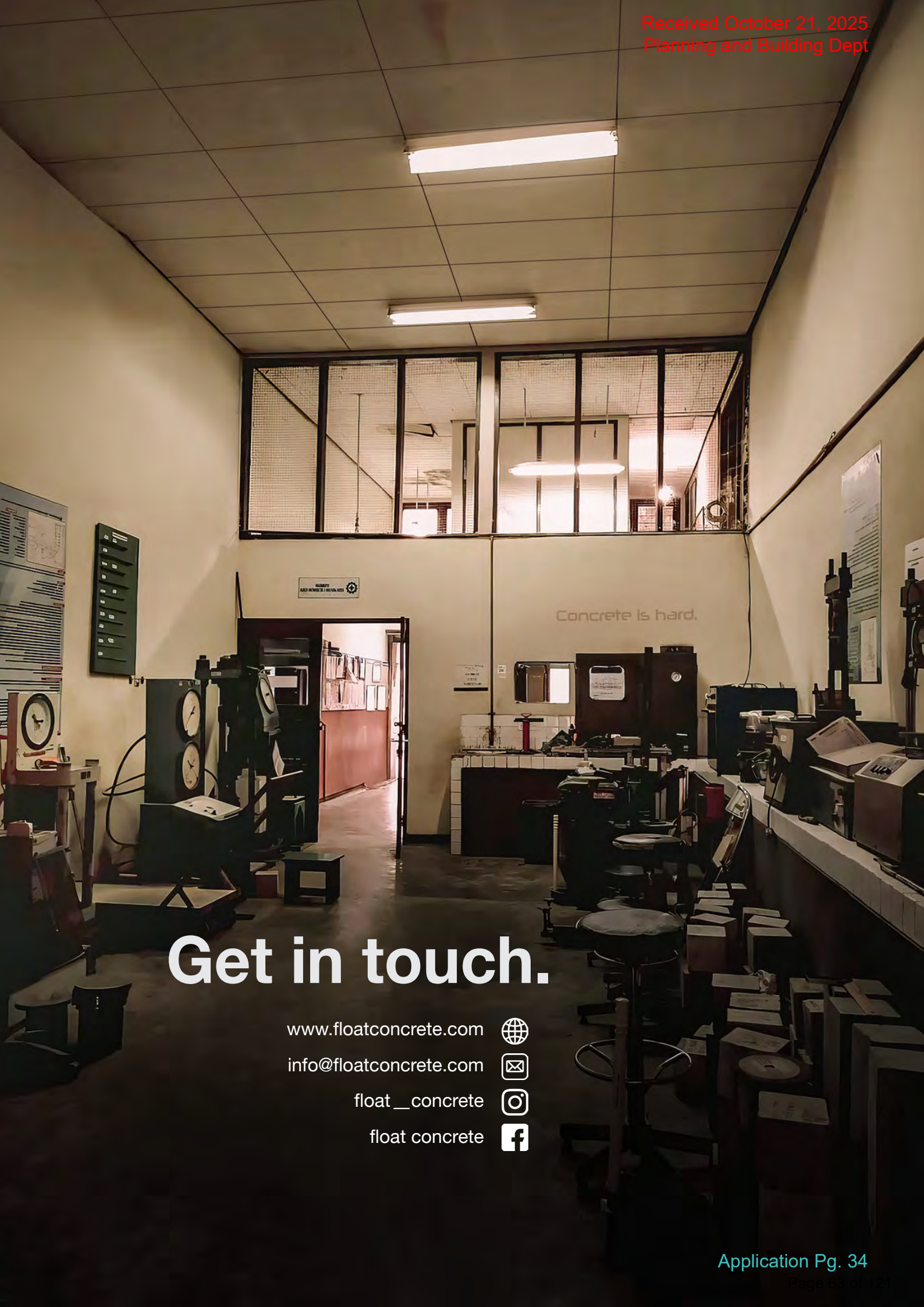


Natural finish features randomized pitting and subtle texture offering raw character and an organic feel.



Smooth finish offers a clean refined surface free of pitted holes — ideal for minimal, modern spaces.





Concrete is hard.

Get in touch.

www.floatconcrete.com



info@floatconcrete.com



[float__concrete](#)



[float concrete](#)



VILLA LAGOON TILE

BREEZE BLOCKS FOR A NEW GENERATION



8" CONCRETE BREEZE BLOCKS

SHOWN IN NATURAL WHITE



IBIZA



COZUMEL



SANTORINI



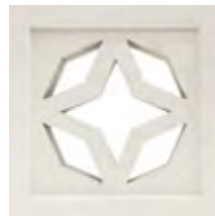
KAUAI



TAHITI



CAPRI



BALI



TONGA



SAMOA



FIJI



ANTIGUA



CURACAO



HAWAII



MALDIVES



MAUI



JAMAICA



ARUBA



BARBADOS



ZANZIBAR



MYKONOS

8" CONCRETE BREEZE BLOCKS

SHOWN IN NATURAL WHITE



PALAU



MOLOKAI



TORTUGA



LANAI



KYUSHU



BORNEO



ANTILLES



SUMATRA



TURKS



CAICOS



8" CONCRETE BREEZE BLOCKS

SHOWN IN NATURAL WHITE



SEYCHELLES



MOOREA



CRETE



CYPRUS



SARDINIA



PALAWAN



LUZON



KAHOOLAWEE



CORFU



BORA BORA



Structural Grooves
*SHOWN IN NATURAL GRAY



TINIAN



ROTA



SAINT LUCIA



ANEGADA



AKUTAN



GUAM



MILOS



NAXOS

Format: 7 1/2" Square
Dimension: 190x190x65-80 mm
Coverage: 2.3 pieces Per Square Foot

Weight: 5-8 lbs Each
Composition: White Portland Cement
Fine & Course White Sand



12" CONCRETE BREEZE BLOCKS

SHOWN IN NATURAL WHITE



LARGE IBIZA



LARGE BERMUDA



LARGE TORTOLA



LARGE CATALINA



LARGE BARBADOS



LARGE MALTA



LARGE KAUAI



LARGE AZORES



LARGE ANEGADA

12" CONCRETE BREEZE BLOCKS

SHOWN IN NATURAL WHITE



LARGE BELIZE



LARGE TONGA



LARGE BEVELED IBIZA



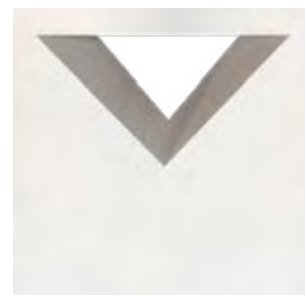
LARGE KORCULA



LARGE MALLORCA



LARGE BEVELED COZUMEL



LARGE MENORCA



LARGE CAYMAN



LARGE KYUSHU

Format: 11 3/8" Square
Dimension: 290x290x90 mm
Coverage: 1.02 pieces Per Square Foot

Weight: 16 -25 lbs Each
Composition: White Portland Cement
White Sand
Application Pg. 98
Page 67 of 121

CUSTOMIZED DESIGNS AVAILABLE



- ◆ Collaborate with our in-house R&D team.
- ◆ Co-create a bespoke block design that aligns with your project's unique vision.
- ◆ Experience our commitment to excellent.



BREEZE BLOCKS

Color Options

-  Natural Gray
-  Brown
-  Natural White
-  Black
-  Green
-  Blue
-  Yellow
-  Red



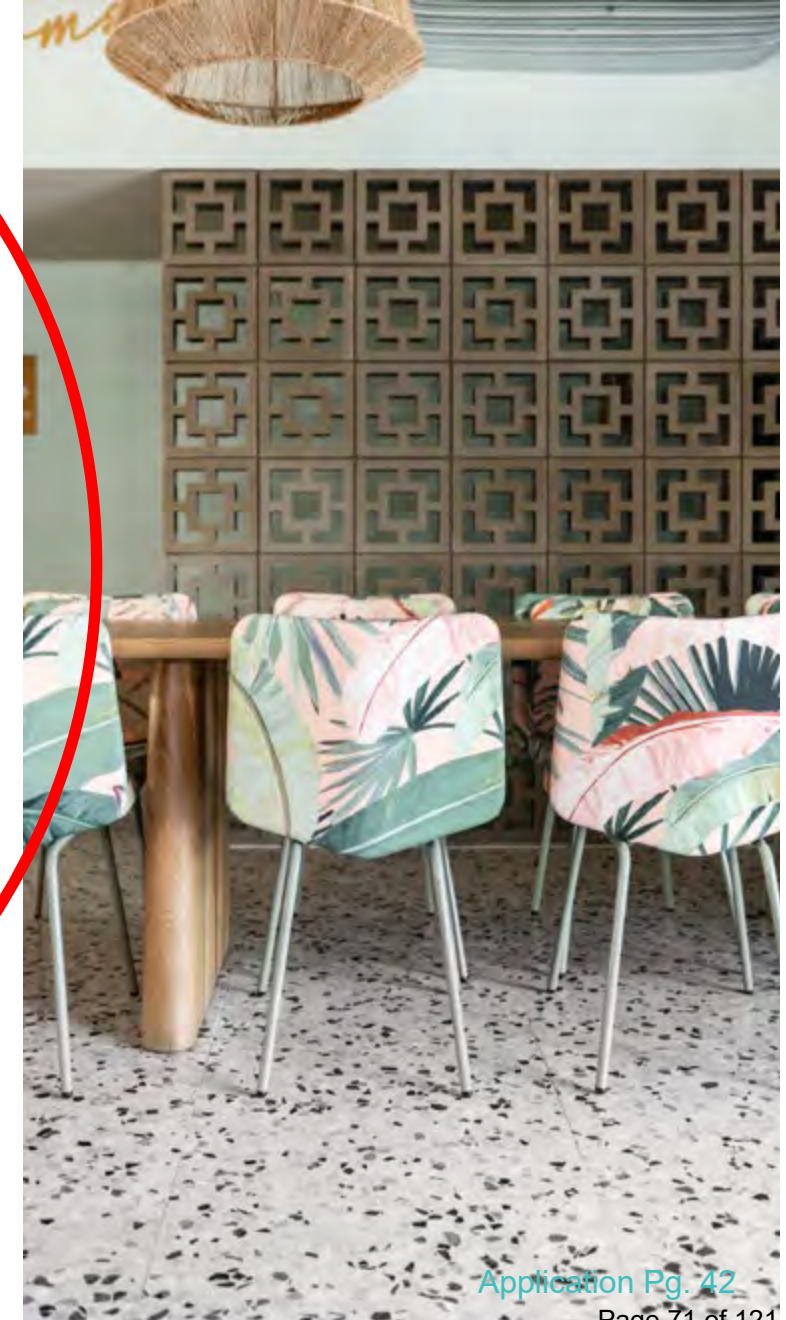
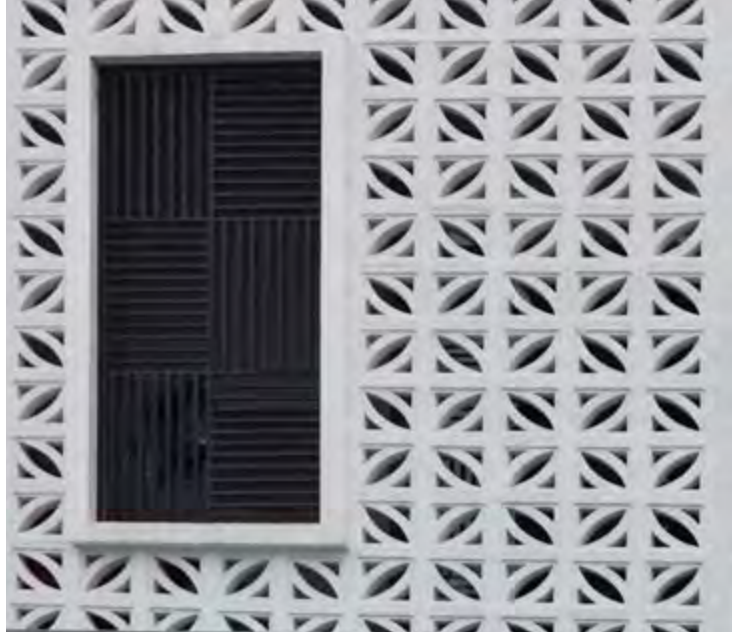
COLOR BLOCKS
MADE TO ORDER
Contact Us for Minimum
Order Quantity (MOQ)



SELECT
BLACK & TERRACOTTA
BLOCKS IN STOCK











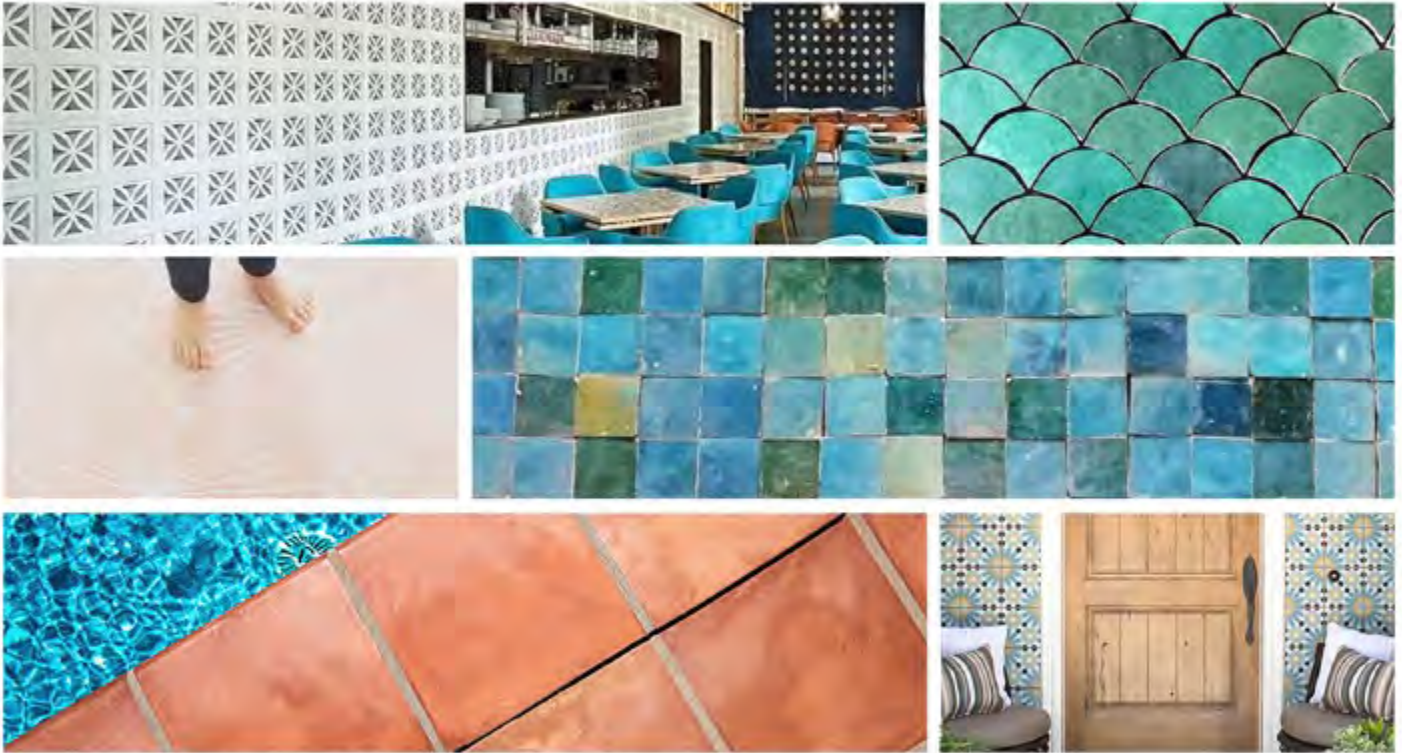


In addition to our standard block colors, you can also paint the blocks with a variety of water based paints while maintaining the unique refined surfaces.



CEMENT TILE • TERRAZZO • BREEZE BLOCKS • GLAZED ZELLEGE • TERRACOTTA

Received October 21, 2025
Planning and Building Dept



MORE TO EXPLORE AT VILLALAGOONTILE.COM

info@villalagoontile.com • 251.968.3375



VillaLagoonTile.com

Handcrafted Tile & Breeze Blocks

Application Pg. 46

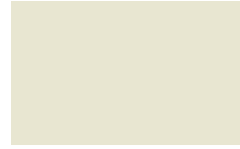
Page 75 of 121
Ver. 4.0-11.2024



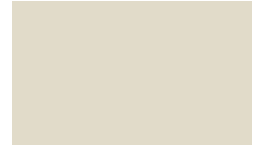
PAC-CLAD

P E T E R S E N

A **CARLISLE** COMPANY



▲ ALMOND



▲ SANDSTONE



▲ AGED BRONZE



▲ DARK BRONZE



MIDNIGHT BRONZE



▲ MANSARD BROWN



▲ MUSKET GRAY



▲ CHARCOAL



ONYX (fka Matte Black)



TRADITIONAL BLACK



BURGUNDY



▲ CARDINAL RED



BERKSHIRE BLUE



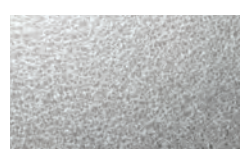
AWARD BLUE



FOREST GREEN



▲ EVERGREEN



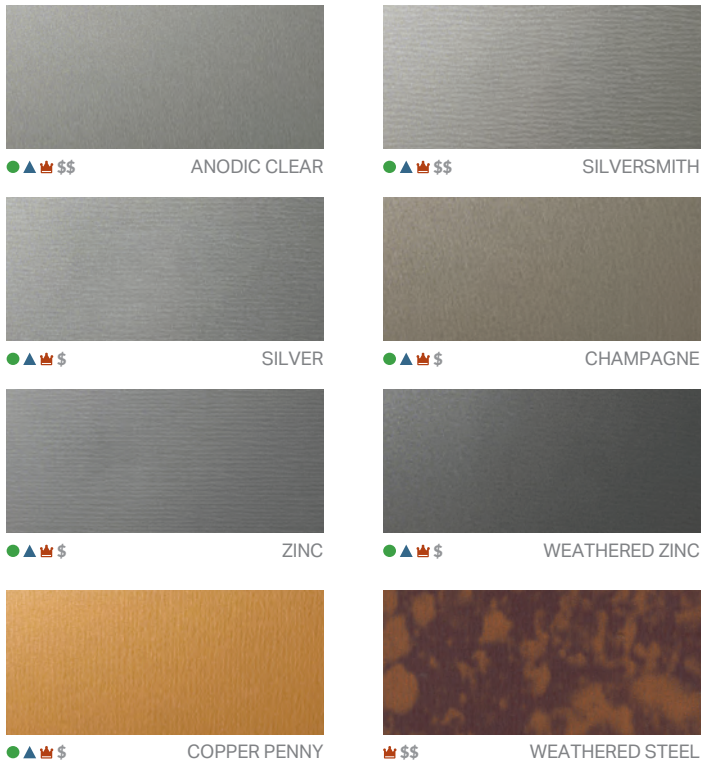
GALVALUME PLUS



HARTFORD GREEN

Color Guide

Premium Colors



Timber Series Wood Grain

Available in 24 gauge steel and .032 aluminum.

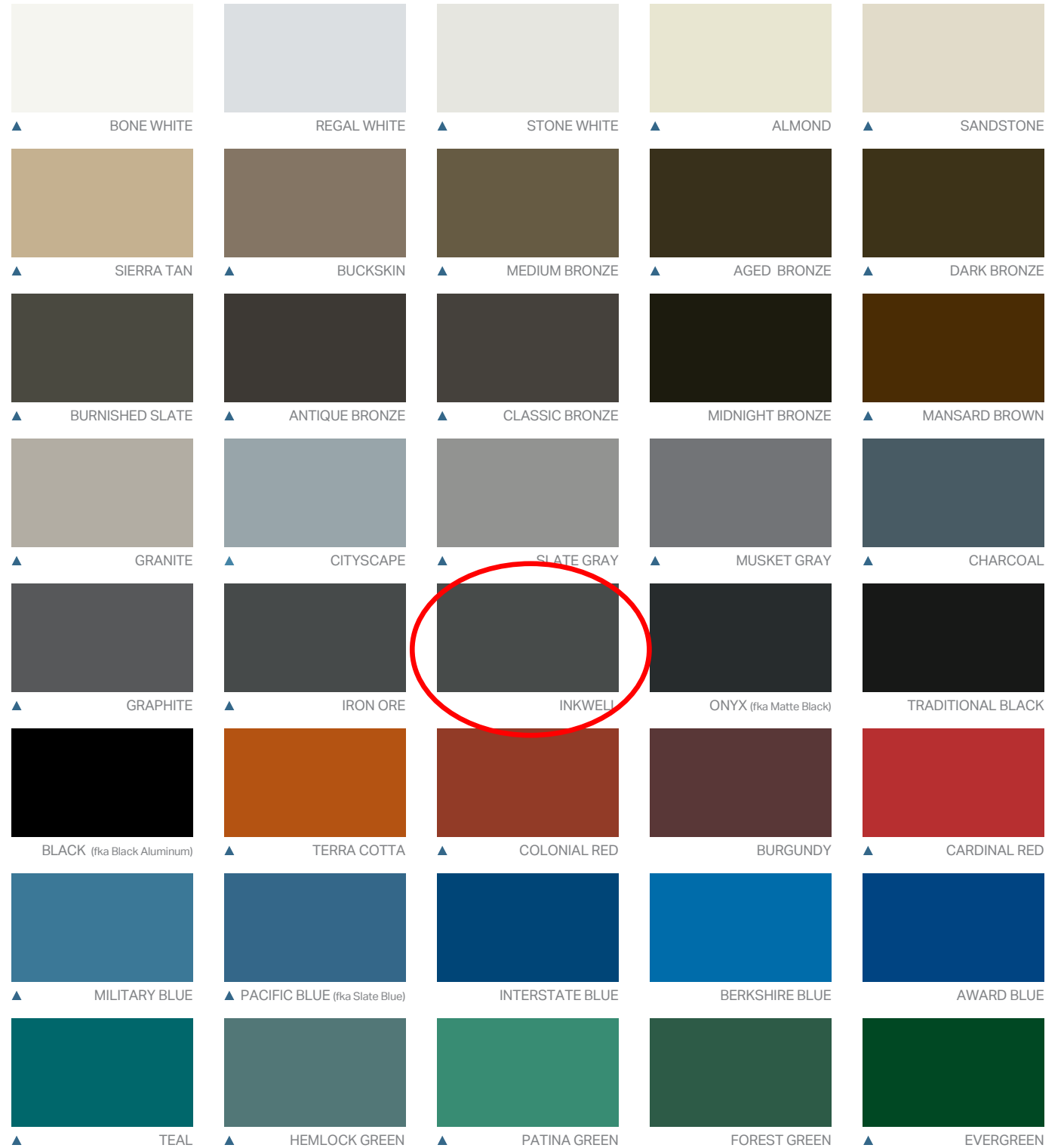


70% polyvinylidene fluoride (PVDF) pre-finished steel and aluminum for all architectural cladding applications.

● Metallic Colors \$ Pricing ▲ Cool Colors 👑 Premium Colors

See back for color performance and availability chart.

Standard Colors



IL: 800 PAC CLAD TX: 800 441 8661 MD: 800 344 1400
AZ: 833 750 1935 GA: 800 272 4482 WA: 833 750 1935

Received October 21, 2025
Planning and Building Dept

Performance and Availability

PAC-CLAD STANDARD COLORS	REFLECTIVITY	EMISSIONITY	3 YEAR EXPOSURE	SRI	STEEL			ALUMINUM			20-IN. COIL	
					24 GA.	22 GA.	.032	.040	.050	.063	24 GA.	.032
AGED BRONZE	0.29	0.87	0.27	29	✓						✓	
ALMOND	0.63	0.85	0.55	75	✓	✓	✓	✓	✓			
ANTIQUE BRONZE NEW	0.28	0.86	N/A	27	✓		✓	✓			✓	✓
AWARD BLUE †	0.25	0.86	0.23	24	✓		✓					
BERKSHIRE BLUE *	0.29	0.86	0.27	29	✓							
BLACK (FKA BLACK ALUMINUM)	0.05	0.90	0.04	0	✓	✓	✓	✓	✓	✓	✓	✓
BONE WHITE	0.70	0.86	0.69	85	✓	✓	✓	✓	✓	✓	✓	✓
BUCKSKIN NEW	0.37	0.86	N/A	39	✓		✓				✓	✓
BURGUNDY	0.24	0.86	0.13	22	✓						✓	
BURNISHED SLATE	0.32	0.86	0.31	33	✓						✓	
CARDINAL RED †	0.44	0.86	0.44	49	✓		✓				✓	✓
CHARCOAL	0.30	0.87	0.30	31	✓		✓	✓	✓		✓	✓
CITYSCAPE	0.05	0.87	0.50	57	✓	✓	✓	✓	✓		✓	✓
CLASSIC BRONZE * NEW	0.27	0.87	N/A	27	✓						✓	
COLONIAL RED	0.34	0.87	0.31	36	✓		✓	✓	✓		✓	✓
DARK BRONZE	0.27	0.86	0.29	26	✓	✓	✓	✓	✓	✓	✓	✓
EVERGREEN	0.10	0.86	0.26	4	✓							
FOREST GREEN	0.10	0.88	0.10	5	✓		✓	✓			✓	✓
GRANITE *	0.32	0.86	0.33	33	✓	✓	✓	✓	✓			✓
GRAPHITE	0.25	0.86	0.28	24	✓						✓	
HARTFORD GREEN	0.08	0.88	0.08	3	✓			✓			✓	
HEMLOCK GREEN	0.31	0.87	0.30	32	✓		✓				✓	
INKWELL * NEW	0.27	0.86	N/A	26	✓						✓	
INTERSTATE BLUE	0.16	0.87	0.15	12	✓		✓		✓		✓	✓
IRON ORE NEW	0.27	0.87	N/A	27	✓		✓	✓	✓		✓	✓
MANSARD BROWN	0.31	0.87	0.31	32	✓	✓	✓	✓	✓		✓	✓
ONYX (fka MATTE BLACK STEEL)	0.26	0.85	0.25	24	✓	✓					✓	
MEDIUM BRONZE	0.30	0.88	0.29	31	✓	✓	✓	✓	✓	✓	✓	✓
MIDNIGHT BRONZE	0.06	0.90	0.06	1	✓			✓			✓	
MILITARY BLUE	0.31	0.87	0.30	32	✓		✓				✓	✓
MUSKET GRAY	0.32	0.87	0.31	33	✓	✓	✓		✓		✓	✓
PACIFIC BLUE (fka SLATE BLUE)	0.28	0.87	0.27	28	✓		✓				✓	✓
PATINA GREEN	0.33	0.86	0.32	34	✓							
REGAL WHITE NEW	0.66	0.86	N/A	79	✓		✓	✓			✓	✓
SANDSTONE	0.48	0.87	0.48	55	✓	✓	✓	✓	✓	✓		
SIERRA TAN	0.38	0.85	0.31	40	✓	✓	✓	✓	✓		✓	✓
SLATE GRAY	0.41	0.87	0.37	45	✓	✓	✓	✓	✓		✓	✓
STONE WHITE	0.69	0.86	0.67	84	✓	✓	✓	✓	✓	✓		
TEAL	0.31	0.87	0.32	32	✓		✓					
TERRA COTTA	0.35	0.87	0.33	37	✓		✓		✓		✓	✓
TRADITIONAL BLACK * NEW	0.28	0.87	N/A	28	✓		✓				✓	✓
PAC-CLAD PREMIUM COLORS												
ANODIC CLEAR	0.53	0.81	0.31	60				✓				
CHAMPAGNE	0.40	0.78	0.49	40	✓		✓	✓	✓			✓
COPPER PENNY	0.50	0.86	0.52	57	✓		✓	✓	✓		✓	✓
SILVER	0.47	0.82	0.46	52	✓	✓	✓	✓	✓		✓	✓
SILVERSMITH	0.54	0.81	0.32	61				✓				
WEATHERED STEEL	0.26	0.86	N/A	25	✓							
WEATHERED ZINC	0.24	0.83	0.46	21	✓	✓	✓		✓		✓	✓
ZINC	0.33	0.84	0.38	33	✓		✓	✓				✓
CLEAR-COAT ACRYLIC FINISH (NON-PVDF)												
GALVALUME PLUS	0.68	0.14	0.55	57	✓	✓					✓	

PAC-CLAD Premium finishes are available from stock at a moderate extra cost. PAC-CLAD Copper Penny is a Non-Weathering finish. Solar Reflectance Index calculated according to ASTM E-1980. Reflectivity and solar reflectance index (SRI) values are provided by Sherwin-Williams

* Low Gloss/Low Sheen, 70% PVDF finish † 10-year finish warranty

TECHNICAL DATA FOR 70% PVDF COATING:

- ▶ South Florida Exposure: Color (ASTM D 2244) - No more than 5ΔE Hunter units at 20 years; Chalk (ASTM D 4214) - Rating no less than 8 at 20 years; Film integrity - 20 years.
- ▶ Accelerated Weathering (ASTM D 4587, ASTM G 154): 5000 Hours; Chalk, per ASTM D 4214, rating of 6 or better; Color, per ASTM D 2244, < 5ΔE (Hunter Units) color change.
- ▶ Chemical/Acid Pollution Resistance (ASTM D 1308): Pass

- ▶ T-Bend (ASTM D 4145): 1T - 3T with no loss of adhesion
- ▶ Humidity Resistance (ASTM D 2247): Galvalume or HDG, 100% RH, 2000 hours - No field blisters; Aluminum, 100% RH, 3000 hours - No field blisters
- ▶ Salt Spray Resistance (ASTM B 117): Aluminum: 3000 hours, creep from scribe no more than 1/16" (2mm), no field blisters. Galvalume or HDG: 2000 hours, creep from scribe no more than 1/8" (4mm), no field blisters

- ▶ Pencil hardness (ASTM D 3363): HB - 2H
- ▶ Specular Gloss (ASTM D 523) @ 60 degrees: Typical - 20 - 35
- ▶ Abrasion Resistance (ASTM D 969): 80 Liters/Mil +/- 5 Liters
- ▶ Cross Hatch Adhesion (ASTM D 3359): No loss of adhesion
- ▶ Reverse Impact (ASTM D 2794): Galvalume or HDG, 2x metal thickness inch-pounds, no loss of adhesion; Aluminum, 1.5x metal thickness inch-pounds, no loss of adhesion
- ▶ Flame Test (ASTM E 84): Class A Coating

PAC-CLAD® is a registered trademark of Petersen Aluminum Corp. The PAC-CLAD finish is 70% polyvinylidene fluoride (PVDF). Galvalume Plus is a registered trademark of BIEC International. 7/25

Nature-Inspired Design

Wood and Wood-look



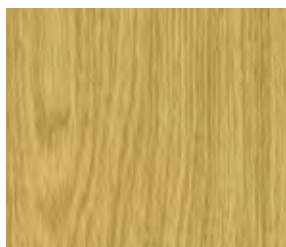
Armstrong®

World Industries
Application Pg. 50

**EFFECTS™ Classic
Dye-sublimation Finishes
(Interior, Exterior)**



SUSTAIN™
High Performance Sustainable
Ceiling Systems



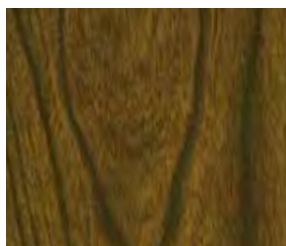
Oak (FXOK, FXOK2)



Cherry (FXCH, FXCH2)



Dark Cherry (FXDC, FXDC2)



Walnut (FXWN, FXWN2)

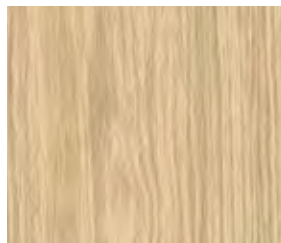


Walnut Espresso (FXWE, FXWE2)

**EFFECTS Bold Dye-sublimation Finishes
(Interior, Exterior)**



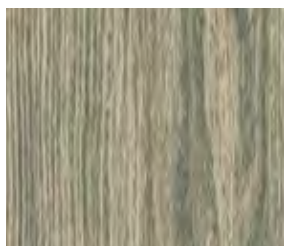
Sea Salt (FXSS, FXSS2)



Ginger (FXGR, FXGR2)



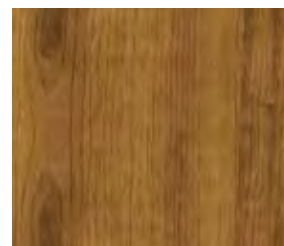
Nutmeg (FXNM, FXNM2)



Poppy Seed (FXPS, FXPS2)



Peppercorn (FXPC, FXPC2)



Almond (FXAL, FXAL2)

**EFFECTS Subtle Dye-sublimation Finishes
(Interior, Exterior)**



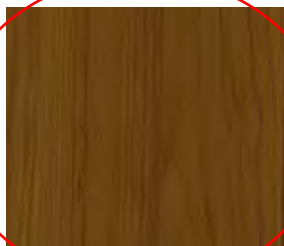
Sesame (FXSE, FXSE2)



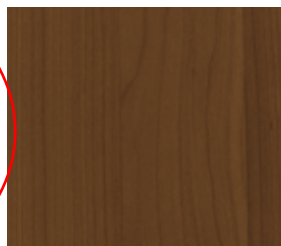
Macadamia (FXMA, FXMA2)



Cinnamon (FXCM, FXCM2)



Flax (FXFL, FXFL2)




Cocoa Bean (FXCB, FXCB2)



Coriander (FXCO, FXCO2)

**EXTERIOR SOFFIT /
ACCENT INTERIOR
CEILINGS**

Wood & Wood-looks Selection Guide

PRODUCTS	Material	Wood/ Wood-Look Visual	Wood/ Wood-Look Trim	Material Cost*	Maximum Acoustic Performance	Lead Time	Humidity/ Sag Resistant	Sustainability
WoodWorks® Ceilings & Walls	Wood Veneer with Fire-rated Particle Board	True Wood Character	Coordinating Trim Available	\$\$\$	0.85 NRC** 35 CAC			
	Solid Wood	Stained Poplar and Western Hemlock Clear Coat	Coordinating Trim Available	\$\$	0.85 NRC** 39 CAC			
WoodWorks® ACGI Custom Ceilings & Walls	Veneer & Solid Wood	Custom to Match Millwork	Custom	\$\$\$\$	Varies	Varies		
Lyra® PB Tegular & Vector Ceilings	Fiberglass with Plant-Based Binder	Printed Scrim	Standard Axiom® Trim Recommended	\$	Up to 0.95 NRC	3-6 Weeks	Yes	 + Recycled Content
SoundScapes® Blades Ceilings & Walls	Fiberglass	Acoustically transparent membrane on face and sides	Coordinating Grid Available	\$\$	2.05 NRC		Yes	Recycled Content
SoundScapes® Shapes Ceilings & Walls	Fiberglass	Acoustically transparent membrane on face and sides	Standard Suspension recommended	\$\$	1.15 NRC			Recycled Content
MetalWorks™ Ceilings & Walls	Aluminum and Steel	Printed, Dye-Sublimation and Laminated	Coordinating Trim for Effects Finishes	\$\$\$	0.80 NRC 35 CAC		Yes	
CastWorks™ Metaphors® Ceiling Panels	Glass-Fiber Reinforced Gypsum (GRG)	Painted Wood Look	Standard Grid Recommended	\$\$\$		Varies		
Tectum® Create!™ Ceilings & Walls	Cementitious Wood Fiber	Printed Rustic Wood	Standard Axiom Trim Recommended	\$\$	0.85 NRC**	6 Weeks		
Turf® Ceilings & Walls	Felt	Printed Felt	Custom	\$\$	0.75 NRC	6 Weeks	Yes	Declare® Red List Free, HPD, Low-VOC
Arktura® Ceilings & Walls	Metal & Felt	Custom to Match Millwork	Custom	\$\$\$	Varies	Varies	Yes	Declare® Red List Free, HPD, Low-VOC Recycled Content
Móz™ Ceilings & Walls	Metal	Custom to Match Millwork	Custom	\$\$\$	Varies	Varies	Yes	HPD, Recycled Content

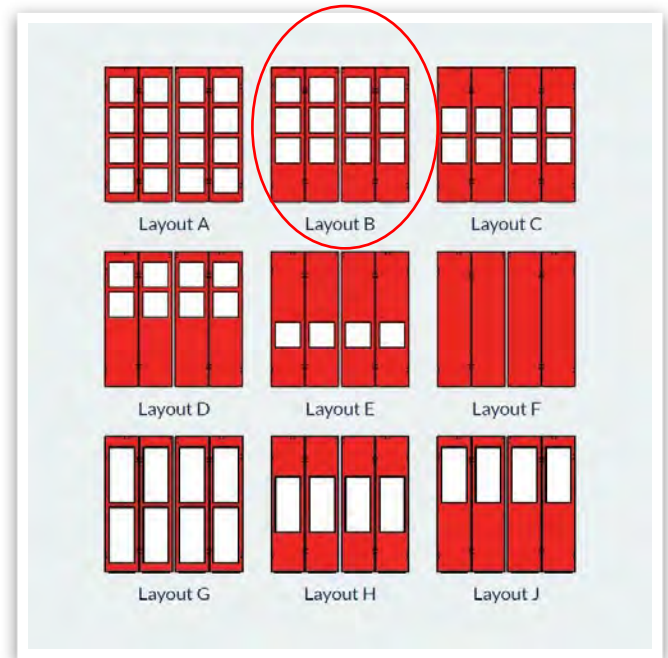
* Material cost indicates relative price point at the time of print. Please contact your Armstrong representative for pricing.

** Maximum acoustical performance achieved with the use of an infill panel.

Red List Free as verified by our Declare® labels, ingredient transparency assured by Health Product Declarations (HPDs), Environmental Product Declarations (EPDs) for lifecycle impacts and low emissions certification with UL® GREENGUARD Gold.

FEATURES

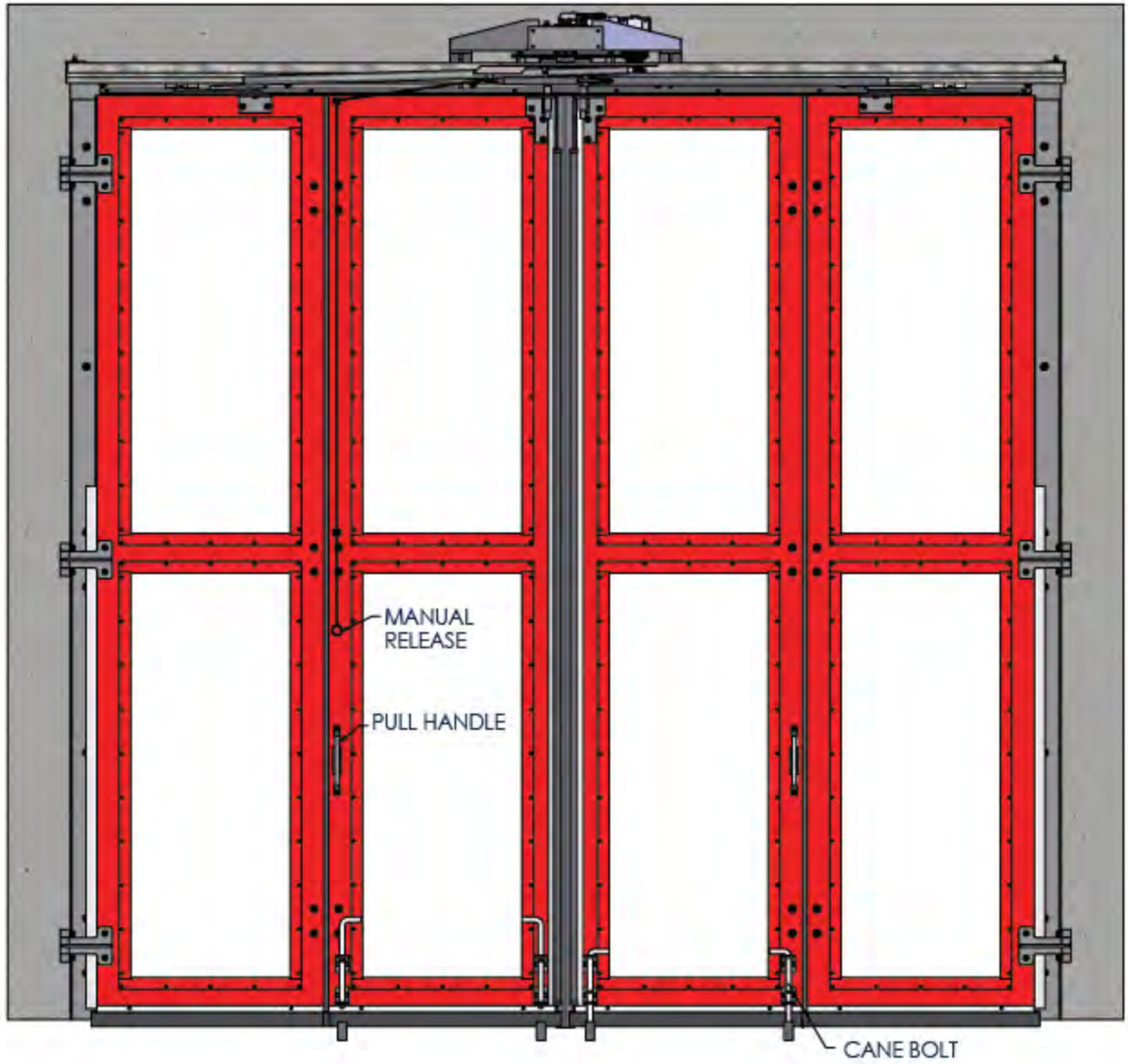
- Most reliable apparatus bay door on the market.
- Operators and components are designed and tested for over 1.5 million cycles.
- Reduced installation time and pre-installed glass.
- High speed opening in 7 seconds.
- Factory installed HVHZ impact rated Level E and Level D glazing options.
- Manual operation in power outage event.
- Designed to meet a maximum wind load of 65psf. Contact us for higher wind loads if applicable.
- Locking cane bolts in four locations on the panel.
- Galvannealed sheeting for superior corrosion resistance.
- Standard safety features including safety edges, photo eyes, presence sensor and torque sensing technology (UL325).



Mounting Conditions

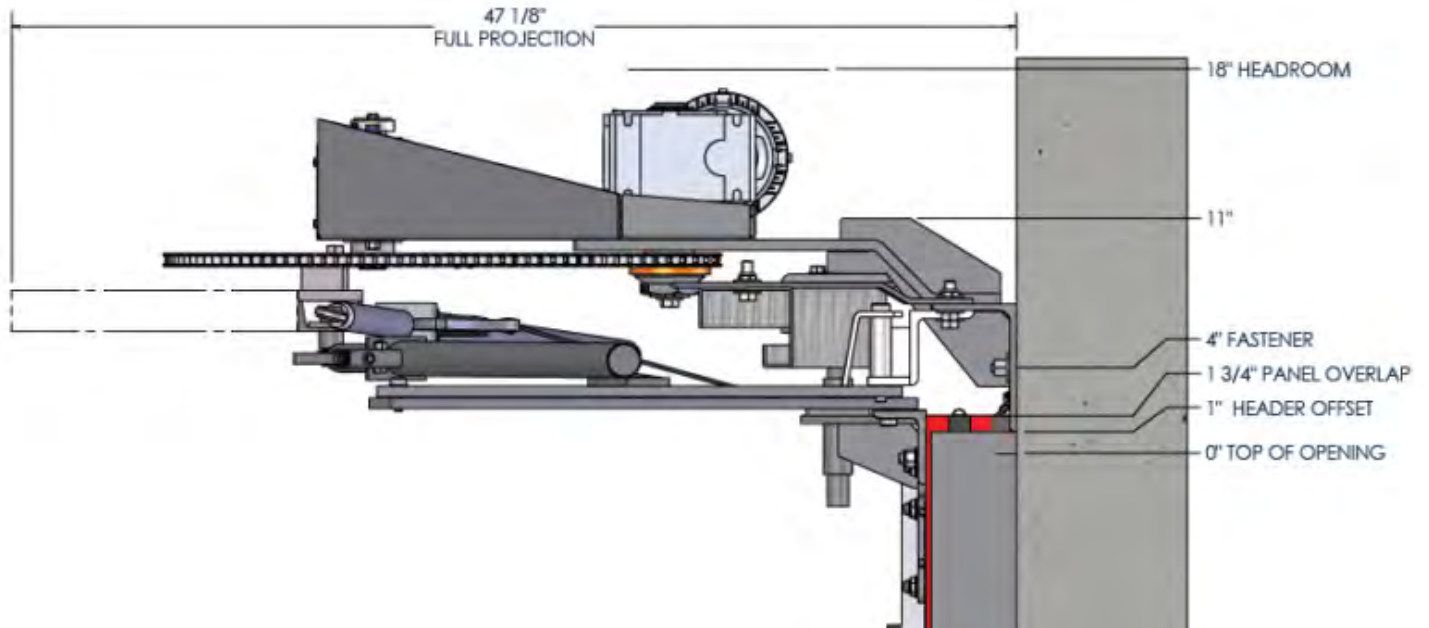
Designed for multiple wall conditions, including:

- CMU
- Precast
- Steel



Diagrams





swipe for more gallery photos

OPTIONS

Finishes

- Select from standard RAL colors
- Or custom match a color

Sizes

- FF70: 14' wide x 14' tall
- FF70-Flex: Available in custom sizes up to 16' wide x 16' tall
- FF70-custom: Available in custom window configurations and options

Standard Glass

- Pilkington Energy Advantage Low-E, Clear

Enhanced Glass Options

Pilkington Energy Advantage Low-E,
Solargray or Bronze



- Solarban 60 Low-E, Clear, Solargray or Bronze
- Solarban 70 Low-E, Clear, Solargray or Bronze



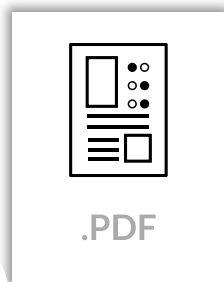
Power Or Manual Operation

- 110-120VAC single phase
- 208-240VAC single phase
- 208-240VAC three phase
- 460-480VAC three phase

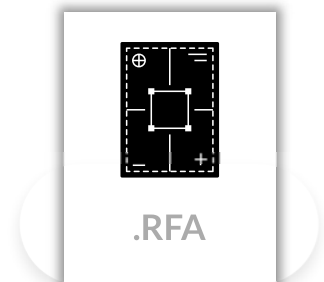
Additional Electrical Options

- Warning Strobe/Horn
- LED Red/Green Light Strips
- Loop Detector
- Additional Pushbutton Stations (Surface or Flush Mounted)
- Multi-Door Command Station (Open up to 6 Doors)

Downloads

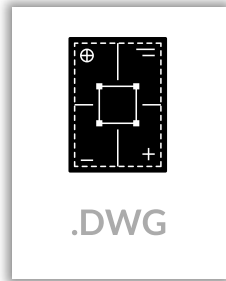


FF70 Literature



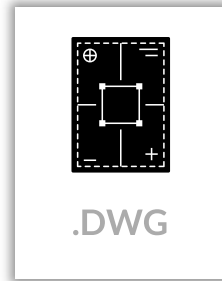
Revit FF70
Application Pg. 56

**FF70 Hurricane
Order Form**



FF70 CAD Drawing

**FF70
Specifications**



**FF70 Window
Layouts CAD**

Questions about our products?

We're here to help you in the ordering process.





SINGLE-SOURCE HURRICANE RESISTANT SOLUTIONS & MORE

IR 500/501/501T/501UT
FRAMING SYSTEMS AND
350/500 IR ENTRANCES

Kawneer provides a single-source solution to the growing need for hurricane resistant products in Eastern and Gulf Coast states from New York through Texas.

IR 500/501 Framing Systems and 350/500 IR Entrances are large missile impact resistant, fully tested and easy to fabricate and install. In addition, IR 501T and IR 501UT Framing provides improved thermal performance to increase energy efficiency by employing IsoLock™ thermal breaks.

Our hurricane resistant framing systems are designed and engineered for single-span storefronts, low- to mid-rise ribbon window and punched opening applications.

Building: Cancer Center of Sacred Heart Hospital
Location: Pensacola, Florida
Architect: Caldwell Associates Architects
Customer: Merritt Glass Co., Inc.
Photography: © CJ Berg

TESTING

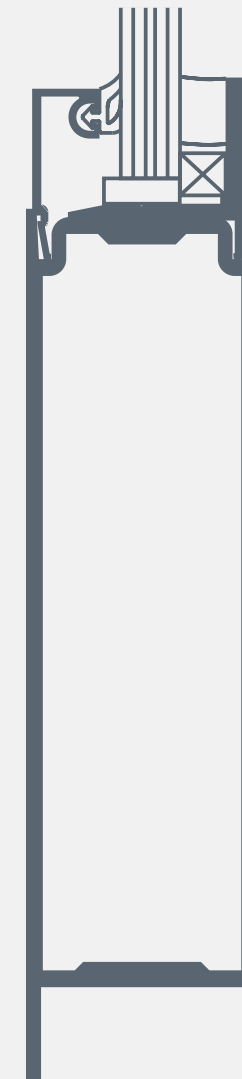
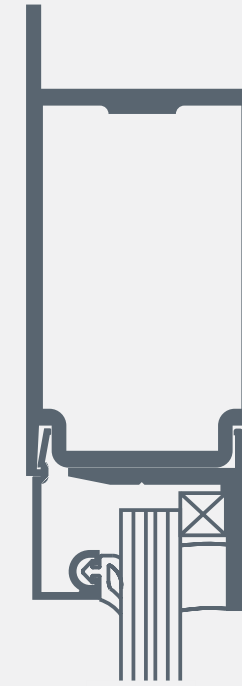
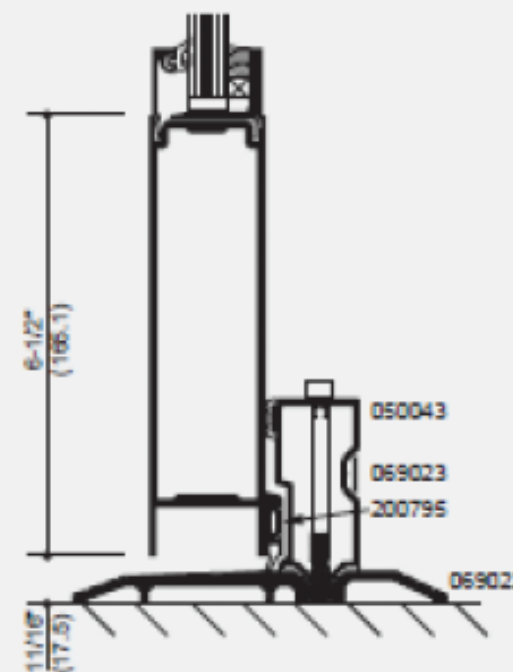
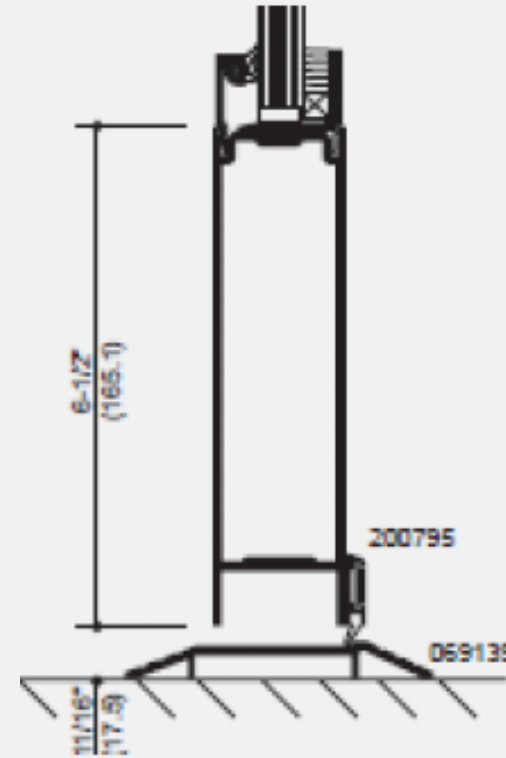
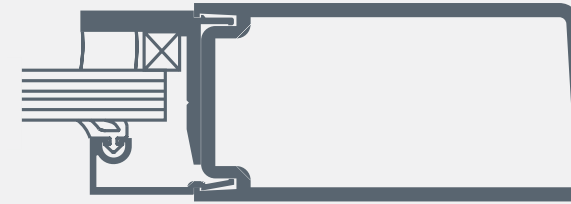
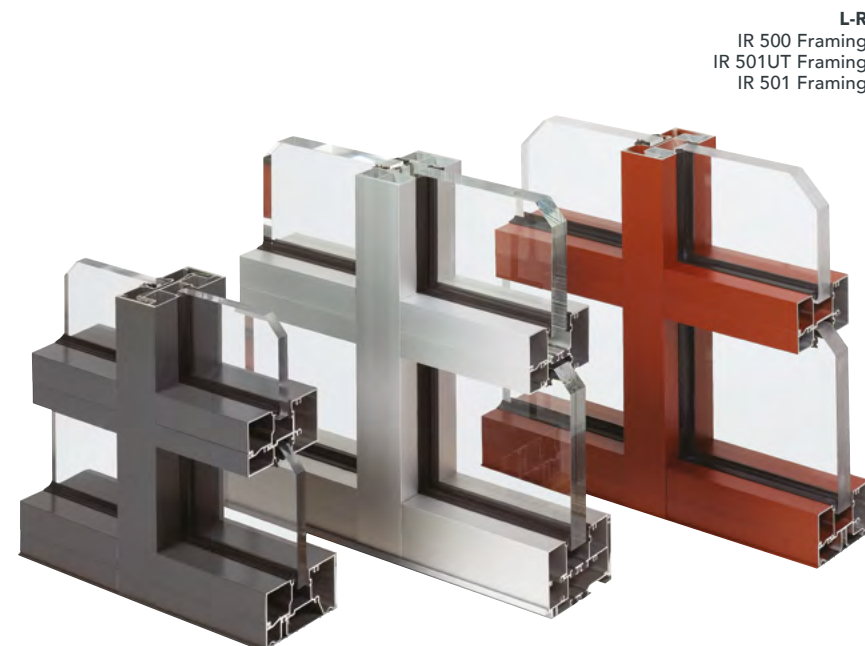
IR 500/501/501T/501 Framing Systems are tested to high velocity hurricane zone requirements of the International Building Code and Florida building code, which meet ASTM E1886 and TAS 201 and TAS 203 for impact and cycle pressure differentials. Additionally, all of our systems have been tested to ASTM E331, ASTM E283 and ASTM E330 for air, water and structural performance.

For thermal and acoustical performance, IR 501T/IR 501UT have been tested to AAMA 1503, AAMA 1801 and ASTM E1425.

FABRICATION

All IR 500/501/501T/501UT Framing Systems offer a flush glazed look with either interior structural silicone seal (wet glazed) or optional EPDM gasket (dry glazed) for large missile applications. Screw spline fabrication provides the option to pre-assemble units with controlled shop labor costs and smaller field crews. The framing systems are center glazed from the exterior side and are designed to accept 350/500 IR Entrances.

	IR 500	IR 501	IR 501T/IR 501UT	IR 501T/IR 501UT
Typical Detail				
Sightline	2-1/2" (63.5 mm)	2-1/2" (63.5 mm)	2-3/4" (69.85 mm)	2-3/4" (69.85 mm)
System Depth	5" (127 mm)	5" (127 mm)	5" (127 mm)	5" (127 mm)
Infill Options	9/16", 5/8" (Impact), 1/4" (Non-Impact)	1-5/16" (Impact), 1" (Non-Impact)	1-5/16" (Impact)	1-5/16" (Impact)
Thermal	No	No	IsoLock™ Thermal Breaks	IsoLock™ Thermal Breaks
Hurricane Resistant Tested	Large Missile	Small Missile Large Missile	Small Missile Large Missile	Small Missile Large Missile



Entrances are 1-3/4" (44.45 mm) deep and provide the extra strength for applications where more stringent code requirements call for windborne debris protection.

TESTING

350/500 IR Entrances are tested to the High Velocity Hurricane Zone requirements of the International Building Code and Florida Building Code. Meeting ASTM E1886, and TAS 201 and TAS 203 for impact and cycle pressure differentials and TAS 202 for Water Performance.

FEATURES

350 IR Entrances feature standard 3-1/2" (88.9 mm) vertical stiles, 3-1/2" (88.9 mm) top rails and 6-1/2" (165.1 mm) bottom rails. 500 IR Entrances feature standard 5" (127 mm) vertical stiles, 5" (127 mm) top rails and 6-1/2" (165.1 mm) bottom rails. Bottom rail options are 7-1/2" (190.5 mm) and 10" (254 mm) for aesthetics or applications where higher bottom rails are required to meet local building codes. 350/500 IR Entrances are single acting and available in singles or pairs to suit any project. The entrances feature the proven dual moment welded corner construction with 16 welds per door and Kawneer's limited lifetime warranty.

Standard hinging hardware includes top, bottom and intermediate offset pivots, 1-1/2" pair of butt hinges or continuous geared hinges. Standard MS 1850 three-point locks are available as well as concealed vertical rod exit device hardware options.

Water Performance option available in accordance to ASTM E331 and TAS 202 test standards.

Entrances accommodate 1/4", 7/16" and 9/16" impact resistant glazing infills using square glass stops with an interior silicone seal. Additional glazing options include 3M VHB Structural Glazing Tape and dry/dry glazing gaskets. Pairs include an adjustable astragal, utilizing pile weathering with a polymeric fin at the meeting stiles, and all doors include an EPDM blade gasket at the threshold. Polymeric bulb weather-stripping is used in the door frames.

Standard door jambs, transom bars and headers from the IR 500/501/501T/501UT Framing Systems are designed for use with 350/500 IR Entrances. Optional door frames include Trifab™ VersaGlaze™ 450 center glazed, Trifab™ VersaGlaze™ 451 center glazed, and 1600 Wall System™ subframes.



Building: Tarpon Springs Public Safety Building
Location: Tarpon Springs, Florida
Architect: Gee & Jenson, Engineers, Architects, Planners, Inc.,
West Palm Beach, Florida
Glazing Contractor: Ashe Glass & Mirror, Temple Terrace, Florida
Photography: © Gordon Schenck, Jr.

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Form Number 17-2261.C

Trifab™, VersaGlaze™, IsoLock™ and 1600 Wall
System™ are trademarks of Kawneer Company, Inc.

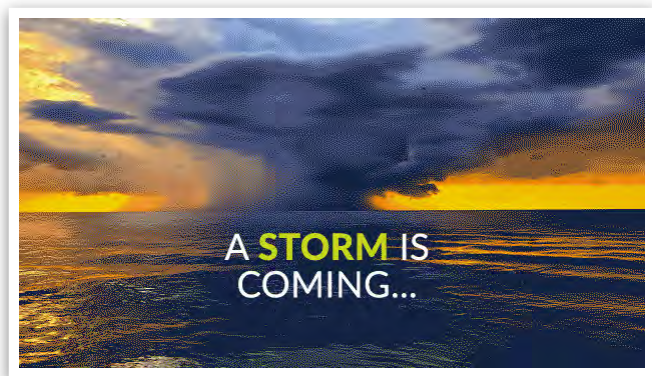
Technology Park/ Atlanta
555 Guthridge Court
Norcross, GA 3009-3503

770.449.555 TEL
770.734.1560 FAX

www.kawneer.com

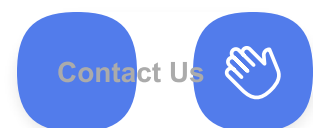
COMMERCIAL & INDUSTRIAL

FF70 Performance Series – HURRICANE RATED



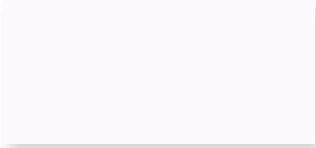
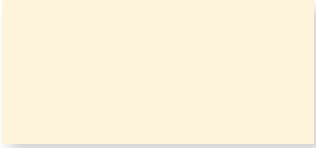
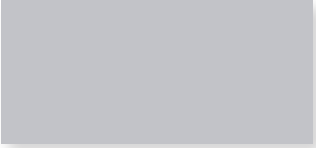


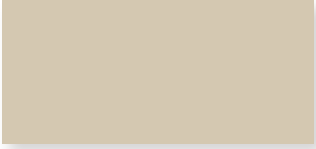













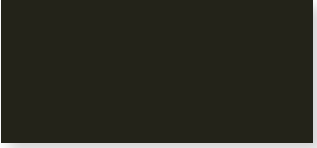
HURRICANE RATED

Door Engineering's FF70 four-fold door system is tested and approved for High Velocity Hurricane Zones (HVHZ) at 65psf and sizes up to 16'x16'. It meets the stringent standards of the Florida Building Code and is designed for durability, strength and performance in demanding environments. Whether you're protecting critical infrastructure, enhancing safety at fire stations or public works facilities, the FF70 delivers proven reliability, day after day.








STANDARD BAKED ENAMEL / KYNAR® COLORS

			
BONE WHITE	HEIRLOOM WHITE	DOVE GRAY	HORIZON BLUE
			
RAWHIDE	SAND STONE	SLATE GRAY	HAWAIIAN BLUE
			
PUEBLO TAN	SIENNA	PATINA GREEN	DEEP BLUE
			
ANTIQUE BRONZE	REDWOOD	MEDIUM BRONZE	HARTFORD GREEN
			
BEIGE	BUCKSKIN	DARK BRONZE	BLACK

STANDARD ANODIZED COLORS

Slight color variation may occur in color anodized production runs.

			
CLEAR	MEDIUM BRONZE	DARK BRONZE	BLACK



PRIME COAT

When field painting is required, Architectural Louvers applies a modified zinc chromate primer. *This is not recommended* and field cleaning must be done before painting.

BAKED ENAMEL

A high quality yet economical finish for both aluminum and galvanized louvers. After louvers are chemically cleaned, a prime coat is applied followed by approximately 1.5 mils of polyurethane acrylic enamel.

KYNAR 500®

Superior finish for louvers. Excellent for color retention and resistance to chemicals, chalking, fading, and weather damage. Meets AAMA specifications 605.2. Five year warranty available on aluminum louvers.

Kynar 500 is a registered trademark of Penwalt Corporation.

204 R1 CLEAR ANODIZE

Designated by the Aluminum Association as AA-M10-C22A31. Provides a clear anodize coating of .4 to .7 mils which enhances the appearance of aluminum louvers and increases their resistance to weather damage.

215 R1 CLEAR ANODIZE

Designated by the Aluminum Association as AA-M10-C22A41. Provides a clear anodize coating of .7 mils minimum. Provides superior weather resistance and is recommended for corrosive atmosphere.

COLORED ANODIZE

Designated by the Aluminum Association as AA-M10-C22A42. Offers excellent weather and corrosion protection on aluminum louvers along with the added advantage of color.

Slight color variation may occur in production runs.

For Retaining Wall

WESTBRICKS™: Ground Face

PLEASE CONTACT US FOR PHYSICAL SAMPLES.

**These colors are provided for reference only. Colors may vary depending on individual monitor, computer configurations or printer format.*



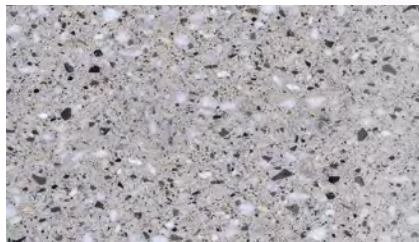
SNOWFALL CHECK HERE



LINEN CHECK HERE



MORNING FOG CHECK HERE



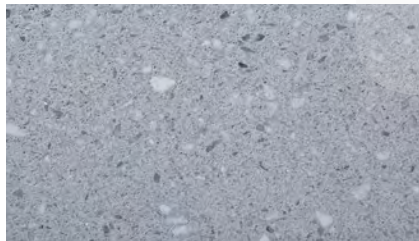
PEBBLE CHECK HERE



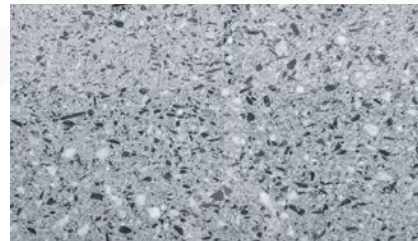
WHETSTONE CHECK HERE



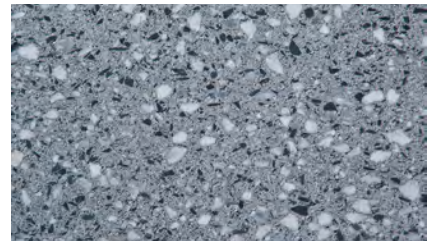
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TUNDRA CHECK HERE



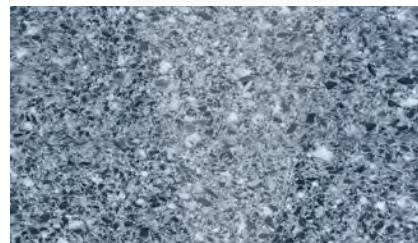
CITY CHECK HERE



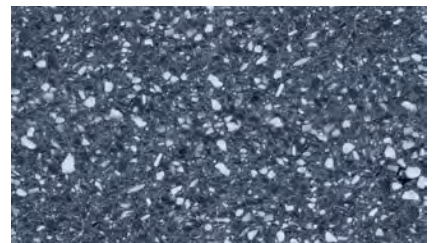
ARMOUR CHECK HERE



GRANITE CHECK HERE



METROPOLIS CHECK HERE



CARBON CHECK HERE



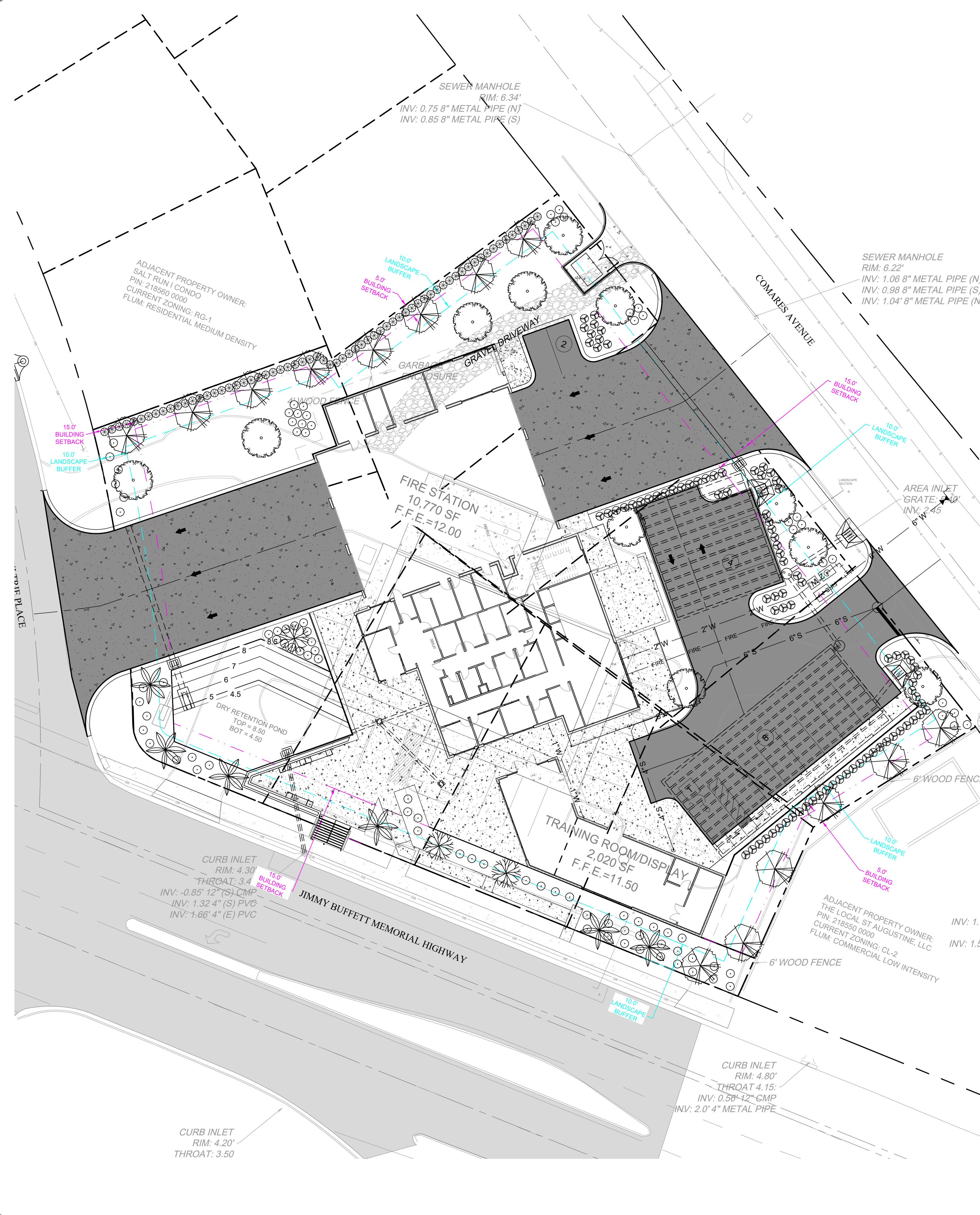
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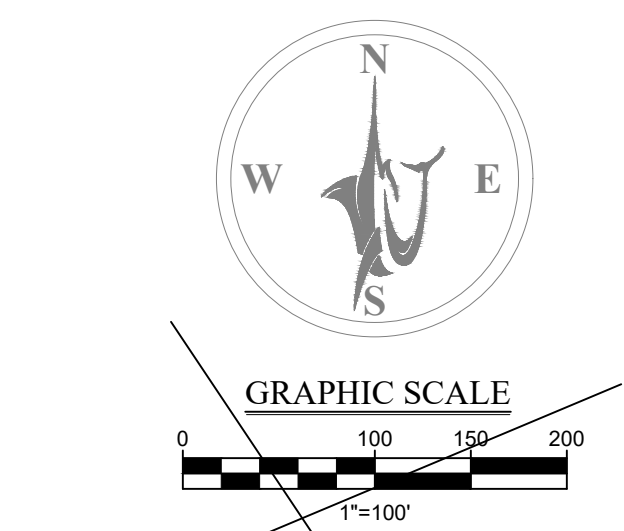
TARMAC CHECK HERE



EVENING SHADOW CHECK HERE



PLANTING LIST						
TREES / PALM						
KEY	COMMON NAME	QTY	% TOTAL	REF SYMBOL	BOTANICAL	SPECIFICATIONS
	LAUREL OAK	14	41%	QL	QUERCUS LAURIFOLIA	4" CAL., 10' TALL MIN. (CANOPY) *
	LIVE OAK	11	32%	QV	QUERCUS VIRGINIANA	4" CAL., 10' TALL MIN. (CANOPY) *
	CRAPE MYRTLE	3	3%	LI	LAGERSTROEMIA INDICA	4" CAL., MULTI-STEM
	WASHINGTON PALM	6	24%	WR	WASHINGTONIA ROBUSTA	10FT TO 12FT CLEAR
TOTAL TREE COUNT		34				TOTAL TREE INCHES
						111
SHRUBS						
KEY	COMMON NAME	QTY	REF SYMBOL	BOTANICAL	SPECIFICATIONS	NOTE
	ILEX VOMITORIA 'NANA'	93	IV	DWARF YAUPON HOLLY	24" H X 18" W 3 GAL - PER PLAN	UNDERSTORY
	SILVERTHORN	65	EP	ELEAGNUS PUNGENS	36" H X 18" W 3 GAL - PER PLAN	SCREENING AT BUFFER
	SWEET VIBURNUM	87	VO	VIBURNUM ODRATISSIMUM	24" H X 18" W 3 GAL - PER PLAN	SCREENING AT PARKING
GROUND COVER						
KEY	COMMON NAME	QTY	REF SYMBOL	BOTANICAL	SPECIFICATIONS	
	BAHIA SOD	0	BS	PASPALUM NOTATUM 'ARGENTINE'	QTY IN S.F. FRESH CUT	



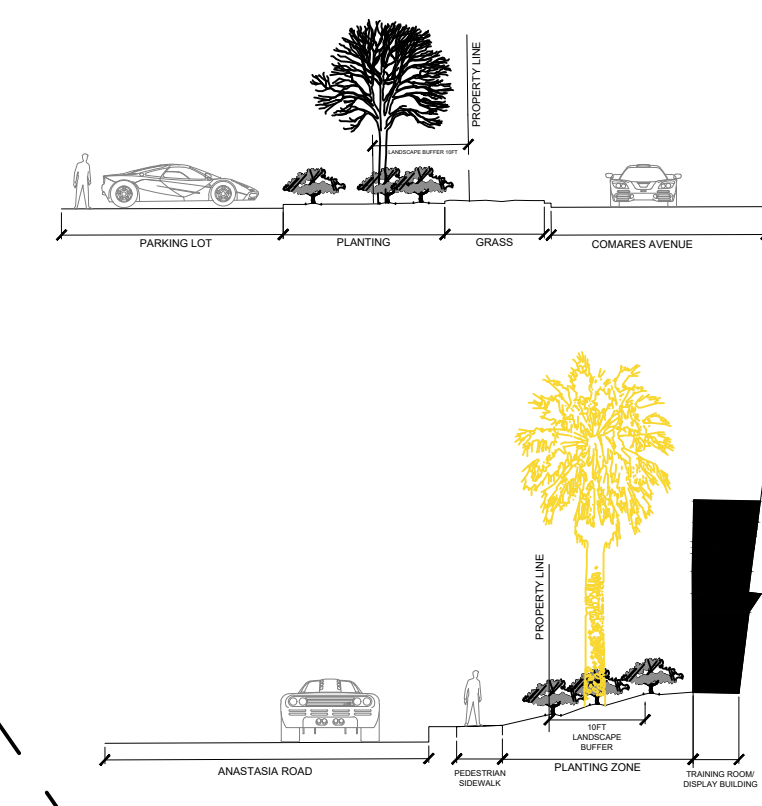
LEGEND	
	EXISTING PROPERTY LINE
	EXISTING R/W LINE
	PROPOSED CENTER LINE
	PROPOSED BUILDING OUTLINE
	PROPOSED CONCRETE SIDEWALK
	PROPOSED GRAVEL PAD
	4' STABILIZED GRASS PATHWAY

KEY NOTES: [LD-1]
 LD-1 TREE PLANTING DETAIL
 LD-2 SHRUB PLANTING DETAIL
 LD-1 IRRIGATION WELL WITH GATE VALVE AND CAP - CONTRACTOR IS RESPONSIBLE FOR SECURING PERMIT AND INSTALLATION

* PER ANASTASIA BOULEVARD DESIGN STANDARDS FOR ENTRY CORRIDORS, A MINIMUM OF 50% (2 TREES PER 100' OF FRONTAGE) SHALL BE WASHINGTON PALM. FOR THE NORTH ZONE, 100% OF THE REQUIRED TREES IN THE FRONT BUFFER YARD MAY BE PALMS. IF SUCH A PLANTING SCHEME EXCEEDS THE 25% PALM MAXIMUM FOR BUFFER YARD TREES PER CITY CODE, THIS SHALL BE PERMITTED IF PALMS ARE NOT USED AS REQUIRED TREES IN THE OTHER BUFFER YARDS.
 [NOTE: CODE ONLY ALLOWS 25% MAX PALMS FOR REQUIRED BUFFER TREES.]

LANDSCAPING GENERAL NOTES:

- FLORIDA #1: ALL PLANT MATERIAL SHALL BE GRADE FLORIDA NO. 1 OR BETTER IN QUALITY AS DESIGNATED IN THE MOST RECENT PUBLICATION OF "GRADES AND STANDARDS FOR NURSERY PLANTS", PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- EXISTING PLANTS: IF PROPOSED PLANTS SHOWN ON PLAN INTERFERE WITH EXISTING LANDSCAPING, THE EXISTING LANDSCAPING IS TO REMAIN.
- MULCH: ALL PLANTING BEDS SHALL BE TOP DRESSED WITH 3" PINE BARK MULCH. ALL TREES NOT IN BEDS SHALL HAVE A 5" DIAMETER MULCH RING. ALL PALMS NOT IN BEDS SHALL HAVE A 3" DIAMETER MULCH RING.
- SOD: ALL SOD SHALL BE ARGENTINE BAHIA. ALL SOD SHALL BE ROLLED. CONTRACTOR SHALL SOD ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION ACTIVITIES.
- QUANTITIES: IN THE EVENT OF A VARIATION BETWEEN THE QUANTITIES SHOWN ON THE PLAN LIST AND THE ACTUAL QUANTITY OF PLANTS SHOWN ON THE PLAN, THE PLAN SHALL CONTROL. SOD QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- UNFORESEEN CONFLICTS: CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY PORTION OF THE LANDSCAPE PLAN AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNFORESEEN OBSTRUCTIONS, GRADE DIFFERENCES, STANDING WATER, SOIL CONDITIONS OR OTHER CONFLICTS EXIST. SUCH UNFORESEEN CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE AND GULFSTREAM DESIGN GROUP, LLC. PRIOR TO INSTALLATION.
- SUBSTITUTIONS: NO SUBSTITUTIONS OR VARIATIONS OF ANY PLANT MATERIAL OR ITS INSTALLED LOCATION WILL BE PERMITTED WITHOUT THE PRIOR WRITTEN CONSENT AND APPROVAL FROM GULFSTREAM DESIGN GROUP, LLC.
- CONTAINERS: IF GALLONAGE FOR PLANTS OR TREES IS SHOWN, THEY SHALL BE CONTAINER GROWN AND THE SIZE SHOWN SHALL REPRESENT THE MINIMUM ALLOWABLE GALLONAGE ACCEPTED. IN ALL CASES THE PLANT SPECIFIED SIZE SHALL GOVERN OVER THE GALLONAGE INDICATED.
- PLANTING SOIL: CONTRACTOR SHALL VERIFY THAT SOIL CONDITIONS ARE SUITABLE TO THE PLAN SPECIES SPECIFIED. IF SOIL CONDITIONS ARE DEEMED UNSUITABLE FOR PROPER PLANT HEALTH, CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OR GULFSTREAM DESIGN GROUP, LLC. AND PROPER SUBSTITUTIONS SHALL BE SPECIFIED BY GULFSTREAM DESIGN GROUP, LLC. PRIOR TO INSTALLATION. ADDITIONALLY, IF PRESENT, THE CONTRACTOR SHALL REMOVE LIME ROCK, CONCRETE AND OTHER DELETERIOUS DEBRIS FROM PLANTING BEDS. IF DEBRIS HAS INTEGRATED IN THE SOIL, THE SOIL MUST BE EXCAVATED AND REPLACED WITH ACCEPTABLE SOIL. LASTLY, ALL FILL TO BE PLACED IN LANDSCAPE AREAS MUST HAVE A pH RANGE BETWEEN 5.8 AND 7.5, BE ORGANIC IN NATURE AND BE FREE OF ROCKS AND DEBRIS.
- TOPSOIL: TOPSOIL MATERIAL, IF REQUIRED, SHALL BE FREE FROM ALL HARD CLODS, WEEDS STONES OVER 1" IN DIAMETER, CLAY, HARD PAN, NOXIOUS PLANTS, SOD, INSECTS, OR OTHER UNSUITABLE PLANTS, SEEDS OR MATERIAL WHICH MAY BE HARMFUL FOR GROWTH AND SHALL BE CERTIFIED AS STERILE.
- WEEDS: IF PRESENT, THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ANY WEEDS FROM PLANTING AREAS PRIOR TO THE INSTALLATION OF PROPOSED PLANT MATERIAL AND MULCH COVER. CONTRACTOR SHALL BE RESPONSIBLE TO KEEP BEDS FREE OF WEEDS FOR THE DURATION OF THE 90 DAY MAINTENANCE PERIOD.
- GRADING: UNLESS OTHERWISE STATED ON THESE PLANS, THE LANDSCAPE CONTRACTOR SHALL FINE GRADE ALL AREAS TO BE PLANTED AND SODDED IN ORDER TO ELIMINATE BUMPS AND DEPRESSIONS. FINE GRADING SHALL BE DEFINED AS THE FINAL 2" OF GRADE TO BE ACHIEVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND REGRADING WITHOUT AREAS CAUSED BY EROSION UNTIL FINAL ACCEPTANCE OF THE PROJECT.
- STAKING: ALL TREES AND PALMS ARE TO BE STAKED ACCORDING TO THE DETAILS IN THESE PLANS. IF THE CONTRACTOR PREFERENCES TO USE OTHER STAKING METHODS THAN SHOWN IN THE DETAILS, HE OR SHE MUST SUBMIT PROPOSED DETAILS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION. THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN, REPAIR, AND/OR REPLACE ANY PLANTS DAMAGED BY FAILURE TO PROPERLY STAKE OR GUY ANY TREES ON SITE, AT THEIR OWN EXPENSE.
- CURVILINEAR: CURVILINEAR LANDSCAPE BEDS ARE TO BE EDGED WITH SMOOTH FLOWING CURVES. STRAIGHT LINED LANDSCAPE BEDS ARE TO BE EDGED IN A STRAIGHT LINE PARALLEL TO PARKING LOTS AND STRUCTURES UNLESS DESIGNED OTHERWISE.
- FERTILIZER: OSMOCOTE SLOW RELEASE FERTILIZER OR EQUIVALENT SHALL BE APPLIED TO ALL TREE, SHRUB AND GROUNDCOVER PLANTING AREAS AT THE RATE OF THREE (3) TABLESPOONS PER 2 S.F. OF PLANTING AREA.
- DRAINAGE: THE LANDSCAPE CONTRACTOR SHALL ASSURE THAT THIS WORK DOES NOT INTERRUPT EXISTING OR PROPOSED DRAINAGE PATTERNS AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY IF A CONFLICT ARISES.
- SPECIFICATIONS: THE OWNER'S REPRESENTATIVE SHALL BE PERMITTED THE RIGHT DURING INSTALLATION TO REJECT ANY AND ALL PLANT MATERIAL AND WORKMANSHIP WHICH IN HIS OR HER OPINION DOES NOT MEET THE REQUIREMENTS OF THESE SPECIFICATIONS.
- TURNOVER: CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR A TURNOVER DATE TO INCLUDE A WALK-THROUGH AND ACCEPTANCE OF WORK BY THE LANDSCAPE CONTRACTOR. ANY WORK DEEMED UNACCEPTABLE SHALL BE CORRECTED IMMEDIATELY AND RE-INSPECTED AS SCHEDULED.
- MAINTENANCE: CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE TO BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE 90 DAYS AFTER FINAL WRITTEN ACCEPTANCE BY THE OWNER OR OWNER'S REPRESENTATIVE. MAINTENANCE SHALL INCLUDE WATERING, PRUNING, WEEDING, MULCHING, MOWING, REPLACEMENT OF SICK OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY IN ORDER TO MAINTAIN PROPER PLANT HEALTH AND SOIL MOISTURE CONTENT.
- WARRANTY: CONTRACTOR SHALL GUARANTEE ALL INSTALLED PLANT MATERIAL FOR ONE (1) CALENDAR YEAR STARTING FROM THE TURNOVER DATE. ANY CORRECTED WORK SHALL HAVE A PROPORTIONAL EXTENSION OF GUARANTEE ONCE APPROVED. ANY SICK OR DEAD MATERIAL SHALL BE REPLACED IMMEDIATELY. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE TO HONOR ANY GUARANTEE FOR THE LOSS OF ANY PLANT MATERIAL CAUSED BY FLOODING, FIRE, FREEZING TEMPERATURES, WINDS OVER 50 MPH, LIGHTNING, ANY OTHER NATURAL DISASTER, OR ANY LOSS/DAMAGE CAUSED BY VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.



ST. JOHNS COUNTY LANDSCAPING NOTES:

- VEGETATION THAT EXCEEDS TWENTY-FIVE (25) FEET IN HEIGHT AT MATURITY SHOULD NOT BE PLANTED CLOSER THAN FIFTEEN (15) FEET OF THE VERTICAL PLANE OF AN EXISTING POWER LINE, EXCLUDING SERVICE LINES.
- CALLED AND BURLAPPED STRAPPING WIRE, AND ANY SYNTHETIC MATERIAL SHALL BE REMOVED PRIOR TO FINAL INSPECTION. WIRE BASKETS SHOULD BE CUT AWAY FROM THE TOP ONE-THIRD OF THE ROOT BALL.
- NON-CANOPY TREES SHALL NOT BE PLANTED CLOSER THAN 10 FEET FROM OTHER TREES AND CANOPY TREES NO CLOSER THAN 20-30 FEET, DEPENDING ON SPECIES.
- PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF GRADE #1 OR BETTER AS GIVE IN THE LATEST "GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II", FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES OR TO THE STANDARDS AS GIVEN IN THE LATEST "AMERICAN STANDARDS FOR NURSERY STOCK", AMERICAN NATIONAL STANDARDS INSTITUTE.
- PINE BARK OR PINE STRAW MULCH SHALL BE PROVIDED A MINIMUM OF TWO TO THREE INCHES IN DEPTH AROUND ALL NEWLY PLANTED LANDSCAPING.
- A MULCH RING FOR ALL NEWLY PLANTED TREES SHALL BE PROVIDED AT LEAST FIVE (5) FEET IN DIAMETER AND NOT CLOSER THAN SIX (6) INCHES FROM THE TREE TRUNK.
- IRRIGATION WILL BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- TREES SHALL HAVE A MINIMUM HEIGHT OF TEN (10) FEET AND TWO (2) INCHES OF CALIPER.
- SHRUB LINES ARE TO BE PLANTED AT THE REQUIRED MINIMUM HEIGHT, NOT BY CONTAINER SIZE.
- SOIL IN TREE ISLANDS SHALL HAVE AT LEAST 12" OF SUITABLE SOIL FOR TREE PLANTINGS, AND BE VOID OF ANY CONSTRUCTION DEBRIS OR UNSUITABLE MATERIALS.
- TREES SHALL NOT BE PLANTED CLOSER THAN 7.5' FROM THE CENTERLINE OF UNDERGROUND UTILITIES.

REVISIONS	
NO.	DESCRIPTION
1	
2	
3	
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ENGINEERING PLANS FOR TREE MITIGATION PLAN
 XXX COUNTY, FLORIDA

811
 Know what's below.
 Call before you dig.

FINAL ENGINEERING PLANS

2225 A1A S, SUITE A2
 ST. AUGUSTINE, FLORIDA 32080
 904.794.4231
 matt@gulfstreamdesign.com
 © GULFSTREAM DESIGN GROUP, LLC 2025

PROJECT NO:	---
ISSUE DATE:	XX-XX-XX
DRAFTED BY:	XXX
DESIGNED BY:	XXX
CHECKED BY:	WR
NOT VALID WITHOUT SEAL	

ENGINEERING PLANS FOR COSA FIRE STATION #2 CITY OF ST. AUGUSTINE, FLORIDA

PROJECT TEAM

LAND OWNER CITY OF ST. AUGUSTINE 101 MALAGA STREET ST. AUGUSTINE, FL 32084 PHONE: 904-825-1098 CONTACT: CARLOS AVILES EMAIL: CITYFIRE@CITYSTAUG.COM	GEOTECHNICAL ENGINEER: ECS FLORIDA, LLC 11554 DAVIS CREEK CT JACKSONVILLE, FL 32256 PHONE: 904-886-6168 CONTACT: JARED PITTS, P.E. EMAIL: JPITTS@ECSLIMITED.COM	ARCHITECT: JL2 ARCHITECTURE 1678 KINGSTON ROAD LONGWOOD, FL 32750 PHONE: 407-540-2879 CONTACT: JOHNNIE LOHRUM JR, RA, LEED EMAIL: JLOHRUM@JL2ARCHITECTURE.COM
APPLICANT CITY OF ST. AUGUSTINE 101 MALAGA STREET ST. AUGUSTINE, FL 32084 PHONE: 904-825-1098 CONTACT: CARLOS AVILES EMAIL: CITYFIRE@CITYSTAUG.COM	SURVEYOR: FLINT SURVEYING & MAPPING, INC. 111 NATURE WALK PKWY, UNIT 102 ST. AUGUSTINE, FL 32092 PHONE: 904-392-5948 CONTACT: RUSSEL FLINT, PSM EMAIL: RFLINT@FLINTSM.COM	ENVIRONMENTAL: CARTER ENVIRONMENTAL SERVICES, INC. 42 MASTERS DRIVE ST. AUGUSTINE, FL 32084 PHONE: 904-240-1788 CONTACT: RYAN CARTER EMAIL: RYAN@CARTERENV.COM
CIVIL ENGINEER: GULFSTREAM DESIGN GROUP, LLC 2225 A1A S, SUITE A2 ST. AUGUSTINE, FL 32080 PHONE: 904-794-4231 CONTACT: MATT LAHTI, P.E.	ARCHAEOLOGY HERITAGE CULTURAL SERVICES, LLC 9461 SW 190TH AVE RD DUNNELLON, FL 34432 PHONE: 904-669-6318 CONTACT: DANA STE. CLAIRE, M.A., RPA EMAIL: HERITAGECULTURALSERVICES@GMAIL.COM	PROJECT DESIGNER: KUBO STUDIO 821 HERNDON AVE ORLANDO, FL 32814 PHONE: 941-740-3834 CONTACT: BRITTANY PEREZ EMAIL: BPerez@KUBO-STUDIO.COM

PRIVATE UTILITY COMPANIES

ELECTRIC FLORIDA POWER AND LIGHT 383 HASTINGS AVENUE ST AUGUSTINE, FL 32084 PHONE: 904-255-3033 CONTACT: NICHOLAS LUBRANO	TV CABLE COMCAST 5934 RICHARD ROAD JACKSONVILLE, FL 32216 PHONE: 904-380-4341 CONTACT: JAMES GRAHAM	TELEPHONE AT&T 735 MILL CREEK ROAD JACKSONVILLE, FL 32211 PHONE: 904-727-1572 CONTACT: P.K. PATEL	GAS TECO PEOPLES GAS 4040 PHILIPS HIGHWAY JACKSONVILLE, FL 32207 PHONE: 904-477-5808 CONTACT: JERRROD CARTER
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PUBLIC UTILITY PROVIDERS

WATER CITY OF ST. AUGUSTINE PUBLIC WORKS 75 KING STREET ST AUGUSTINE, FL 32084 PHONE: 904-209-4273 CONTACT: JONATHAN FOSTER, P.E.	SEWER CITY OF ST. AUGUSTINE PUBLIC WORKS 75 KING STREET ST AUGUSTINE, FL 32084 PHONE: 904-209-4273 CONTACT: JONATHAN FOSTER, P.E.
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REGULATORY AGENCY

FDEP - WATER & SEWER 6800 BAYMEADOWS WAY, SUITE 100 JACKSONVILLE, FL 32256 CONTACT: LYDIA JOYNER PHONE: (904) 256-1700	ST. JOHNS RIVER WATER MANAGEMENT DISTRICT 7775 BAYMEADOWS WAY W #102 JACKSONVILLE, FL 32256 CONTACT: UPASANA SRIVASTAVA, P.E. PHONE: (904) 329-4312	ST. JOHNS COUNTY DEVELOPMENT SERVICES 4040 LEWIS SPEEDWAY ST AUGUSTINE, FL 32084 CONTACT: KELLY SCHLEY PHONE: (904) 209-0660
ST. JOHNS COUNTY UTILITY DEPARTMENT 1205 SR 16 ST AUGUSTINE, FL 32084 CONTACT: CLARE DOLD PHONE: (904) 209-2618	CITY OF ST. AUGUSTINE (COSA) PUBLIC WORKS DEPARTMENT 75 KING STREET 4TH FLOOR ST AUGUSTINE, FL 32084 CONTACT: JONATHAN FOSTER, P.E. PHONE: (904) 209-4273	

GENERAL NOTES:

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
2. GULFSTREAM DESIGN GROUP AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR MISTAKES RESULTING FROM SURVEY INACCURACIES.
3. ANY AND ALL WORK CONDUCTED WITHIN THE ST. JOHNS COUNTY RIGHT-OF-WAYS MUST BE IN ACCORDANCE WITH THE APPLICABLE LAND DEVELOPMENT CODES.
4. ALL ELEVATIONS SHOWN HEREIN ARE REFERENCED TO NORTH AMERICAN GEODETIC VERTICAL DATUM 1988 (NAVD 88).
5. HORIZONTAL PROJECTION FOR THIS PLAN SET IS BASED ON NAD83 FLORIDA STATE PLANES, EAST ZONE, US FOOT.
6. LEGAL DESCRIPTIONS - SEE SURVEY.

LOCATION OF SITE 500 ANASTASIA BLVD PARCEL ID # 2185700000



LOCATION MAP
SCALE: N.T.S.

PREPARED FOR
CITY OF ST. AUGUSTINE
 101 MALAGA STREET
 ST. AUGUSTINE, FL 32084
 PHONE: (904) 825-1098
 CONTACT: CARLOS AVILES

PREPARED BY



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 2225 A1A S, SUITE A2
 ST. AUGUSTINE, FLORIDA 32080
 Phone: 904-794-4231
www.gulfstreamdesign.com

FOR PERMIT REVIEW

SHEET INDEX

Sheet Number	Sheet Title
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3	COSA GENERAL NOTES
4	SWPPP
5	EXISTING CONDITIONS
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19	CONSTRUCTION DETAILS 1
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ENGINEERING PLANS BASED ON

PLAN TYPE	COMPANY NAME	REVISION	REVISION DATE
SURVEYOR	FLINT SURVEYING & MAPPING, INC	0	5/14/2025
ARCHITECT	JL2 ARCHITECTURE	0	6/30/2025
ARCHAEOLOGY	HERITAGE CULTURAL SERVICES, LLC	0	5/8/2025
ENVIRONMENTAL	CARTER ENVIRONMENTAL SERVICES, INC.	0	5/21/2025
GEOTECHNICAL ENGINEER	ECS FLORIDA, LLC	0	6/5/2025

FIRE SERVICES NOTE

CONTRACTOR SHALL PROVIDE AN UNOBSTRUCTED FIRE DEPARTMENT ACCESS ROAD, STABILIZED TO SUPPORT 80,000 LBS. AND PROVIDE TURNAROUND FOR A 50 FOOT FIRE APPARATUS. (NFPA 1, CHAPTER 18)

FLOOD ZONE

THE SUBJECT PROPERTY IS LOCATED IN THE FLOOD ZONE "AE" ELEVATION 7 PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 12109C0318J, DATED DECEMBER 7, 2018

NO.	DATE	BY	DESCRIPTION

DATE	DESCRIPTION

PRELIMINARY PROGRESS PRINT
SD
08/15/25
SUBMITTAL
 NOT FOR CONSTRUCTION

name: _____
 professional name: _____

date: _____

creation manager: _____

primary architect: _____

consultant: _____

**ENGINEERING PLANS FOR
 COSA FIRE STATION #2
 COVER SHEET**
 CITY OF ST. AUGUSTINE, FLORIDA



FOR PERMIT REVIEW

GULFSTREAM DESIGN GROUP, LLC

2225 A1A S, SUITE A2
 ST. AUGUSTINE, FLORIDA 32080
 904-794-4231
mail@gulfstreamdesign.com

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PROJECT NO:	24-212
ISSUE DATE:	8-15-2025
DRAFTED BY:	TDP
DESIGNED BY:	TVB
CHECKED BY:	MHL
NOT VALID WITHOUT SEAL	

PROJECT NO: 24-212
 PROJECT NAME: SCHEMATIC DESIGN
 CITY OF ST. AUGUSTINE
 500 ANASTASIA BLVD, ST AUGUSTINE, FL 32080
 SHEET NO: 1

ISSUE DATE: 08/15/25
 PROJECT NO: 2024-P027
 DESIGNED BY: TVB
 DRAWN BY: TDP
 SCALE: 1/16" = 1'-0"
 SHEET NUMBER:

C-1

Table with columns: NO., DATE, DESCRIPTION.

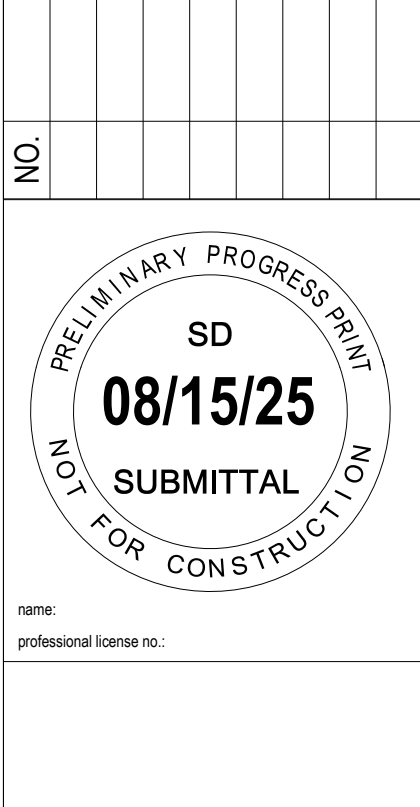


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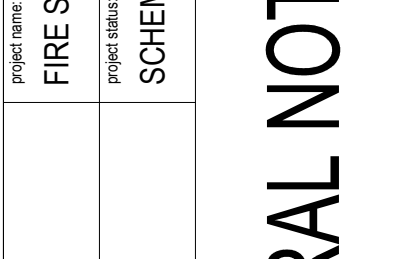
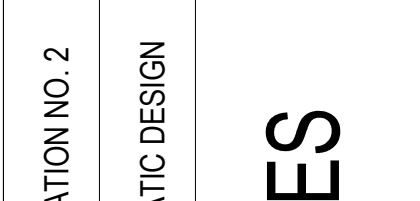


Table with columns: PROJECT NO., ISSUE DATE, DRAFTER, DESIGNED BY, CHECKED BY, NOTES, SHEET NO., SHEET COUNT.

Table with columns: NO., DATE, DESCRIPTION.

GENERAL NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH EACH NOTE LISTED WITHIN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EACH SUBCONTRACTOR IS FAMILIAR AND PRESENTLY AWARE OF THESE NOTES AND CONDITIONS AS ESTABLISHED BY GULFSTREAM DESIGN GROUP, LLC THROUGHOUT THE ENTIRE PLAN SET AS LISTED ON THE COVER SHEET. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY REVIEW THIS PLAN PACKAGE TO BE FULLY PREPARED TO PROVIDE ACCURATE BID PRICES AND SERVICES.
2. EXISTING SURVEY INFORMATION PROVIDED BY FINL SURVEYING & MAPPING PROFESSIONAL SURVEYORS & MAPPERS DATED MAY 14, 2025. ALL INFORMATION WITHIN THIS PLAN SET HAS BEEN BASED OFF OF THE ABOVE REFERENCED SURVEY. THE ENGINEER OF RECORD ASSUMES NO LIABILITY FOR ITS ACCURACY OR LACK THEREOF.
3. ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88) AND SHOWN IN FEET. BENCHMARK SET TRAV. ELEVATION BEING 5.31'.
4. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR IS TO VERIFY IN WRITING WITH THE ENGINEER OF RECORD THAT THE DOCUMENTS BEING UTILIZED ON THE FIELD ARE INDEED THE MOST CURRENT AND ACCURATE VERSIONS. ADDITIONALLY, THE GEOTECHNICAL REPORT CORRESPONDING TO THIS PLAN SET IS A REQUIRED CONSTRUCTION DOCUMENT. MENING THE ENGINEERING DESIGN PLANS AND RECOMMENDATIONS AS DESCRIBED IN THE REPORT SHALL TAKE PRECEDENCE UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL PROVIDE THE ENGINEER OF RECORD IN WRITING WITH A TENTATIVE SCHEDULE OF CONSTRUCTION ACTIVITIES.
5. PRIOR TO THE AWARD OF THE CONTRACT, THE CONTRACTOR SHALL BECOME ACQUAINTED WITH THEMSELVES WITH ALL SITE CONDITIONS BOTH ABOVE AND BELOW GROUND. THE CONTRACTOR SHOULD ADDITIONALLY ENSURE THEY ARE PROPERLY FAMILIARIZED WITH ALL MATERIALS REFERENCED FOR USE WITHIN THIS PLAN AND IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND CODE SECTION(S) THAT APPLY TO THIS PROJECT.
6. THE ENGINEER OF RECORD AND THE OWNER ASSUME NO RESPONSIBILITY IN THE SUPERVISION OR INSPECTION OF THE WORK INVOLVED IN THE EXECUTION OF THIS CONTRACT BEYOND OBSERVATION TO ENSURE, TO THE OWNER'S SATISFACTION, THAT THE DRAWINGS AND SPECIFICATIONS ARE BEING PROPERLY INTERPRETED. THIS OBSERVATION AND CHECKING WILL NOT RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY FOR THE PERFORMANCE OF HIS WORK IN CONSTRUCTION AND THE SPECIFICATIONS.
7. THE CONTRACTOR SHALL EXERCISE CARE IN DIGGING AND OTHER WORK SO AS NOT TO DAMAGE EXISTING FEATURES, INCLUDING, BUT NOT LIMITED TO UNDERGROUND PIPES, UTILITIES, CONDUITS, SPRINKLERS, CONTROL CABLES AND HYDRANTS OF WATERING SYSTEMS, SURVEY BENCHMARKS/PROPERTY MONUMENTS, ETC. SHOULD ANY OVERHEAD OR UNDERGROUND OBSTRUCTION BE ENCOUNTERED WHICH INTERFERES WITH CONSTRUCTION, THE ENGINEER OF RECORD SHALL BE CONSULTED AND WILL HAVE THE OPPORTUNITY TO ADJUST THE LOCATION OF CONFLICT ITEMS TO CLEAR SUCH OBSTRUCTIONS.
8. THE CONTRACTOR SHALL CONTACT THE APPLICABLE FRANCHISE UTILITY COMPANY (IE: A&T, TECO GAS, F&AL, ETC.) AS APPLICABLE AND COORDINATE ANY CONSTRUCTION IN ADVANCE OF COMMENCING CONSTRUCTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK AT NO COST TO THE OWNER. ADDITIONALLY, THE CONTRACTOR SHOULD ENSURE THAT EXISTING STRUCTURES TO REMAIN ARE RESTORED TO THEIR ORIGINAL CONDITION, INCLUDING: PAVEMENTS, CONCRETES, LANDSCAPING, DRAINAGE, AND UTILITIES. THE CONTRACTOR SHALL TAKE PHOTOGRAPHS AND VIDEO FOOTAGE OF THE SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO ENSURE PROPER DOCUMENTATION OF PRECONSTRUCTION CONDITIONS OF THE SITE AND TO AD IN ANY POSSIBLE CONFLICTS DURING CONSTRUCTION. THIS INFORMATION SHOULD BE PROVIDED TO THE ENGINEER OF RECORD AND OWNER.
10. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. AUGUSTINE LAND DEVELOPMENT CODE OR THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), WHICHEVER IS MORE RESTRICTIVE.
11. ALL WORK WITHIN THE CITY OF ST. AUGUSTINE (RIGHT-OF-WAY) MUST CONFORM TO MOST CURRENT LAND DEVELOPMENT CODE & STANDARDS AND SPECIFICATIONS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL UTILITIES, SHOWN OR NOT SHOWN, ON THESE PLANS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND TO THE CITY OF ST. AUGUSTINE'S FIRE DEPARTMENT FOR PROTECTING UTILITIES TO REMAIN AND COORDINATING THE RELOCATION (IF REQUIRED) OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES, IF UTILITIES OR OTHER IMPROVEMENTS NOT SHOWN ON THE DRAWINGS ARE FOUND DURING EXCAVATIONS. CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER OF RECORD IN WRITING AND THE OWNER'S REPRESENTATIVE FOR INSTRUCTIONS AS TO FURTHER ACTION. FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR ANY AND ALL DAMAGE ARISING FROM HIS OPERATIONS SUBSEQUENT TO DISCOVERY OF SUCH UTILITIES NOT SHOWN ON DRAWINGS.
13. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER OF RECORD, ANY EXTRA WORK REQUESTED BY ANY REGULATORY AGENCY THAT IS NOT SHOWN ON THE PLANS. THIS WORK MUST BE APPROVED BY THE ENGINEER OF RECORD IN WRITING AND THE OWNER BEFORE THE CONTRACTOR PROCEEDS WITH THE EXTRA WORK. ADDITIONALLY, THE CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, AND NOTIFY THE ENGINEER OF RECORD IN WRITING REGARDING ANY POTENTIAL CONFLICTS. THIS IS REQUIRED TO BE COMPLETED IN THE FORM OF FIELD STATEMENT WHICH MAY INCLUDE: LOCATIONS OF BUILDINGS/BUILDING ELEMENTS (TO BE VERIFIED THROUGH ENGINEER OF RECORD AND APPROVED ARCHITECTURAL PLANS), EDGES OF PAVEMENT, UTILITY STUB OUT LOCATIONS, ETC.
14. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL PERFORM SITE CLEANUP OPERATION FOR REMOVAL AND DISPOSAL OF ALL TRASH, DEBRIS, PIPE, EXCESS MATERIAL AND EQUIPMENT OFFSITE.
15. THE CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY, INCLUDING BENCHMARKS, TO OWNER AS REQUIRED BY THE CITY OF ST. AUGUSTINE. ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SURWMD), FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) AND ENGINEER OF RECORD. THE AS-BUILT SURVEY SHALL BE CERTIFIED BY A PROFESSIONAL LAND SURVEYOR. ENGINEER OF RECORD IS TO PROVIDE ENGINEER'S CERTIFICATION TO OWNER WITH AS-BUILT PLANS.
16. IN THE EVENT THAT UNEXPECTED ARCHEOLOGICAL RESOURCES ARE ENCOUNTERED DURING GROUND DISTURBING ACTIVITIES, ALL WORK SHALL HALT AND THE ENGINEER OF RECORD'S OFFICE SHALL BE CONTACTED IMMEDIATELY IN WRITING.
17. ALL MATERIALS AND LABOR ASSOCIATED ITEMS ARE TO BE WARRANTED BY THE CONTRACTOR FOR A TIME PERIOD OF ONE (1) CALENDAR YEAR UPON THE ACCEPTANCE OF THE PROJECT BY THE OWNER AND ALL APPLICABLE GOVERNMENT AGENCIES.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSURANCES, AND LICENSES PERTAINING TO THE WORK ILLUSTRATED IN THIS PLAN SET.
19. ANY POTENTIAL DISCREPANCIES WITHIN THIS PLAN SET THAT THE CONTRACTOR FINDS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY IN WRITING.
20. ALL DISTURBED AREAS WITHIN THE CITY OF ST. AUGUSTINE (RIGHT-OF-WAY) WILL BE RESTORED TO ORIGINAL OR BETTER CONDITION BY GRADING AND SODDING THE AREAS DISTURBED (BERMUDA IN RURAL, CENTPEDE IN UTILITY STRIPS).
21. THE ENGINEER OF RECORD ASSUMES NO RESPONSIBILITY IN REGARDS TO CONSTRUCTION METHODS AND PROCEDURES EXERCISED BY THE CONTRACTOR. IT IS ASSUMED BY THE ENGINEER OF RECORD THAT THE CONTRACTOR SHALL OPERATE WITHIN THE BOUNDARIES OF ALL APPLICABLE STANDARDS REGARDING TREES AND EXISTING UTILITIES AND CONSTRUCTION OPERATIONS WITH THE BEST INTEREST OF ALL EMPLOYEES TAKEN INTO CONSIDERATION, THE CONTRACTOR MUST CARRY THE REQUIRED STATUTORY LIABILITY AND WORKERS COMPENSATION INSURANCE. THE ENGINEER OF RECORD SHALL NOT BE RESPONSIBLE FOR HAZARDING ANY OF THESE ITEMS. THE OWNER IS THE ONLY ENTITY WHICH MAY CHOOSE TO TAKE ACTION REGARDING THESE ITEMS. GULFSTREAM DESIGN GROUP DOES NOT HAVE THE AUTHORITY TO RELIEVE THE CONTRACTOR OF HIS DUTY TO COMPLIANCE WITH THESE POLICIES.
22. THE USE OF THE WORD "CERTIFY" WITHIN THIS ENGINEERING PLAN SET, IMPLIES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE SUBJECT TOPIC. THIS, HOWEVER, DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY (EXPRESSED OR IMPLIED).
23. BURNING OF ANY MATERIAL OR DEBRIS ON SITE IS PROHIBITED.
24. ALL ADJACENT PROPERTY OWNERS AND BUSINESSES ARE TO BE PROVIDED ACCESS TO THEIR SITES AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
25. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE CONTRACTORS FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF THE CONTRACTOR AND/OR OWNER FAILS TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD THE ENGINEER OF RECORD HARMLESS FOR ALL INJURIES AND DAMAGES THAT THE ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.

CLEARING/DEMOLITION AND EROSION CONTROL NOTES:

- 1. AREAS ADJACENT TO THE PROJECT AREA ARE TO BE PROTECTED AND LEFT UNDISTURBED UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL PROTECTIVE VEGETATION BARRICADES, EROSION CONTROL STRUCTURES AND MEASURES IN PLACE PRIOR TO THE COMMENCING OF ANY EARTHWORK, INCLUDING: PRELIMINARY GRUBBING. THESE MEASURES INCLUDE, BUT ARE NOT LIMITED TO: TEMPORARY CONSTRUCTION FENCES, FILTER FABRIC, SILT FENCES AND FLOATING TURBIDITY BARRIERS. FURTHER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THE ENTIRE PROJECT. MAINTENANCE SHALL INCLUDE PERIODIC INSPECTION AND REMOVAL OF DEBRIS ABUTTING EROSION CONTROL DEVICES.
3. PRIOR TO THE INSTALLATION OF ANY FILL MATERIALS ON SUBJECT SITE, SILT FENCES SHALL BE INSTALLED: (1) ALONG SUBJECT SITE BOUNDARY AND PROPERTY LINES, (2) AT THE EDGE OF CONSERVATION EASEMENTS AND WETLANDS, (3) ADJACENT TO NATURAL LANDSCAPE BUFFERS, (4) AROUND THE PERIMETER OF EXISTING STORM WATER TREATMENT FACILITIES AND (5) AT ANY ADDITIONAL AREAS THAT CITY OF ST. AUGUSTINE DEEMS NECESSARY TO BE PROTECTED FROM POTENTIAL EROSION IMPACTS DURING CONSTRUCTION. THESE CONDITIONS SHALL APPLY ALL INSTANCES WHERE FILL MATERIAL IS BEING INSTALLED WITHIN 25 FEET OF ANY OF THE FOREMENTIONED LOCATIONS. WHILE THESE ITEMS REPRESENT THE MINIMUM REQUIREMENTS, CITY OF ST. AUGUSTINE, FDEP, AND SURWMD RESERVE THE RIGHT TO IMPOSE ADDITIONAL PROTECTIVE MEASURES, AS DETERMINED DURING ACTUAL SITE VISITS CONDUCTED THROUGHOUT PROJECT CONSTRUCTION.
4. PRIOR TO, AND DURING, LAND CLEARING ACTIVITIES ALL PRESERVED TREES (AS PER THE CITY OF ST. AUGUSTINE APPROVED PLANS) WILL BE CLEARLY MARKED. THIS INCLUDES TREE PROTECTION BARRICADES WHICH SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES. TREE PROTECTION BARRICADES SHALL BE INSTALLED AT THE DRIP LINE OF THE SUBJECT TREE. ANY PROPOSED ACTIVITIES WITHIN THIS DRIP LINE MUST BE APPROVED BY THE APPLICABLE GOVERNMENT AGENCY.
5. ONLY SURVIVAL LANDSCAPING ELEMENTS MAY BE ATTACHED TO PRESERVED OR PLANTED TREES, NO SIGNAGE, PERMITS, AND/OR STAKES MAY BE APPLIED TO A TREE ON THE SUBJECT PROPERTY.
6. ANY TREE THAT IS DAMAGED DURING THE TIME OF CONSTRUCTION SHALL BE CONSIDERED 'REMOVED' AND SHALL BE REPLACED BY THE CONTRACTOR WITH NO COST TO THE OWNER.
7. THE REMOVAL OF ALL VEGETATION AND TOPSOIL ON THE FUTURE ROADWAY, PARKING AND BUILDING LOT AREAS IS REQUIRED TO BE COMPLETED PRIOR TO THE PLACEMENT OF FILL ON THESE AREAS. THE TOPSOIL MAY BE TEMPORARILY

STOCKPILED AND USED AS TOPSOIL OVER PROPOSED GREEN AREAS SUCH AS PLANT BEDS, SOODED AREAS AND WHERE TREES ARE TO BE INSTALLED OR RELOCATED.

- 8. ALL FILL MATERIALS LOCATED BENEATH STRUCTURES AND PAVEMENT SHALL CONSIST OF NEW CLEAN GRANULAR SAND FREE FROM ORGANICS AND SIMILAR MATERIAL THAT COULD DECOMPOSE.
9. FILL MATERIAL IS TO BE PLACED IN ONE FOOT LIFTS AND COMPACTED TO THE APPROPRIATE DENSITY UNDER SUPERVISION OF A LICENSED GEOTECHNICAL ENGINEER.
10. IF ANY UNSUITABLE MATERIAL IS DISCOVERED, IT SHALL BE REQUIRED TO BE REMOVED AND REPLACED WITH SUITABLE MATERIAL THAT IS PROPERLY BACKFILLED, COMPACTED AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD AND AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER OF RECORD.
11. ALL EXISTING CATCH BASINS ADJACENT TO THE SITE SHALL BE COVERED WITH FILTER FABRIC TO PREVENT SEDIMENTS FROM ENTERING THE SYSTEM. THE FILTER FABRIC SHALL BE INSPECTED AND MAINTAINED DAILY THROUGHOUT THE DURATION OF CONSTRUCTION.
12. THE CONTRACTOR IS REQUIRED TO USE THE RECOMMENDATIONS FROM THE GEOTECHNICAL ENGINEER ON THE PROJECT FOR FINAL FILL, COMPACTION AND DENSITY SPECIFICATIONS THROUGHOUT THE PROJECT.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING AN EROSION CONTROL AND DEMATERING PLAN 14 DAYS PRIOR TO THE PRECONSTRUCTION CONFERENCE. THE PROPOSED PLANS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CRITERIA SET FORTH IN THE CITY OF ST. AUGUSTINE SPECIFICATIONS FOR ROADS, F&P LAND DEVELOPMENT MANUAL, AND SURWMD APPLICANTS HANDBOOK.
14. EROSION CONTROL AND SEDIMENTATION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO BEGINNING CONSTRUCTION. THEY SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION, AS STRUCTURES AND ELEMENTS ARE ADDED TO THE PROJECT SITE. STAKE OUT MUST BE PERFORMED UNDER THE SUPERVISION OF A LICENSED SURVEYOR IN THE STATE OF FLORIDA, PRIOR TO PLACEMENT OF STRUCTURES.
15. SILT FENCE SHALL BE INSTALLED ALONG THE CLEARING LIMITS. GRAPHICAL REPRESENTATION OF CLEARING LIMITS AND SILT FENCE IS EXAGGERATED FOR PICTORIAL PURPOSES ONLY.
16. SILT FENCE SHALL BE PLACED AROUND THE PERMETER OF THE ENTIRE SITE TO BE CLEARED.
17. WHERE MUCK OR OTHER ORGANIC MATERIAL IS REMOVED, IT SHALL BE REPLACED BY GOOD QUALITY NEW BACKFILL MATERIAL OBTAINED FROM THE GRADING OPERATORS OR OTHER SOURCE APPROVED IN WRITING BY THE ENGINEER OF RECORD AND THE GEOTECHNICAL ENGINEER OF RECORD. THE ORGANIC MATERIAL SHALL THEN BE USED AS TOP DRESSING WHEN MIXED WITH CLEAN BACKFILL SOIL, AND APPROVED BY THE OWNER AND ENGINEER.
18. CONTRACTOR SHALL SOO ALL DISTURBED AREAS UNLESS OTHERWISE NOTED.
19. CONTRACTOR MUST REFER TO STORMWATER POLLUTION PREVENTION PLAN AND ABIDE BY ALL CONDITIONS.
20. WITHIN 48 HOURS PRIOR TO CLEARING, THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE NPDES NOTICE OF COMMENCEMENT AND NOTICE OF TERMINATION APPLICATIONS TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION. CONTRACTOR SHALL PROVIDE A COPY OF THESE DOCUMENTS TO THE OWNER AND THE ENGINEER OF RECORD AS WELL AS A COPY OF THE NOTICE LETTER PROVIDED BY THE FDEP. PLEASE CONTACT NPDES STORMWATER NOTICES CENTER, M898585, FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, 2600 BLAIR STONE ROAD, TALLAHASSEE, FL 32399-2400 FOR FURTHER INFORMATION.
21. ALL EXISTING CURB AND GUTTER AND SIDEWALK PAVEMENT TO BE REMOVED, WILL BE REMOVED AND REPLACED JOINT TO JOINT.
22. ALL BROKEN/CRACKED DRIVEWAYS MUST BE FULLY REMOVED AND REPLACED.
23. THE OVERALL PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED, THE CONTRACTORS BID SHOULD INCLUDE THE ANTICIPATED COST OF THIS ITEM.

SITE LAYOUT NOTES:

- 1. ALL DIMENSIONS ARE TO THE EDGES OF PAVEMENT UNLESS OTHERWISE NOTED.
2. SIDEWALKS ADJACENT TO PAVEMENT SURFACES ARE TO BE THICKENED EDGE SIDEWALKS.
3. ALL TYPE "F" CURBING SHALL HAVE A THREE (3) FOOT TRANSITION AT ALL TERMINUS LOCATIONS WHEN TYING BACK TO GRADE.
4. ALL TYPE "D" CURBING SHALL HAVE A ONE (1) FOOT TRANSITION AT ALL TERMINUS LOCATIONS WHEN TYING BACK TO GRADE.
5. THE CONTRACTOR SHALL LAYOUT EACH AREA OF WORK TO CHECK DIMENSIONS PRIOR TO CONSTRUCTION AND COORDINATE WITH OTHER DISCIPLINES. SHOULD ANY DISCREPANCIES EXIST, THE CONTRACTOR IS TO NOTIFY, IN WRITING, THE OWNER'S REPRESENTATIVE AND THE ENGINEER OF RECORD IMMEDIATELY.
6. ALL AMERICANS WITH DISABILITIES ACT (ADA) RAMPS TO MEET CURRENT ADA CRITERIA AND INCLUDE A DETECTABLE WARNING. COLOR SELECTION FOR DETECTABLE WARNING TO BE COORDINATED WITH OWNER PRIOR TO ORDER AND PLACEMENT.
7. THE CONTRACTOR SHALL COORDINATE ANY OFF-SITE IMPROVEMENTS WITH CITY OF ST. AUGUSTINE 7 DAYS PRIOR TO CONSTRUCTION.
8. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE, WHERE THE CONSTRUCTION OCCURS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS AND/OR EXISTING EASEMENTS BEFORE BEGINNING CONSTRUCTION.
10. ADA RAMPS SHALL BE INSTALLED AT ALL SIDEWALK/CURB INTERSECTIONS. ALL ADA RAMPS SHALL CONFORM TO DETAILS, NOTES AND SPECIFICATIONS FROM THE FOOT TRAIL DESIGN MANUAL, LATEST EDITION, INDEX NO. 304 SHEETS 1 THROUGH 4, AS APPLICABLE.

ADA GUIDANCE TO CONTRACTOR:

- 1. CONTRACTORS MUST EXERCISE CARE AND PRECISION WHEN CONSTRUCTING ADA ACCESSIBLE COMPONENTS OF THE PREPARED WORK PERTAINING TO THIS PLAN SET. THESE COMPONENTS MUST COMPLY WITH THE CURRENT ADA STANDARDS AT THE TIME OF PLAN APPROVAL. THESE ITEMS INCLUDE BUT ARE NOT LIMITED TO:
1.1. RAMP RAMPS
1.1.1. SLOPE SHALL NOT EXCEED 1:50 (2%) IN ANY DIRECTION
1.1.2. CURB RAMPS
1.2.1. SLOPE SHALL NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET
1.3. LANDINGS
1.3.1. MUST BE AT EACH END OF RAMPS, PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1/50 (2%) IN ANY DIRECTION.
1.4. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE
1.4.1. MUST PROVIDE A 36-INCH OR GREATER UNOBSTRUCTED WIDTH OF A VEHICLE. THIS SLOPE MUST BE NO GREATER THAN 9% IN THE DIRECTION OF TRAVEL (LONGITUDINAL), AND MUST NOT EXCEED 2% IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 5% ADA RAMP MUST ADHERE TO A MAXIMUM SLOPE OF 4.3%, FOR A MAXIMUM RISE OF 2.5 FEET, MUST BE PROVIDED. THE RAMP MUST ALSO INCLUDE ADA HANDRAILS AND LEVEL LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 2% IN ANY DIRECTION.
1.5. DOORWAYS
1.5.1. MUST HAVE A LEVEL, LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 2% TO ENSURE POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN FIVE (5) FEET LONG, UNLESS OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING DESIGN.

- 2. WHEN THE PROPOSED CONSTRUCTION INVOLVES REMEDIATION OF CONSTRUCTION ACTIVITIES REGARDING ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY ELEVATIONS SHOWN ON PLAN REFER TO THE MOST RECENT VERSION OF THE ADA CODE TO CONFIRM DESIGN REQUIREMENTS. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD OF ANY CONFLICTS AND OR DISCREPANCIES IN THE FIELD THAT DIFFER FROM WHAT IS ILLUSTRATED ON THE PLAN SET, IN WRITING, BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL CONSTRUCTION IMPROVEMENTS MUST MEET ALL REQUIREMENTS SET FORTH BY THE MOST RECENT VERSION OF ADA REQUIREMENTS.
3. CONTRACTOR MUST VERIFY SLOPES PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES. IF THERE ARE ANY NON-COMFORMANCES THAT EXIST, THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD IN WRITING IMMEDIATELY.
4. IT IS ENCOURAGED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODES AND FIELD INSPECTOR AFTER STAGING AND BEFORE COMMENCEMENT OF CONSTRUCTION.

PAVING, GRADING, AND DRAINAGE NOTES:

- 1. PIPE LENGTHS SHOWN REPRESENT SPACED DISTANCES BETWEEN CENTERLINE OF DRAINAGE STRUCTURES AND TO END OF MITERED END SECTIONS.
2. ALL HP, HDPE OR RCP PIPE JOINTS TO BE WRAPPED WITH FOUR (4) WIDE "TYPE R" STRIPS OR EQUAL. PIPE JOINTS SHALL BE KEPT DRY AS FOLLOWS: PVC = POLYVINYL CHLORIDE PIPE RCP = REINFORCED CONCRETE PIPE HDPE = HIGH DENSITY POLYETHYLENE HP = HIGH PERFORMANCE.
3. ALL PIPE SHALL MEET MINIMUM SLOPE REQUIREMENTS FOR THEIR SPECIFIC TYPE. AT A MINIMUM THE FOLLOWING SHOULD BE MET THROUGHOUT THE SITE UNLESS OTHERWISE SHOWN ON THE PLAN SHEETS.
a. RCP SHALL BE A MINIMUM OF 0.30%
b. PVC SHALL BE A MINIMUM OF 0.80%
c. HDPE SHALL BE A MINIMUM OF 0.80%
4. DRAINAGE PIPE NOT LOCATED IN PAVED AREAS CAN BE PVC SDR-26 OR HDPE N-12 EQUIVALENT. STRUCTURES TO BE ADJUSTED ACCORDINGLY DEPENDING ON PIPE MATERIAL CHOSEN. THE CONTRACTOR MUST SUBMIT A REQUEST IN WRITING

AND OBTAIN APPROVAL FROM THE OWNER AND THE ENGINEER OF RECORD BEFORE ANY SUBSTITUTIONS ARE ALLOWED.

- 5. UNLESS OTHERWISE STATED, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS II WITH SILT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHTO M249 AND TYPE-S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT TIGHT JOINTS). PVC PIPE FOR ROOF DRAIN CONNECTION(S) MUST BE SD 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE. PVC PIPE AND FITTINGS MUST CONFORM TO ASTM 1 3034, SDR 35, WITH PUSH ON OR RUBBER GASKETS. NO MATERIAL SUBSTITUTES WILL BE ALLOWED.
6. INSTALLATION OF PIPE SHOULD OCCUR ON A MINIMUM OF 8" STABILIZED MATERIAL FREE OF JAGGED MATERIAL. BACKFILL MATERIAL SHALL BE WELL GRADED AND MEET COVER VALUES AS SHOWN ON THE APPLICABLE PLAN SHEETS. STORM SEWER PIPES SHOULD BE PROTECTED BY A MINIMUM OF 18" OF FILL DURING CONSTRUCTION. DRAINAGE FROM OFFSITE ENTERING THE SITE VIA DITCH OR AN OPEN CUT PIPE MUST BE ACCOMMODATED FOR AND NOT HINDERED DURING CONSTRUCTION ACTIVITIES. CONTRACTOR TO ULTIMATE ALL NECESSARY EQUIPMENT TO ENSURE POSITIVE DRAINAGE.
7. ALL NON-PAVED DISTURBED AREAS TO BE SOODED AND STABILIZED WITHIN SEVEN (7) DAYS OF THE DISTURBANCE UNLESS OTHERWISE NOTED.
8. ALL PAVEMENT RETURN RADIUS SHALL BE MEASURED TO THE EDGE OF PAVEMENT SURFACE UNLESS OTHERWISE NOTED.
9. DITCH BOTTOM AND CONTROL STRUCTURE INLET GRATES SHALL BE SEATED PROPERLY.
10. FIVE (5) FEET OF SOO IS REQUIRED AROUND ALL DITCH BOTTOM INLETS, MANHOLES, HEADWALLS, ETC.
11. THE STORM DRAINAGE SYSTEM SHALL BE FREE OF DIRT, SAND AND DEBRIS PRIOR TO FINAL ACCEPTANCE.
12. MITERED END SECTIONS SHALL CONFORM TO FOOT INDEX #430-022. MITERED END SECTIONS IN POND(S) SHALL CONFORM TO FOOT INDEX #430-021. DITCH BOTTOM INLETS SHALL CONFORM TO FOOT INDEX #425-052. STORM MANHOLES SHALL CONFORM TO FOOT INDEX #425-001.
13. THE CONTRACTOR IS TO COORDINATE THE CONFLICT POINTS AT UTILITY INTERFACES AROUND THE SITE. CLEARANCES SHOULD BE MET IN ACCORDANCE WITH F&P RULES AND PER THE CITY OF ST. AUGUSTINE STANDARDS AND SPECIFICATIONS IN AN SET.
14. STORM STRUCTURE PIPES THAT EXCEED THE SIZING FOR TYPE C INLETS ARE TO BE CONSTRUCTED WITH ALTERNATE TYPES WITH MINIMUM DIAMETERS TO ACCOMMODATE PIPE SIZES AND/OR PIPE ANGLES PER FOOT INDEX NO. 425-010 AND 425-001. TYPE J BOTTOM.
15. NYLOPLAST OR EQUAL SHALL BE USED WHERE NOTED AND SHALL ACCOMMODATE THE PIPE SIZING AND ANGLES NOTED. SHOULD THE PIPE NOT BE ABLE TO BE ACCOMMODATED, THEN A TYPE "C" INLET SHALL BE SUBSTITUTED AT NO ADDITIONAL CHARGE TO THE OWNER.
16. PAVEMENT SHALL BE PLACED IN TWO EQUAL LIFTS. THE SECOND LIFT SHOULD BE PLACED AFTER THE FINAL CERTIFICATE OF OCCUPANCY UNLESS THE OWNER AND THE ENGINEER OF RECORD REQUESTS OTHERWISE IN WRITING.
17. ALL DISTURBED AREA THAT WILL BE EXPOSED FOR MORE THAN SEVEN (7) DAYS REQUIRE EROSION CONTROL, TO ADDRESS RAIN DRIVEN AND WIND BLOWN SEDIMENT.
18. GULFSTREAM DESIGN GROUP, LLC WILL REVIEW OR TAKE APPROPRIATE ACTION AS PERTAINING TO THE CONTRACTOR'S SUBMITTALS PRIOR TO SUBMITTAL TO THE CITY OF ST. AUGUSTINE. THIS INCLUDES BUT NOT LIMITED TO SHOP DRAWINGS, RP, PRODUCT SAMPLES, FIELD DATA, STORM MANHOLES DESIGN GROUP, LLC WILL NOT BE REQUIRED TO PERFORM A COMPLETE REVIEW ON A SUBMITTAL WHICH IS CONSIDERED TO BE "INCOMPLETE" BY THE ENGINEER OF RECORD. SUCH SUBMITTALS WILL BE REJECTED IN WRITING AND RETURNED TO THE CONTRACTOR.
19. THE CONTRACTOR IS TO SUBMIT A PROPOSED JOINTING PATTERN TO THE OWNER AND GEOTECHNICAL ENGINEER OF RECORD FOR APPROVAL PRIOR TO PLACEMENT OF ANY CONCRETE PAVEMENT.
20. THE CONTRACTOR SHALL PROVIDE EXPANSION JOINTS AT ABUTMENTS OF CONCRETE AND ANY STRUCTURE.
21. THE CONTRACTOR IS THE RESPONSIBLE PARTY FOR MAINTAINING THE STORM DRAINAGE SYSTEMS UNTIL FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE REQUIRED TESTING WITH THE GEOTECHNICAL ENGINEER. TESTING IS REQUIRED IN ACCORDANCE WITH THE TESTING SCHEDULE FOUND ON THIS SHEET UPON COMPLETION OF THE WORK. THE GEOTECHNICAL ENGINEER OF RECORD SHALL SUBMIT CERTIFICATES TO THE CIVIL ENGINEER OF RECORD AND THE OWNER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.

SIGNAGE AND PAVEMENT MARKINGS NOTES:

- 1. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION.
2. ALL GROUND MOUNTED STOP, YIELD, WRONG WAY, DO NOT ENTER SIGN FACES SHALL BE FABRICATED ENTIRELY WITH TYPE "B" REFLECTIVE SHEETING.
3. ALL PAVEMENT MARKINGS ARE TO BE PAINTED WITH THERMOPLASTIC PAINT IN ACCORDANCE WITH FOOT STANDARDS UNLESS OTHERWISE NOTED ON THE PLANS.
4. FOR SIGN DETAILS REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PUBLISHED BY U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION, LATEST EDITION.
5. ALL PAVEMENT MARGINS TO BE IN ACCORDANCE WITH FOOT INDEX NO. 711-001. THE CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING TEMPORARY PAVEMENT MARKINGS UNTIL THE FINAL SURFACE COURSE HAS BEEN CURBED (MINIMUM THIRTY (30) DAYS AFTER FINAL SURFACE COURSE PAVEMENT).
6. ALL TRAFFIC CONTROL SIGNS MUST BE IN ACCORDANCE WITH MUTCD STANDARDS AND SPECIFICATIONS (LATEST EDITION VALID AT TIME OF PLAN APPROVAL) AND SHALL BE FABRICATED USING 3M BRAND "SCOTTLITE" SHEETING (HIGH INTENSITY GRADE) ON MINIMUM 900 GA ALUMINUM BLANKS. ALL 30" X 48" SIGNS SHALL BE 100 GA MINIMUM AND SHALL BE INSTALLED USING 3" X 12" ROUND ALUMINUM POSTS. ALL STOP SIGNS SHALL BE 30" OCTAGONAL INSTALLED ON 12, 3 LBFT 1/2" CHANNEL POSTS ON 3"X12" ROUND ALUMINUM POSTS. "U" CHANNEL POSTS MAY BE USED FOR ALL SIGNS SMALLER THAN 30" X 48". ALL WARNING SIGNS SHALL BE 30" X 30". ALL SPEED LIMIT SIGNS SHALL BE 24" X 30".
7. SIGN PLACEMENT SHOWN IN PLANS IS APPROXIMATE. FINAL LOCATION SHALL BE AS DIRECTED BY ENGINEER OF RECORD, INSPECTOR(S) AND OWNER.
8. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED USING THE "HYDRO-BLAST" METHOD. IF THIS PROCESS DAMAGES CARSPAS PAVEMENT, THEN THE PAVED AREA SHALL BE MILLED AND RESURFACED PER LATEST EDITION FOOT STANDARDS AND SPECIFICATIONS.
9. ALL DIRECTIONAL ARROWS SHALL BE PLACED AS ONE CONTINUOUS APPLICATION.
10. PROPOSED PAVEMENT MARKINGS SHALL ALIGN WITH EXISTING PAVEMENT MARKINGS AT PAVEMENT MARKING LIMITS OF CONSTRUCTION.
11. ALL EXISTING CURB AND GUTTER AND SIDEWALK SHOWN TO BE REMOVED, WILL BE REMOVED AND REPLACED FROM JOINT TO JOINT.
12. ALL BROKEN/CRACKED DRIVEWAYS MUST BE FULLY REMOVED AND REPLACED.

OVERALL UTILITY NOTES:

- 1. PROJECT LIES WITHIN CITY OF ST. AUGUSTINE UTILITY DEPARTMENT SERVICE AREA.
2. THE PROJECT LIES WITHIN TECO GAS SERVICE AREA.
3. WORK DIRECTLY IMPACTING TECO GAS MAINS SHALL BE COORDINATED AS REQUIRED AND CONFORM TO TECO GAS STANDARD SPECIFICATIONS AND DETAILS (LATEST EDITION).
4. ALL WATER, SEWER AND REUSE WORK TO CONFORM TO THE CITY OF ST. AUGUSTINE WATER AND SEWER STANDARDS, SPECIFICATIONS AND DETAILS (LATEST EDITION). PLEASE NOTE THAT WORK DIRECTLY IMPACTING CITY OF ST. AUGUSTINE UTILITIES SHALL BE COORDINATED AND APPROVED AND CONFORM TO THE CITY OF ST. AUGUSTINE DESIGN SPECIFICATIONS AND DETAILS (LATEST EDITION).
5. COORDINATE UTILITY SIZE AND SERVICE LOCATION WITH ARCHITECT AND MECHANICAL, ELECTRICAL & PLUMBING (MEP) PLANS.
6. ALL CONNECTIONS TO SERVICE LINES TO BE ON SITE SIDE OF BACKFLOW OR CLEANOUT DEPENDING ON LINE TYPE.
7. CLEAN-OUTS SHALL BE INSTALLED SO THAT THEY ARE ACCESSIBLE FOR MAINTENANCE.
8. CLEAN-OUTS LOCATED IN WALKWAY SHALL BE INSTALLED WITH ADA COMPLIANT FLUSH MOUNT COVER. CLEAN-OUTS IN PAVED AREAS SHALL BE CONSTRUCTED WITH TRAFFIC RATED BAY AND COVER.
9. ALL ABANDONED UTILITIES FOUND WITHIN THE CITY OF ST. AUGUSTINE RIGHT-OF-WAY AND NOT SHOWN ON THESE PLAN SHEETS ARE TO BE REMOVED AND PROPERLY DISPOSED OF AT THE EXPENSE OF THE CONTRACTOR PER CITY OF ST. AUGUSTINE AND F&P STANDARDS.
10. ALL PRIMARY AND SECONDARY ELECTRICAL LOCATIONS ARE NOT SHOWN HEREON. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION AND COST OF LAND OWNER AND ELECTRIC COMPANY. ADDITIONALLY, THE CONTRACTOR SHOULD VERIFY THE LOCATION AND COST WITH AN IRRIGATION CONSULTANT.
11. THE CONTRACTOR SHALL PROVIDE TRANSFORMER PAD TO ALLOW FOR INSTALLATION FROM POWER COMPANY.
12. REFERENCE ARCHITECTURAL AND MEP PLANS FOR ALL UTILITY SERVICE CONNECTION POINTS.

OVERALL TESTING NOTES:

- 1. THE CONTRACTOR SHALL UTILIZE THE SERVICES OF A THIRD PARTY TESTING LABORATORY TO CONDUCT ALL REQUIRED TESTS ON SUBGRADE, BASE, AND SURFACE COURSE MATERIALS. TEST RESULTS MAY BE SUBMITTED PRIOR TO ANY REQUEST FOR PAYMENT RELATING TO THE SITE CONSTRUCTION SCOPE AS AGREED UPON BY ALL APPLICABLE PARTIES.
2. SCHEDULE OF ROAD CONSTRUCTION TESTING SHALL BE AS FOLLOWS:
2.1. SUBGRADE
2.1.1. BEARING VALUE TESTS SHALL BE TAKEN AT INTERVALS OF NO MORE THAN 200 LINEAR FEET.
2.2. BASE
2.2.1. DENSITY TESTS SHALL BE TAKEN AT INTERVALS OF NO MORE THAN 500 LINEAR FEET.
3. ALL TESTING SHALL BE TAKEN IN A STAGGERED PATTERN WITHIN THE EDGE OF PAVEMENT BOUNDARY.
4. IF ANY SAMPLES SHOULD BE EXAMINED AS "UNSATISFACTORY" PER THE STANDARDS OF THE GEOTECHNICAL ENGINEER OF RECORD, THE AREA OF CONCERN SHALL BE REWORKED AT THE CONTRACTORS EXPENSE UNTIL THE LEVEL OF "SATISFACTORY" IS MET.
5. ALL PASSING TESTS SHALL BE PAID FOR BY THE OWNER AND ALL FAILING TESTS SHALL BE PAID FOR BY THE CONTRACTOR.

SCHEDULE OF TESTING:

Table with columns: TEST ITEM, TESTED TO BE FURNISHED, TESTING METHOD(S), REQUIREMENT, TESTING INTERVAL.

FIRE PROTECTION NOTES:

- 1. FIRE PROTECTION FOR THE PURPOSE OF THESE PLANS IS ANY UNDERGROUND WATER LINE, NOT OWNED AND MAINTAINED BY A PUBLIC UTILITY AS WELL AS ANY PRIVATE FIRE SERVICE MAIN AND PIPE, AND ITS APPURTENANCES ON PRIVATE PROPERTY. (1) BETWEEN A SOURCE OF WATER AND THE BASE OF THE SYSTEM RISER FOR WATER-BASED FIRE PROTECTION SYSTEMS; (2) BETWEEN A SOURCE OF WATER AND INLETS TO FOAM-MAKING SYSTEMS; (3) BETWEEN A SOURCE OF WATER AND THE BASE ELBOW OF PRIVATE HYDRANTS OR MONITOR NOZZLES; AND (4) USED AS FIRE PUMP SUCTION AND DISCHARGE PIPING, (5) BEGINNING AT THE INLET SIDE OF THE CHECK VALVE ON A GRAVITY OR COMPRESSIVE TANK.
2. THIS SHALL ALSO APPLY TO PROMISED SERVICE MAINS USED TO CARRY WATER FOR FIRE SERVICE AND OTHER USES. IE. DOMESTIC.
3. STANDARDS TO BE USED ARE TO BE THE MOST CURRENT AS ADOPTED BY THE FLORIDA FIRE PREVENTION CODE: NFPA 24, INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES NFPA 20, STANDARD FOR INSTALLATION OF STATUTORY PUMPS FOR FIRE PROTECTION NFPA 22, STANDARD FOR WATER TANKS FOR PRIVATE FIRE PROTECTION NFPA 1863 STANDARD FOR FIRE HOSE CONNECTIONS
4. ITEMS ON THE CONSTRUCTION PLANS SHALL INCLUDE BUT NOT LIMITED TO SCALE DRAWINGS AND DETAILS AND TO INCLUDE THE FOLLOWING ITEMS WHEN THEY ARE APPLICABLE TO THE SYSTEM BEING INSTALLED:
1. NAME OF OWNER AND OCCUPANT.
2. LOCATION, INCLUDING STREET ADDRESS.
3. POINT OF COMPASS.
4. SIZE AND LOCATION OF ALL WATER SUPPLIES.
7. SIZE AND LOCATION OF ALL PIPING, WHERE POSSIBLE, THE CLASS AND TYPE AND DEPTH OF EXISTING PIPE. THE CLASS AND TYPE OF NEW PIPE TO BE INSTALLED, AND THE DEPTH TO WHICH IT IS TO BE BURIED.
8. SIZE, TYPE AND LOCATION OF VALVES, INDICATE IF LOCATED IN PIT OR IF OPERATION IS BY POST INDICATOR OR KEY WRENCH THROUGH A CURB BOX.
9. LOCATION OF FIRE DEPARTMENT CONNECTIONS, IF PART OF PRIVATE FIRE SERVICE MAIN SYSTEM, INCLUDING DETAIL OF CONNECTIONS.
10. SPRINKLER AND STAMPPIE RISERS AND MONITOR NOZZLES TO BE SUPPLIED BY THE SYSTEM.
11. ALL COMPONENTS MUST HAVE LISTINGS WITH FIRE PROTECTION PER NFPA 24.
12. ALL FIRE HYDRANTS INSTALLED IN CITY OF ST. AUGUSTINE MUST HAVE A SINGLE 4.5 INCH SOLE OUTLET AND TWO 2.5 INCH SOLE OUTLETS. ALL WITH MAINTENANCE STANDARDS THESE:
5. A COPY OF THESE APPROVED ENGINEERING PLANS SHALL ACCOMPANY A REQUIRED FIRE MARSHAL UNDERGROUND PERMIT SUBMITTED BY A CERTIFIED CONTRACTOR. THE UNDERGROUND PERMIT WILL REQUIRE ADDITIONAL DETAILS AND SPECS AT THE TIME OF SUBMITTAL TO THE FIRE MARSHAL'S OFFICE.
6. CONTRACTORS INSTALLING THE UNDERGROUND PIPING IN ACCORDANCE WITH THE ABOVE REFERENCE STANDARDS FOR A FIRE PROTECTION SYSTEM USING WATER AS THE EXTINGUISHING AGENT BEGINNING AT THE POINT AT WHICH THE PIPING IS USED EXCLUSIVELY FOR FIRE PROTECTION AND ENDING NO MORE THAN 1 FOOT ABOVE THE FLOOR SHALL BE REQUIRED TO HAVE A CLASS II, OR V FIRE PROTECTION CONTRACTORS LICENSE PURSUANT TO CHAPTER 633, FLORIDA STATUTES. GENERAL CONTRACTORS ARE REMINDED THAT THEY ARE RESPONSIBLE FOR VERIFYING THAT THEIR SUBCONTRACTORS HOLD THE REQUIRED LICENSES. CONTRACTORS FOUND TO BE VIOLATING THIS REQUIREMENT MAY BE REPORTED TO THE DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION AND/OR THE STATE FIRE MARSHAL'S REGULATORY LICENSING SECTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A PERMIT FROM THE FIRE MARSHAL'S OFFICE PRIOR TO THE START OF SITE CONSTRUCTION IN ACCORDANCE WITH THE ABOVE REFERENCED STANDARDS.
8. NOTE: MINIMUM WORKING PRESSURE OF THE UNDERGROUND PIPING SHALL BE 150 PSI. NFPA 24 REQUIRES SPECIFIC PVC PIPE TO MEET TABLE C-600 WITH MANUFACTURING LISTING FOR FIRE PROTECTION.
9. ALL FIRE LINES MUST BE INSPECTED BY THE FIRE MARSHAL'S OFFICE PRIOR TO BACKFILL. THE CODE REQUIRES ALL JOINTS EXPOSED FOR INSPECTION WITH FILL IN BETWEEN JOINTS. ALL PIPING AND ATTACHED APPURTENANCES SUBJECT TO SYSTEM WORKING SHALL BE HYDROSTATICALLY TESTED AT 200 PSI OR 90 PSI IN EXCESS OF THE SYSTEM WORKING PRESSURE, WHICHEVER IS GREATER, AND SHALL MAINTAIN THAT PRESSURE WITHOUT LOSS FOR TWO (2) HOURS.

FIRE MARSHAL NOTE:

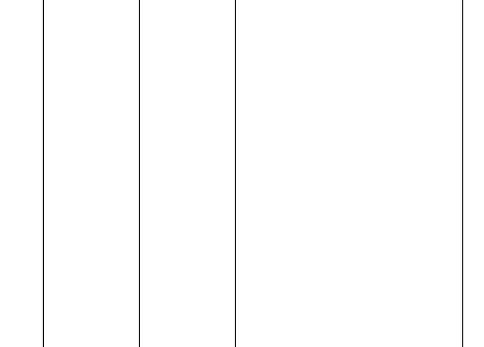
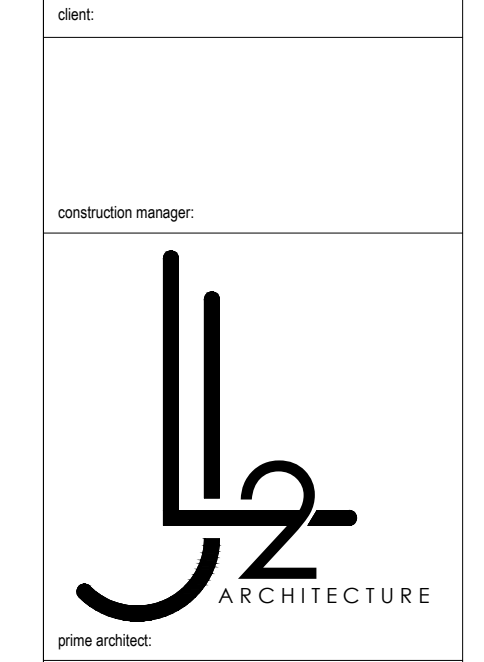
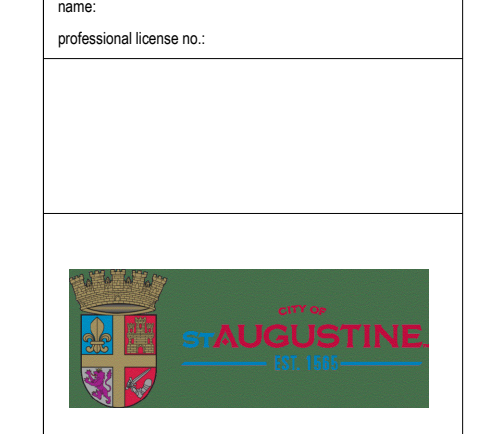
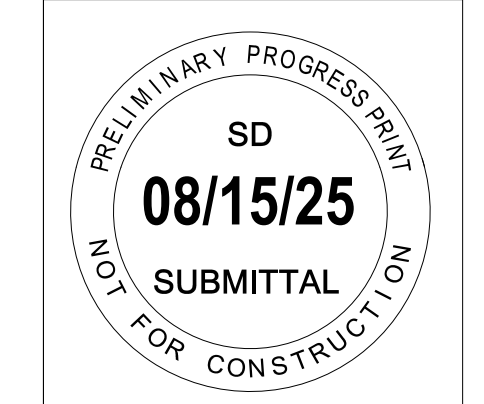
THIS CIVIL UTILITY PLAN IS PROVIDED FOR DEVELOPMENT REVIEW COMMITTEE (CIVIL) REVIEW ONLY. APPROVAL OF THESE PLANS DO NOT INCLUDE APPROVAL FOR PRIVATE UNDERGROUND WATER MAIN, HYDRANTS, AND FIRE SPRINKLER MAINS. CIVIL DRAWINGS ILLUSTRATE LAYOUT ONLY AND DO NOT SHOW FULL COMPLIANCE WITH THE RESPECTIVE FIRE CODES FOR FIRE MARSHAL UNDERGROUND PERMIT. DETAILS SHOP DRAWINGS MUST BE PREPARED AND SUBMITTED BY THE INSTALLED UNDERGROUND CONTRACTOR SHOWING COMPLETE COMPLIANCE WITH, BUT NOT LIMITED TO, NFPA 24, (STANDARD FOR INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES).

FIRE HYDRANT NOTES:

- 1. HYDRANT ON THE SUPPLY SIDE OF A BACKFLOW PREVENTOR AND OWNED & MAINTAINED BY THE DEVELOPER ARE DEEMED PRIVATE AND SHALL BE COLORED RED WITH WHITE REFLECTIVE CAPS.
2. HYDRANTS SHALL BE INSTALLED ON FLAT STONES, CONCRETE SLABS OR OTHER APPROVED MATERIALS.
3. HYDRANTS SHALL BE INSTALLED 80 LARGE DIAMETER (6 INCH) DIAMETER (6 INCH) OUTLET IS FACING THE ROADWAY.
4. HYDRANTS SHALL BE INSTALLED SO CENTER OR LOWEST OUTLET IS MINIMUM OF 18 INCHES ABOVE FINAL GRADE.
5. HYDRANTS SHALL BE INSTALLED WITH REFLECTIVE CAPS.
6. BLUE ROAD REFLECTORS SHALL BE INSTALLED IN THE CENTER OF THE ROAD IN FRONT OF THE HYDRANT. (LDC 63.03)
7. A WATER AS-BUILT IS REQUIRED TO BE SUBMITTED TO DEVELOPMENT REVIEW FOR ALL NEW AND EXISTING FIRE HYDRANTS. A FIRE INSPECTOR IS SENT OUT TO VERIFY LOCATION, FLOW AND GPS ALL FIRE HYDRANTS. PLEASE NOTE, FIRE HYDRANTS AND STREET NAMES ARE REQUIRED ON ALL AS-BUILTS. STREET SIGNS WILL ALSO BE CHECKED. PLEASE DO NOT SUBMIT AS-BUILTS UNTIL FIRE HYDRANTS ARE IN WORKING ORDER. IF A PRIVATE FIRE HYDRANT IS INSTALLED WITHOUT A FIRE MARSHAL PERMIT, THIS WILL HOLD UP YOUR AS-BUILT AND REQUIRE THE WATERMAIN TO BE DUO UP AFTER BURED. AS-BUILTS HAVE A TEN (10) WORKING DAY REVIEW TIME. PLEASE ALLOW A SUFFICIENT TIME TO COMPLETE THE INSPECTION BEFORE ASKING FOR A CERTIFICATE OF OCCUPANCY.
8. FIRE HYDRANTS SHALL BE LOCATED WITHIN 3 FEET TO 10 FEET OF THE CURB (LDC 63.03).
9. FIRE HYDRANTS SHALL BE INSTALLED WITHIN 12 FEET FROM THE FIRE DEPARTMENT ACCESS ROAD WITH CURBS (MPA 1.18.5.1.8)
10. HYDRANTS CONNECTED TO A CENTRAL UTILITY AND OWNED AND MAINTAINED BY THAT UTILITY COMPANY SHALL BE COLORED CHROMIUM YELLOW WITH WHITE REFLECTIVE CAPS.

ENGINEERING PLANS FOR COSA FIRE STATION #2 GENERAL NOTES CITY OF ST. AUGUSTINE, FLORIDA

Table with columns: NO., DATE, DESCRIPTION, REVISIONS.



ENGINEERING PLANS FOR COSA FIRE STATION #2 SWPPP CITY OF ST. AUGUSTINE, FLORIDA

811 Know what's below. Call before you dig. FOR PERMIT REVIEW

GULFSTREAM DESIGN GROUP, LLC 2225 A1A S, SUITE A2 ST. AUGUSTINE, FLORIDA 32080 904.784.4211 matt@gulstreamdesign.com GULFSTREAM DESIGN GROUP, LLC 2025

PROJECT NO: 24-212 ISSUE DATE: 8-15-2025 DRAFTED BY: TDP DESIGNED BY: TVB CHECKED BY: MHL NOT VALID WITHOUT SEAL

CITY OF ST. AUGUSTINE PROJECT NO. 2 FIRE STATION #2 SCHEMATIC DESIGN 500 ANASTASIA BLVD, ST AUGUSTINE, FL 32080

DATE: 08/15/25 SHEET NO: 2024-P027 DESIGNED BY: TVB DRAWN BY: TDP SCALE: 1/16" = 1'-0" SHEET NUMBER:

C-4

SPILL PREVENTION MATERIAL MANAGEMENT PRACTICES: THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

HAZARDOUS PRODUCTS: THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.

PAINTS: ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS: CONCRETE TRUCKS SHALL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ONLY AT DISCHARGE POINT PROVIDED. NO OFFSITE DISCHARGE WILL BE PERMITTED.

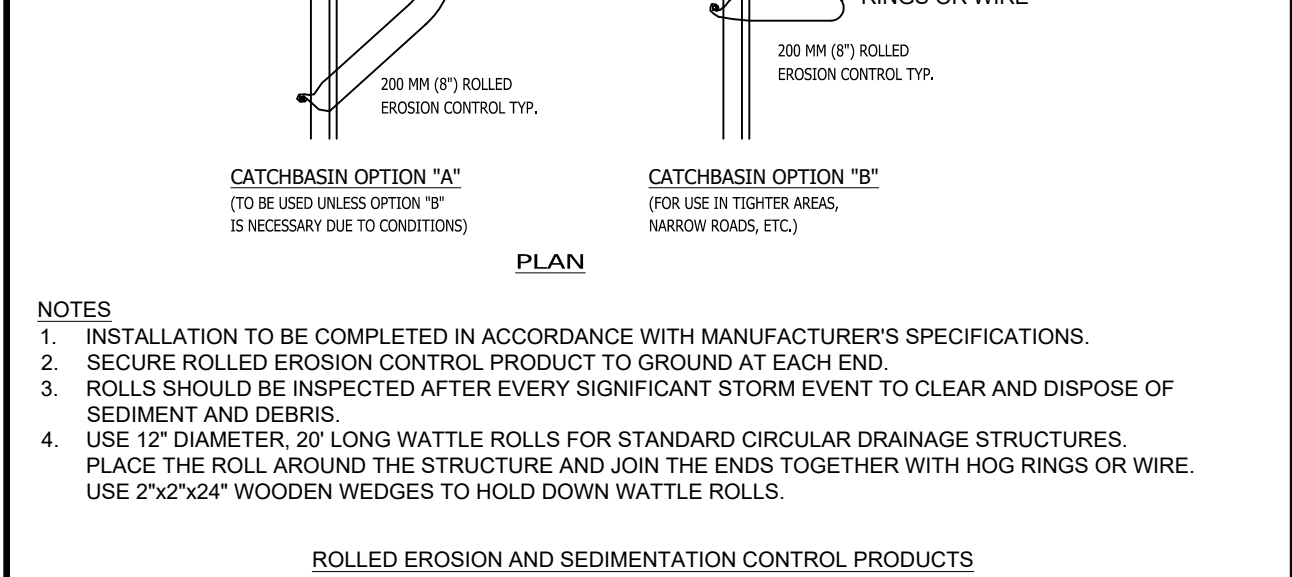
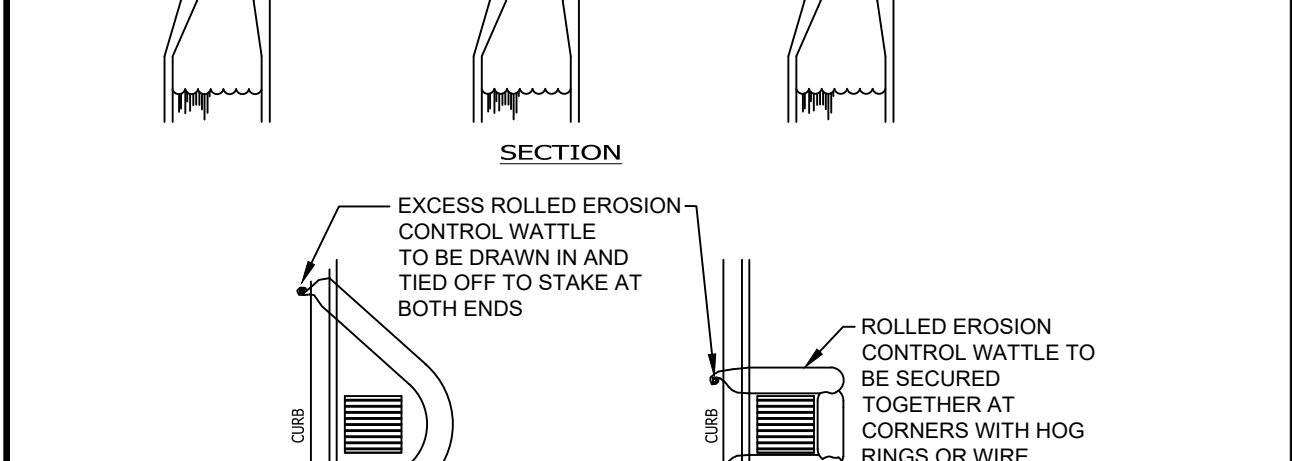
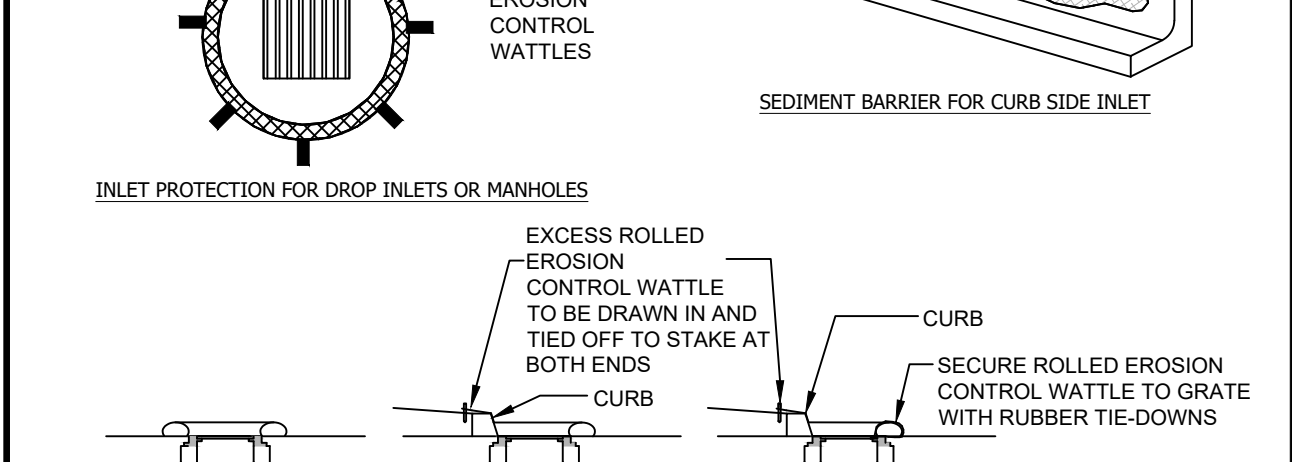
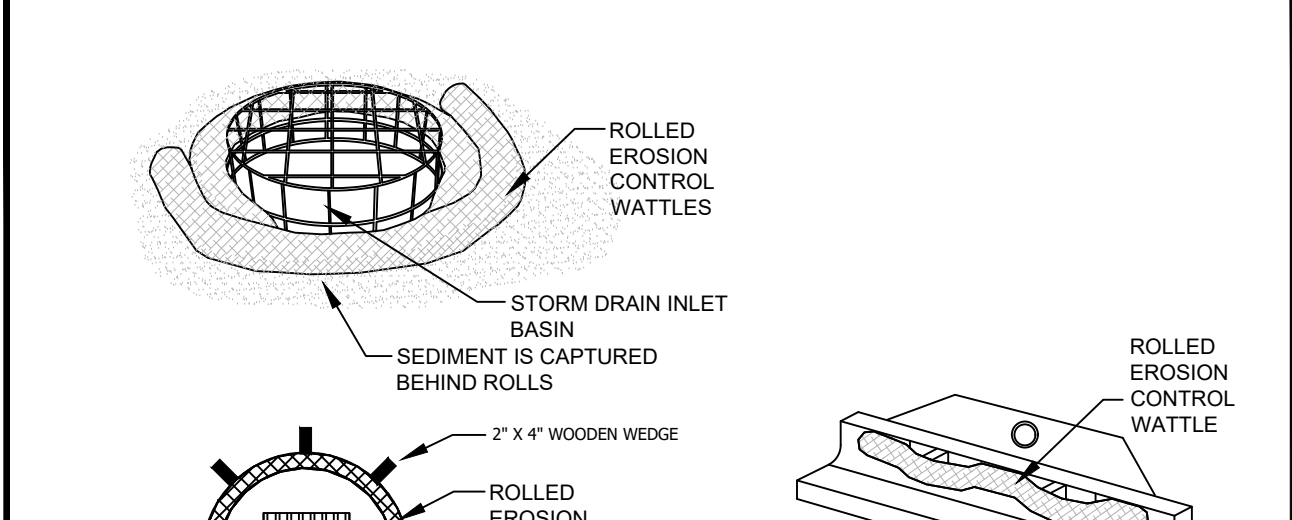
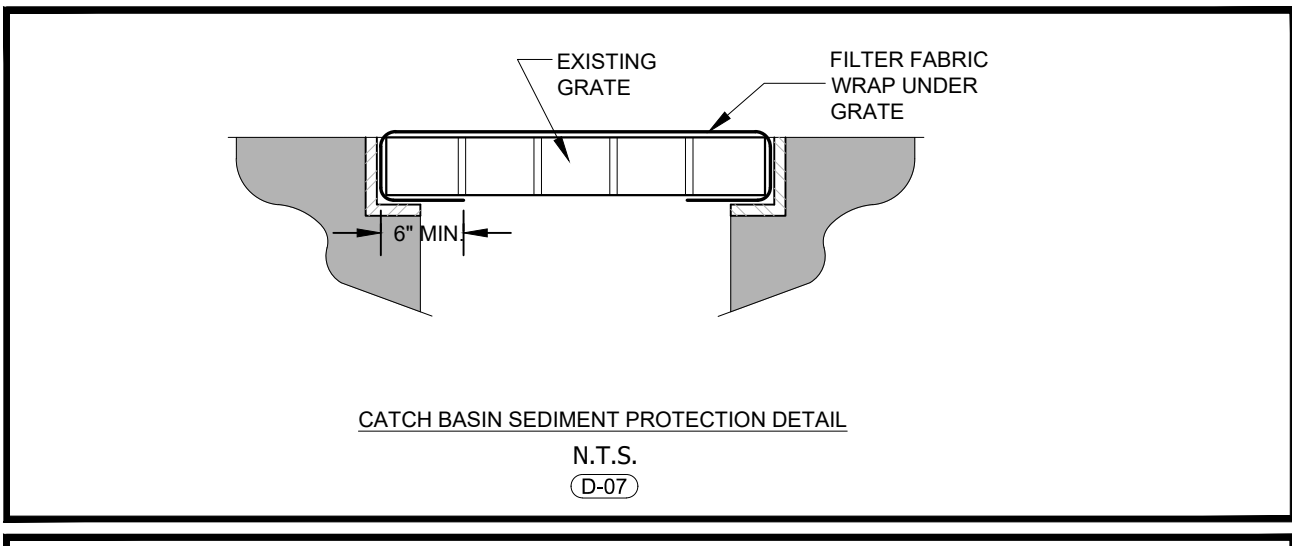
SPILL CONTROL PRACTICES: IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP.

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER ONSITE.



NOTES: 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. 2. SECURE ROLLED EROSION CONTROL PRODUCT TO GROUND AT EACH END. 3. ROLLS SHOULD BE INSPECTED AFTER EVERY SIGNIFICANT STORM EVENT TO CLEAR AND DISPOSE OF SEEDING AND DEBRIS. 4. USE 12" DIAMETER, 20' LONG WATTLE ROLLS FOR STANDARD CIRCULAR DRAINAGE STRUCTURES. PLACE THE ROLL AROUND THE STRUCTURE AND JOIN THE ENDS TOGETHER WITH HOG RINGS OR WIRE. USE 2"x2"x24" WOODEN WEDGES TO HOLD DOWN WATTLE ROLLS.

WASTE DISPOSAL: SANITARY WASTE: ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DEPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS.

EROSION AND SEDIMENT CONTROL INSPECTIONS AND MAINTENANCE PRACTICES: THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROL.

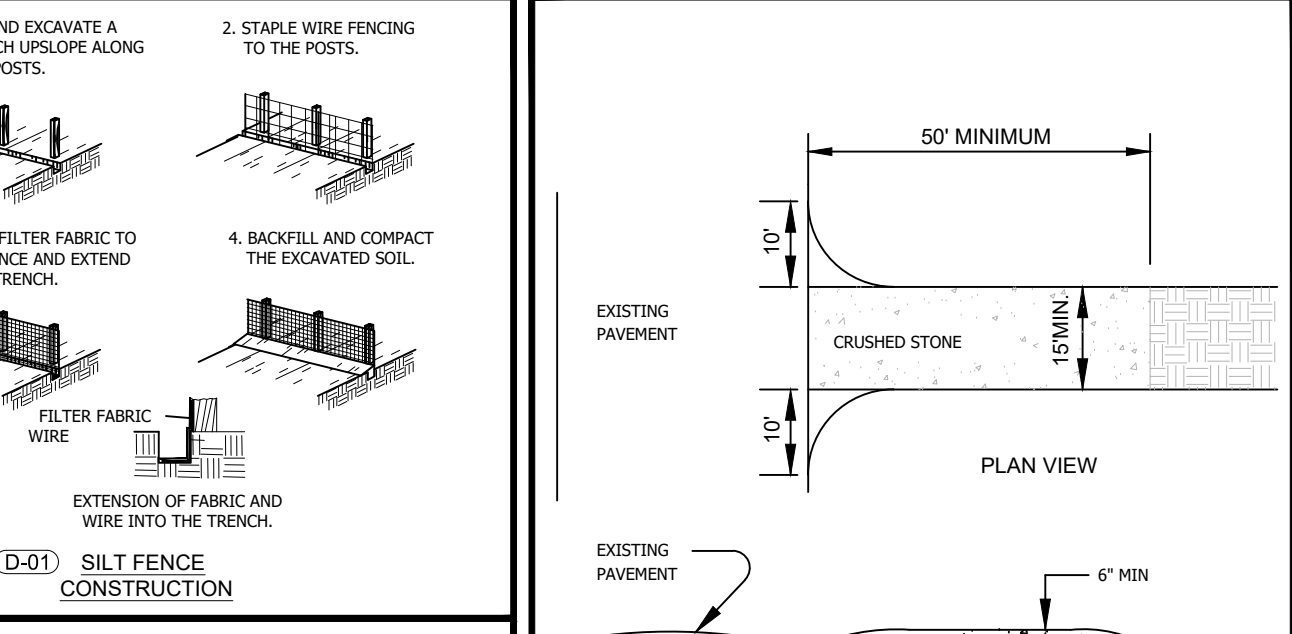
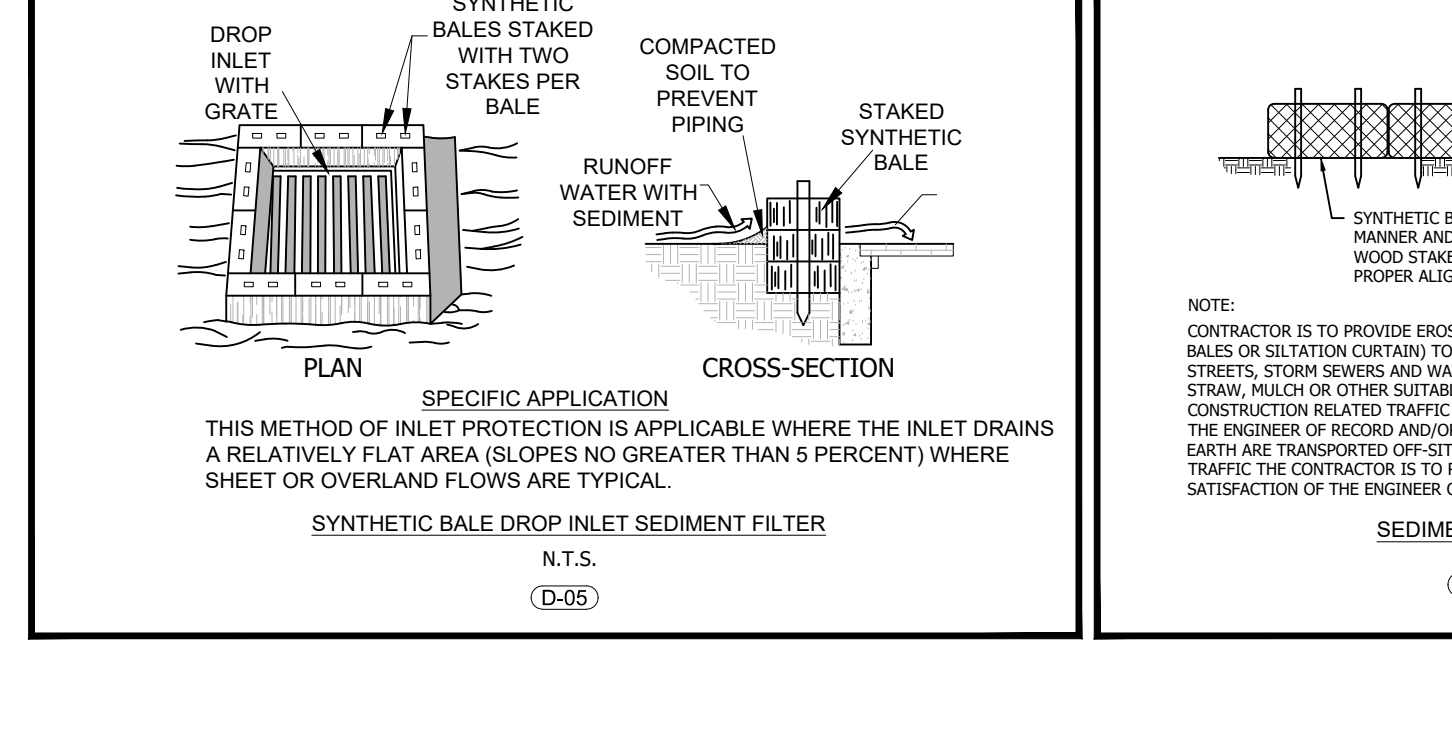
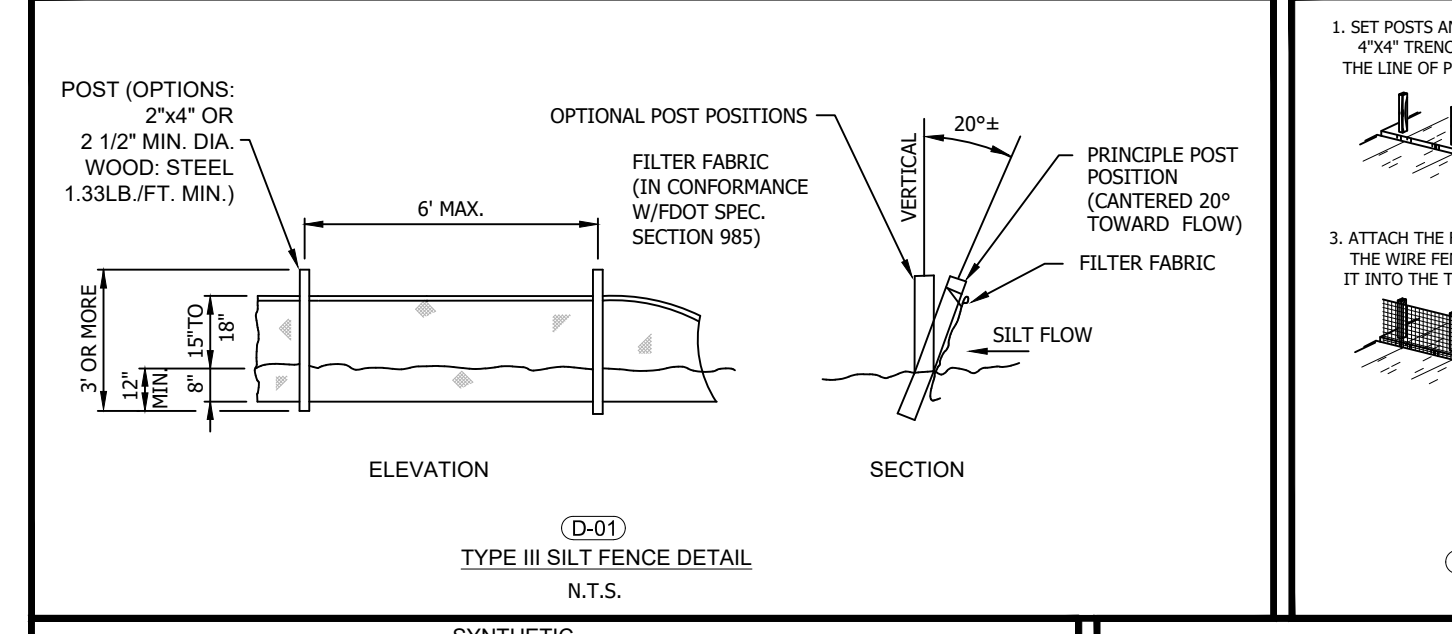
NON-STORM WATER DISCHARGES: IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD.

POLLUTION PREVENTION PLAN CERTIFICATION: I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION. IT IS DESIGNED IN ACCORDANCE WITH AN EXISTING SYSTEM AND QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION OBTAINED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE.

SIGNED: _____ DATE: _____ MATTHEW H. LAHTI, P.E. #17395 PROFESSIONAL ENGINEER GULFSTREAM DESIGN GROUP, LLC

CONTRACTOR'S CERTIFICATION: I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SMALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM LARGE AND SMALL PROJECTS AND FOR THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

Table with columns: SIGNATURE/DATE, COMPANY NAME/ADDRESS, RESPONSIBILITY.



TRACKING PAD NOTES: STONE SIZE - USE 2" CRUSHED STONE. FILTER CLOTH - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. SURFACE WATER - ALL SURFACE WATER FLOWING OR COVERED TOWARD CONSTRUCTION ENTRANCES SHOULD BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTAINABLE BARRIER SHOULD BE INSTALLED. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANING OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DUMPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

GENERAL NOTES: 1. THE OWNER SHALL OBTAIN THE FDP NPDES NOI PERMIT. 2. THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE CLEARING AND EROSION CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS.

SEQUENCE OF MAJOR EVENTS: THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS: 1. INSTALL STABILIZED CONSTRUCTION ENTRANCE. 2. INSTALL SILT FENCES AND SYNTHETIC BALES AS REQUIRED.

TIMING OF CONTROLS / MEASURES: AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND SYNTHETIC BALES, STABILIZED CONSTRUCTION ENTRANCE AND SEDIMENT BASIN WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE.

CONTROLS: IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE CLEARING AND EROSION CONTROL PLAN. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE.

EROSION AND SEDIMENT CONTROLS STABILIZATION PRACTICES: 1. SYNTHETIC BALE BARRIER: SYNTHETIC BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS.

TEMPORARY SEEDING: AREAS UNOUP UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET. TEMPORARY SEEDING: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 7 DAYS SHALL BE SEEDING WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING, OR SOO.

TEMPORARY REGRASSING: IF AFTER 7 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.

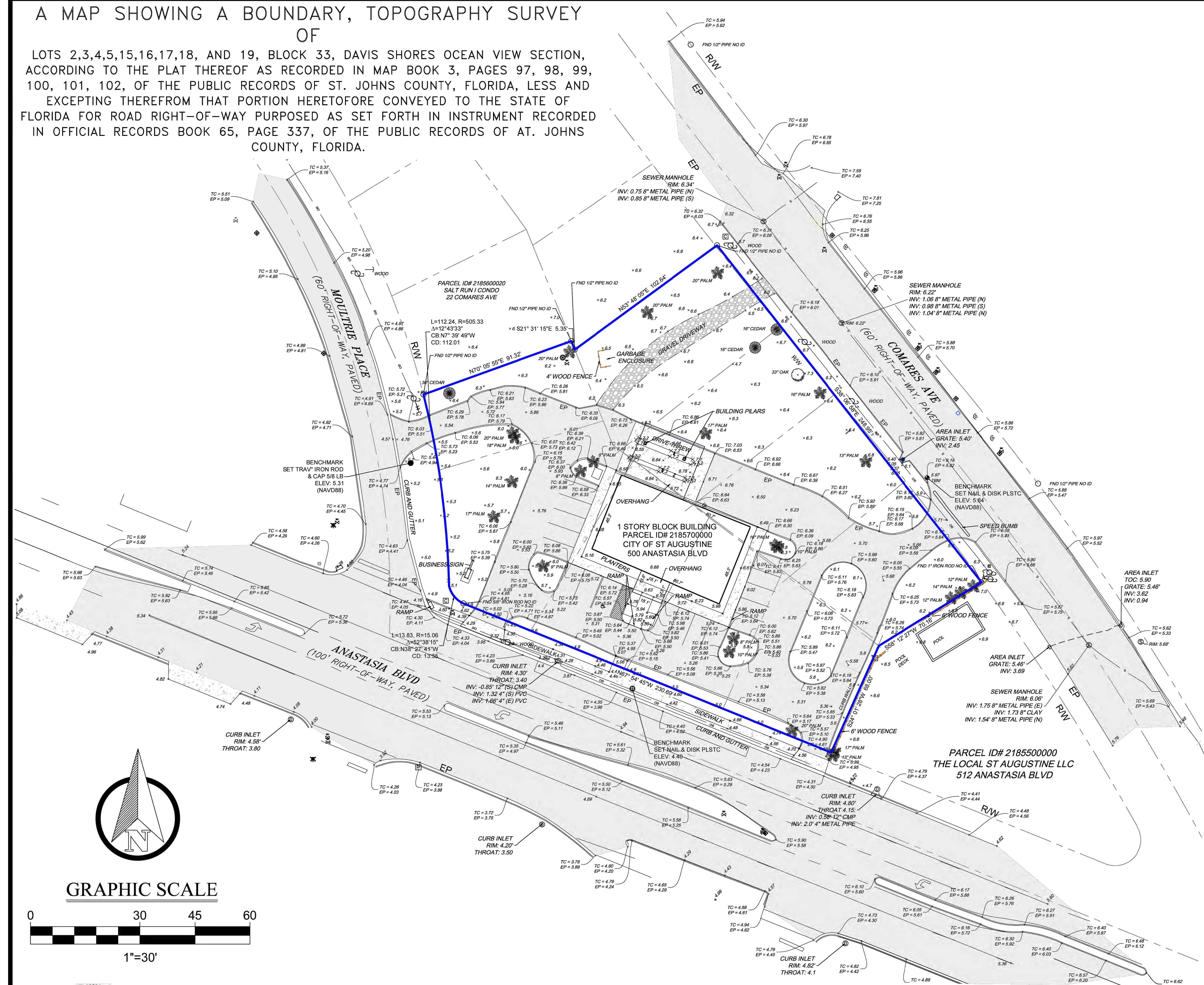
STRUCTURAL PRACTICES: 1. TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY AND IT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS.

WASTE DISPOSAL: WASTE MATERIALS: ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE: ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES DAY-TO-DAY OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

A MAP SHOWING A BOUNDARY, TOPOGRAPHY SURVEY
OF

LOTS 2,3,4,5,15,16,17,18, AND 19, BLOCK 33, DAVIS SHORES OCEAN VIEW SECTION,
ACCORDING TO THE PLAT THEREOF AS RECORDED IN MAP BOOK 3, PAGES 97, 98, 99,
100, 101, 102, OF THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA, LESS AND
EXCEPTING THEREFROM THAT PORTION HERETOFORE CONVEYED TO THE STATE OF
FLORIDA FOR ROAD RIGHT-OF-WAY PURPOSED AS SET FORTH IN INSTRUMENT RECORDED
IN OFFICIAL RECORDS BOOK 65, PAGE 337, OF THE PUBLIC RECORDS OF AT. JOHNS
COUNTY, FLORIDA.



GENERAL NOTES

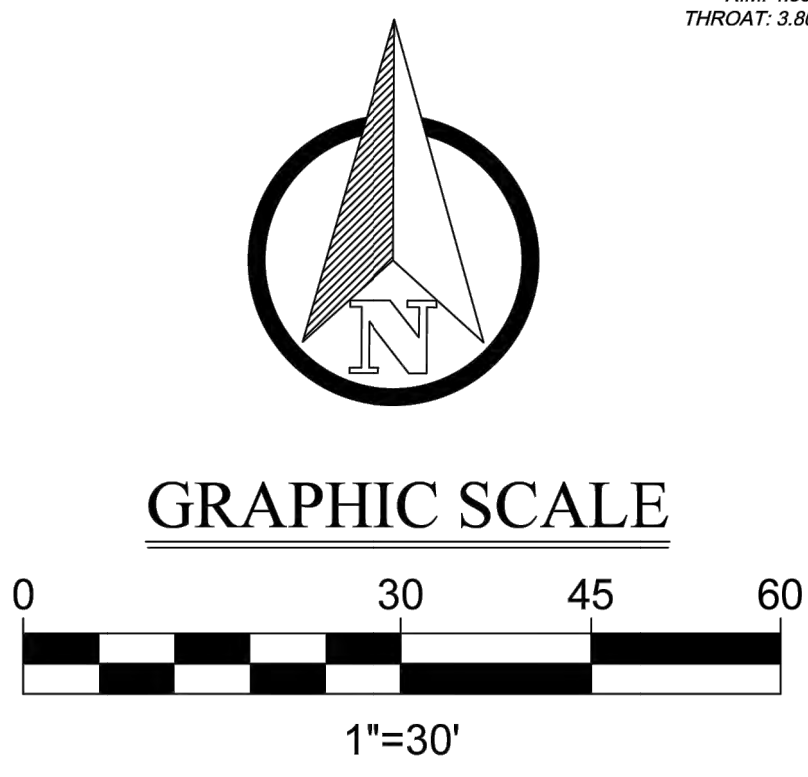
- THIS IS A BOUNDARY, TOPOGRAPHIC SURVEY
- THE FIELD SURVEY WAS PERFORMED ON 06/23/2025.
- THE SURVEY MAP OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAP OR MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THE BEARINGS AND COORDINATE SYSTEM UTILIZED HEREON IS RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT, AS DERIVED BY REAL-TIME KINEMATIC GLOBAL POSITIONING SYSTEM (RTK GPS) SURVEY METHODS USING THE PUBLIC FLORIDA DEPARTMENT OF TRANSPORTATION'S FLORIDA PERMANENT REFERENCE NETWORK (FFRN). THE CORRECTED POSITIONS COMPUTED BY THESE NETWORKS WERE VERIFIED THROUGH A REDUNDANCY OF MEASUREMENTS ON PRIMARY CONTROL ALONG WITH CONSISTENT HORIZONTAL CHECKS TO SECONDARY CONTROL. ALL DISTANCES SHOWN HEREON ARE IN U.S. SURVEY FEET.
- THE ACCURACY STANDARD USED FOR THE HORIZONTAL CONTROL FOR THIS SURVEY, AS CLASSIFIED IN THE STANDARDS OF PRACTICE (5J-17.051 FAC). THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 10,000 FEET.
- ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE AMERICAN VERTICAL DATUM OF 1988, AS ESTABLISHED BY ST JOHNS COUNTY UTILITY AUTHORITY, BENCHMARK #8528, A (60D NAIL IN WOOD POWER POLE) HAVING AN ELEVATION OF 5.84.
- THE SUBJECT PROPERTY LIES IN FLOOD ZONE "AE" (EL 7), ACCORDING TO THE FLOOD INSURANCE RATE MAP(FIRM), COMMUNITY-PANEL NUMBER 12109C0318J REVISED 12/7/2018. THE SAID FLOOD INSURANCE RATE MAP IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- ADJOINING PROPERTY INFORMATION WAS OBTAINED FROM ST JOHNS COUNTY PROPERTY APPRAISERS OFFICE.
- THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE SEARCH, AS A RESULT THERE MAY BE EASEMENTS OR OTHER RIGHTS, THAT A TITLE SEARCH MAY PROVIDE THAT EXIST ON THIS PROPERTY. THIS PROPERTY WAS NOT ABSTRACTED FOR DEEDS, DEED RESTRICTIONS, EASEMENTS OR RIGHTS OF WAY OF RECORD OR NOT OF RECORD.
- THIS SURVEY DOES NOT INFER OR DETERMINE OWNERSHIP.
- IN SOME INSTANCES IT IS NECESSARY TO EXAGGERATE THE LOCATION OF SOME FEATURES SUCH AS, BUT NOT LIMITED TO, FENCES, ADDITIONAL PROPERTY CORNERS FOUND, ETC. IN ORDER TO MORE CLEARLY REPRESENT THE AFOREMENTIONED ITEMS.
- UTILITIES OTHER THAN SHOWN WERE NOT FIELD LOCATED.
- THIS IS A SURFACE SURVEY ONLY. UNDERGROUND IMPROVEMENTS SUCH AS FOOTERS AND UTILITIES, IF ANY, WERE NOT LOCATED, EXCEPT AS SHOWN.

Symbol Legend

Symbol	Denotes
○	BENCHMARK
○	FOUND IRON ROD / PIPE AS NOTED
○	SET 5/8" IRON ROD "LB 7324"
■	4" X 4" CONCRETE MONUMENT
—	WOOD UTILITY POLE
⊗	GUY ANCHOR
⊗	MAILBOX
—	OVERHEAD UTILITY LINE
⊗	FIRE HYDRANT
⊗	LIGHT POLE
⊗	COMMUNICATION UTILITY
⊗	DRAINAGE MANHOLE
⊗	SEWER MANHOLE
⊗	GATE VALVE
○	SIGN
X	CHAIN OR WIRE FENCE LINE
□	WOOD OR VINYL FENCE LINE
⊗	WELL
⊗	WATER VALVE

Abbreviation Legend

Symbol	Denotes
FND	FOUND
PID #	PROPERTY IDENTIFICATION NUMBER
ELEV	ELEVATION
NO ID	NO IDENTIFICATION
PSM	PROFESSIONAL SURVEYOR & MAPPING
LB	LICENSED BUSINESS
EP	EDGE OF PAVEMENT
R/W	RIGHT OF WAY
ORB	OFFICIAL RECORDS
PG	PAGE
NAVD 88	NORTH AMERICAN VERTICAL DATUM 1988
N,S,E,W	STATE PLANE COORDINATE SYSTEM
IRCS	IRON ROD AND CAP SET



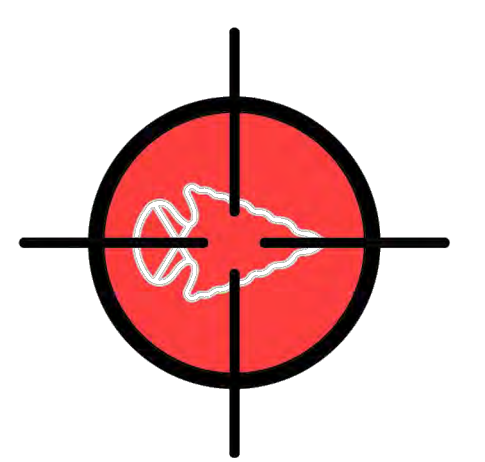
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Date: 2025.06.27 17:02:43 -04'00'
RUSSELL D. FLINT, Florida PSM LB # 8528
Not Valid Without the Digital Signature of A Florida Licensed Surveyor & Mapper

HATCH LEGEND

	ASPHALT PAVEMENT
	CONCRETE
	GRAVEL HATCH

REV.	DATE	WHO	DESCRIPTION

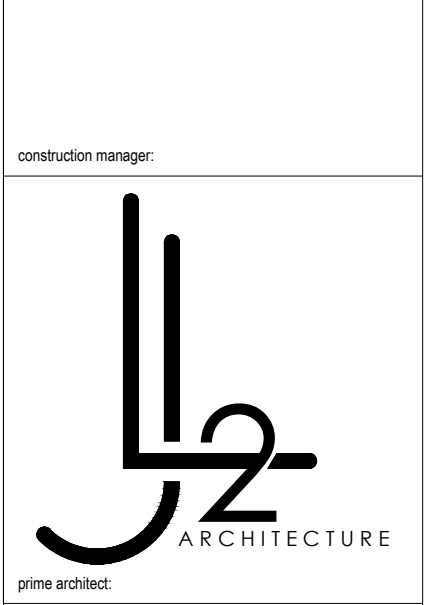
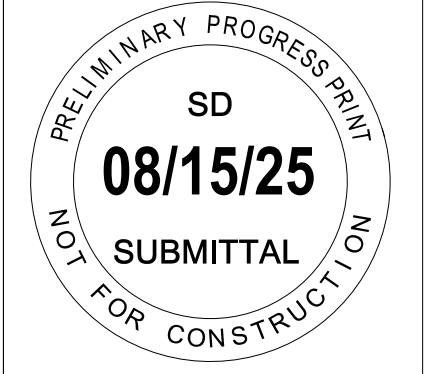
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MAP DATE:	05/14/2025
SURVEY DATE:	05/09/2025
CHECKED BY:	RDF
DRAWN BY:	AMW
FIELD WORK:	PAW/ CDF
FBK: N/A	PG: N/A



Flint Surveying & Mapping, Inc.
2692 U.S. HWY 1 SOUTH #208
ST AUGUSTINE, FL 32086
PHONE (904) 392-5948
LICENSED PROFESSIONAL
FLORIDA #7324

SHEET: 1
OF 1

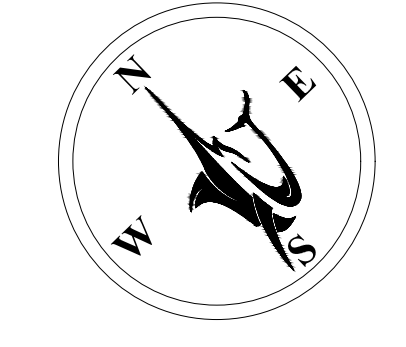
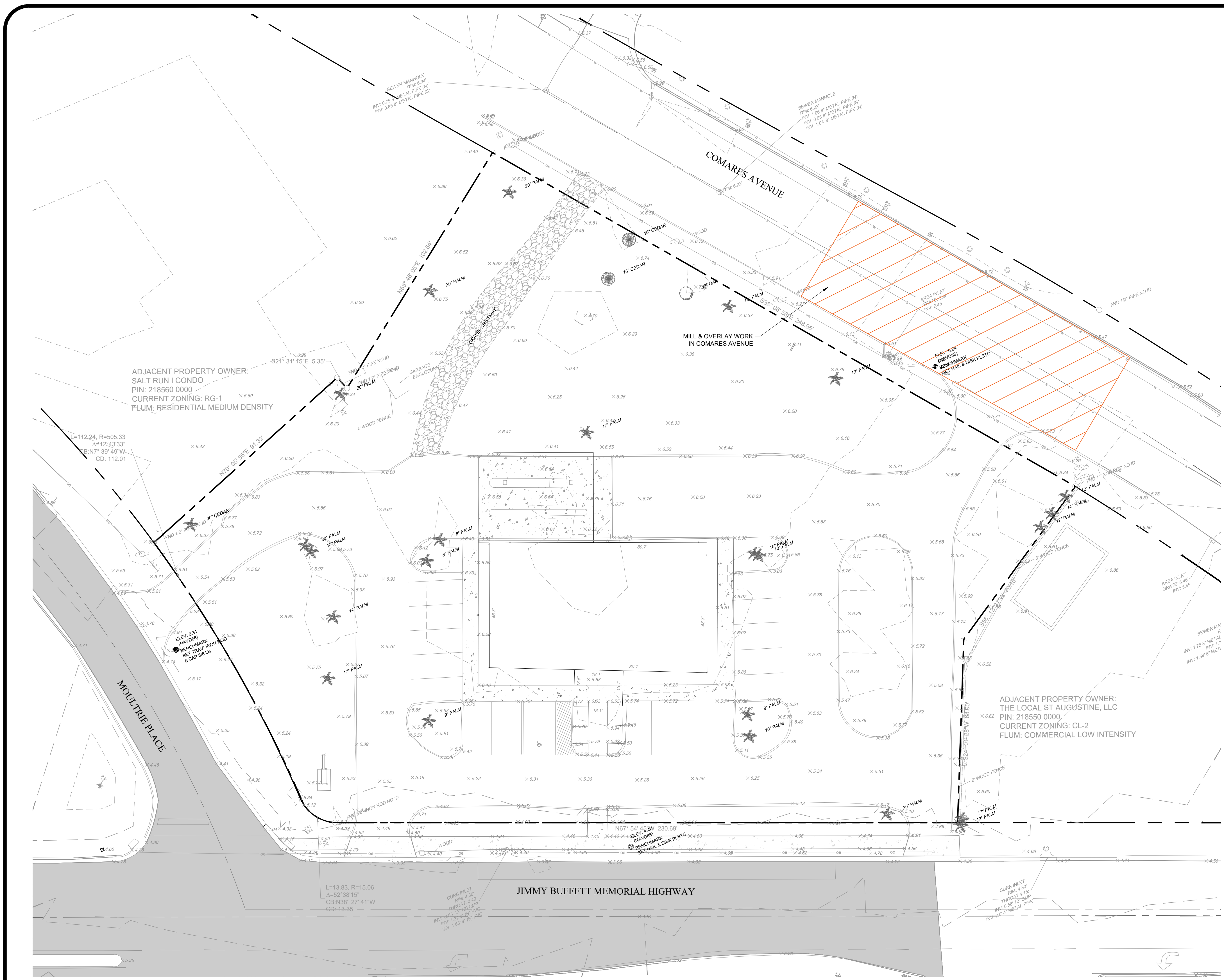
NO.	DESCRIPTION	DATE



PROJECT NO: 25-0567
PROJECT NAME: SCHEMATIC DESIGN
SHEET: 1 OF 1

DATE:	08/15/25
DESIGNED BY:	TVB
DRAWN BY:	TDP
SCALE:	1/16" = 1'-0"
SHEET NUMBER:	

C-5



LEGEND

EXISTING	—	PROPERTY LINE		EXISTING TO BE REMOVED
—	---	RIGHT-OF-WAY LINE		CONSTRUCTION ENTRANCE
- - -	- - -	CONTOUR MAJOR		MILL & OVERLAY
- - -	- - -	CONTOUR MINOR		TREE PROTECTION
- - -	- - -	BUILDING LINE		EXISTING TREE TO BE REMOVED
X 37.20	X 37.20	GRADE ELEVATION		TREES TO REMAIN
		ASPHALT PAVEMENT		

DEMOLITION KEY NOTES:

- D-02 EXISTING TO BE REMOVED
- D-03 EXISTING TO REMAIN
- D-04 EXISTING TO BE RELOCATED
- D-06 CONSTRUCTION ENTRANCE (SEE SHEET SWPPP FOR DETAIL)
- D-14 SAWCUT & REMOVE EXISTING PAVEMENT FOR UTILITY SERVICE CONNECTIONS. SEE SHEET 15 FOR EXACT LOCATION AND PAVEMENT REPAIR NOTES.
- D-16 NO SOFT GROUND OR UTILITY LOCATES HAVE BEEN PERFORMED. CONTRACTOR TO VERIFY PRIOR TO COMMENCEMENT OF CONSTRUCTION.

DEMOLITION AND CLEARING NOTES:

- ALL EXISTING WATER AND SEWER UTILITY SERVICES THAT WILL NO LONGER BE UTILIZED MUST BE PROPERLY ABANDONED BY CONTRACTOR BY CUTTING, CAPPING, AND REPAIRING SERVICE CONNECTIONS AT THE UTILITY MAIN LOCATIONS BY METHODS DIRECTED BY THE CITY/COUNTY INSPECTOR AND UNDER CITY/COUNTY INSPECTOR'S OBSERVATION. EXCAVATION MAY BE REQUIRED IN ORDER TO DETERMINE PROPER ABANDONMENT METHODS.
- ALL EXISTING WATER AND SEWER UTILITY SERVICES INTENDED TO BE REUSED MUST BE INVESTIGATED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS AND/OR REPLACEMENT TO RENEW EXISTING POTABLE WATER SERVICES, AND SEWER SERVICE LATERALS. ALL UTILITIES MUST BE RETURNED TO GOOD WORKING ORDER. ALL INVESTIGATIVE AND REPAIR/REPLACEMENT METHODS WILL BE AS DIRECTED BY THE CITY/COUNTY INSPECTOR. EXCAVATION AND OTHER PROCEDURES SUCH AS CLOSED-CIRCUIT TV MAY BE REQUIRED IN ORDER TO DETERMINE CONDITION.

VERTICAL DATUM NOTES:

- THESE ENGINEERING DRAWINGS HAVE BEEN DESIGNED USING THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) ESTABLISHED IN 1991 BY THE MINIMUM CONSTRAINT ADJUSTMENT FOR LEVELING OBSERVATIONS.

HORIZONTAL DATUM NOTES:

- THESE ENGINEERING DRAWINGS HAVE BEEN DESIGNED USING THE FLORIDA STATE PLAN COORDINATE SYSTEM, FLORIDA EAST (FPS ZONE 0901), NORTH AMERICAN DATUM 1983 (NAD83) - (2011) - (EPOCH:2010.0000).

REVISIONS

NO.	DATE	BY	DESCRIPTION

ENGINEERING PLANS FOR
COSA FIRE STATION #2
DEMOLITION PLAN
 CITY OF ST. AUGUSTINE, FLORIDA



FOR PERMIT REVIEW

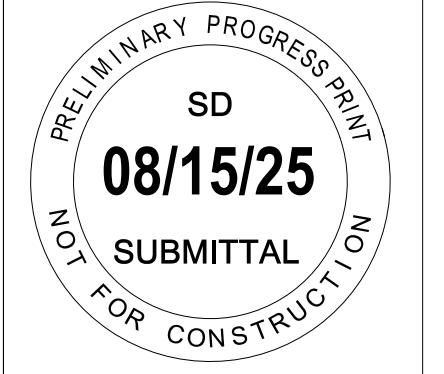
GULFSTREAM DESIGN GROUP, LLC
 2225 A1A S, SUITE A2
 ST. AUGUSTINE, FLORIDA 32080
 904.794.4211
 matt@gulfstreamdesign.com
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PROJECT NO:	24-212
ISSUE DATE:	8-15-2025
DRAFTED BY:	TDP
DESIGNED BY:	TVB
CHECKED BY:	MHL
NOT VALID WITHOUT SEAL	

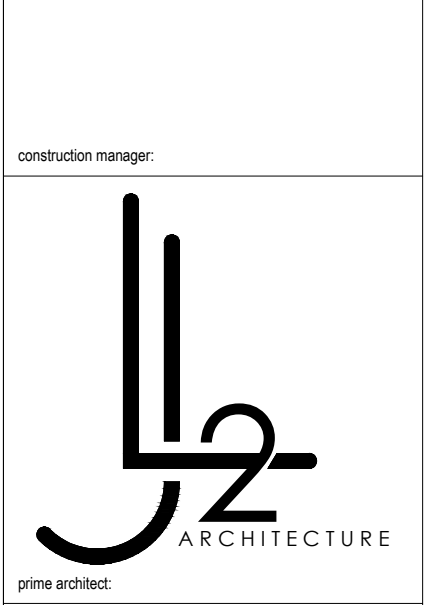
CITY OF ST. AUGUSTINE	08/15/25
500 ANASTASIA BLVD, ST AUGUSTINE, FL 32080	2024-P027
	TVB
	TDP
	1/16" = 1'-0"

sheet number:
C-6

NO.	DESCRIPTION	DATE

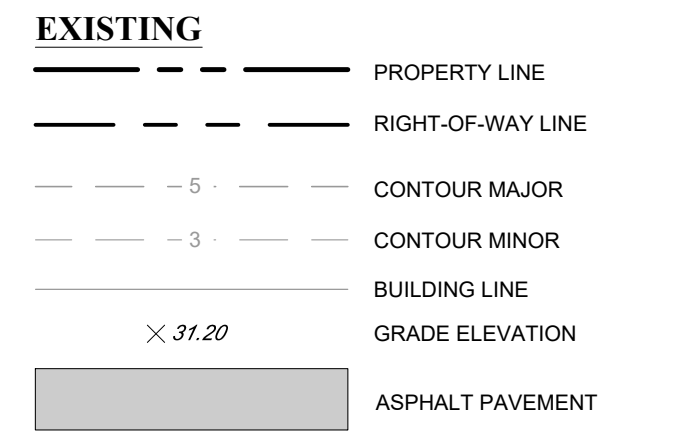
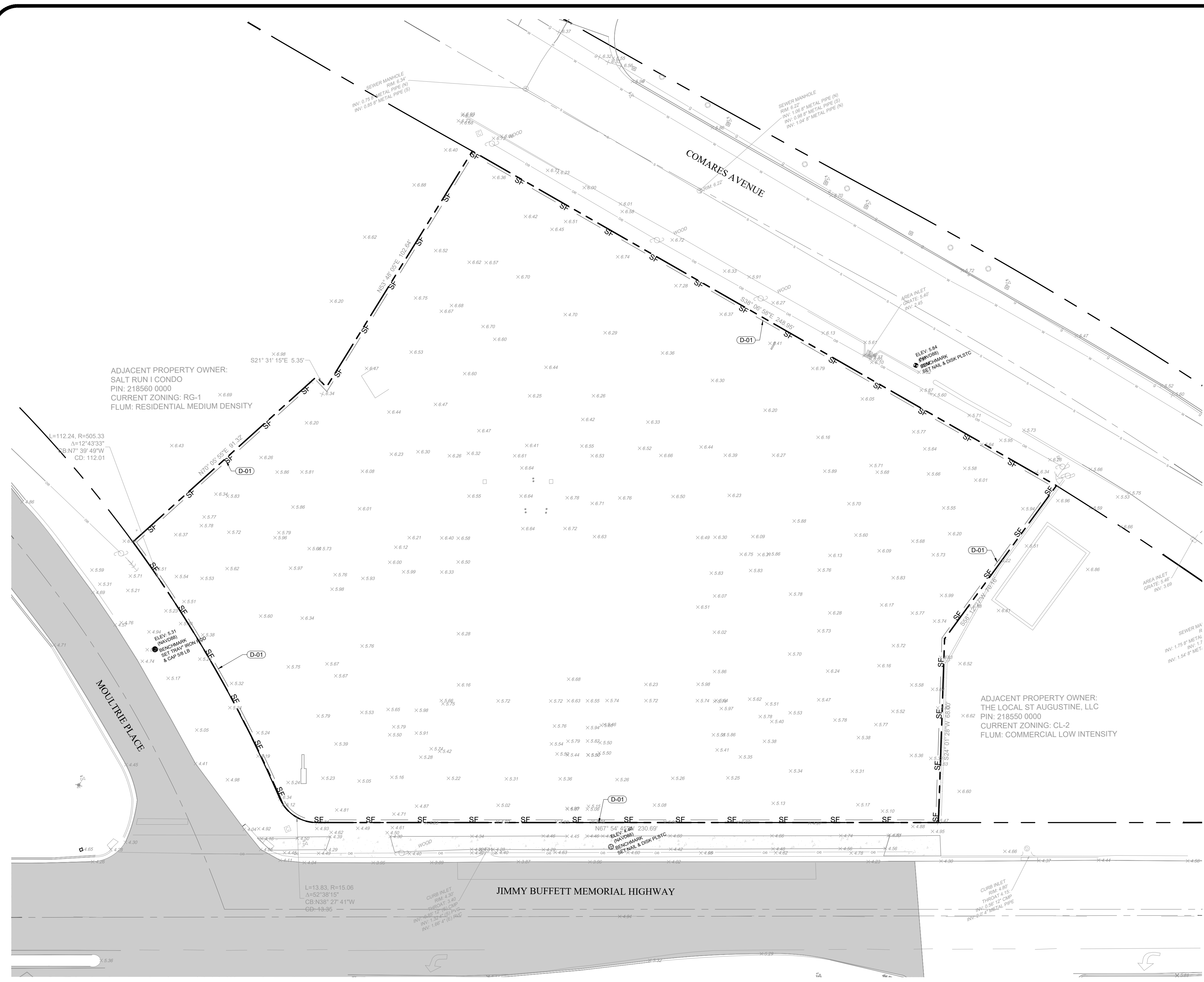


Name:
Professional Name:
Title:
Firm Name:



PROJECT NO: FIRE STATION NO. 2
 PROJECT NAME: SCHEMATIC DESIGN
 PROJECT ADDRESS: 500 ANASTASIA BLVD, ST AUGUSTINE, FL 32080
 SHEET NO:

DEMOLITION PLAN



DEMOLITION KEY NOTES:
D-01 TYPE III SILT FENCE (SEE SHEET SWPPP FOR DETAIL)
D-05 SYNTHETIC BALE DROP INLET SEDIMENT FILTER (SEE SHEET SWPPP FOR DETAIL)

EROSION CONTROL NOTES:

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL PROTECTIVE VEGETATION BARRICADES AND EROSION CONTROL STRUCTURES AND MEASURES IN PLACE PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK INCLUDING PRELIMINARY GRUBBING. THESE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, TEMPORARY CONSTRUCTION FENCES, FILTER FABRIC, SILT FENCES, AND FLOATING TURBIDITY BARRIERS. FURTHER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THE ENTIRE PROJECT. MAINTENANCE SHALL INCLUDE PERIODIC INSPECTION AND REMOVAL OF DEBRIS ABUTTING EROSION CONTROL DEVICES.
- PRIOR TO THE INSTALLATION OF ANY FILL MATERIALS ON SUBJECT SITE, SILT FENCES SHALL BE INSTALLED (1) ALONG SUBJECT SITE BOUNDARY AND PROPERTY LINES; (2) ADJACENT TO CONSERVATION EASEMENTS AND WETLANDS OR UPLAND BUFFERS; (3) ADJACENT TO NATURAL LANDSCAPE BUFFERS; (4) AROUND THE PERIMETER OF EXISTING STORMWATER TREATMENT FACILITIES; (5) AT ANY ADDITIONAL AREAS THAT THE COUNTY DEEMS NECESSARY TO BE PROTECTED FROM POTENTIAL EROSION IMPACTS DURING CONSTRUCTION. THESE CONDITIONS SHALL APPLY IN ALL INSTANCES WHERE FILL MATERIAL IS BEING INSTALLED WITHIN 25 FEET OF ANY OF THE AFOREMENTIONED LOCATIONS. WHILE THESE TERMS REPRESENT THE MINIMUM REQUIREMENTS, THE COUNTY RESERVES THE RIGHT TO IMPOSE ADDITIONAL PROTECTIVE MEASURES, AS DETERMINED DURING ACTUAL SITE VISITS CONDUCTED THROUGHOUT PROJECT CONSTRUCTION. THE SILT FENCE SHOWN ON THESE PLANS REPRESENTS THE ASSUMED PLACEMENT OF SILT FENCE UNDER NORMAL CIRCUMSTANCES AND IS NOT TO BE STAKED OUT SPECIFICALLY. CONTRACTOR MUST USE BEST JUDGEMENT IN THE FIELD AND INSTALL SILT FENCE ACCORDINGLY. CONTRACTOR SHALL MEET ALL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS AS DEFINED BY THE ENVIRONMENTAL PROTECTION AGENCY. (SEE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR BASIC OUTLINE OF THESE REQUIREMENTS).
- IF ANY MUCK MATERIAL IS DISCOVERED, IT SHALL BE REQUIRED TO BE REMOVED AND REPLACED WITH SUITABLE MATERIAL THAT IS PROPERLY BACKFILLED, COMPACTED AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD.
- ALL EXISTING CATCH BASINS ADJACENT TO THE SITE SHALL BE COVERED WITH FILTER FABRIC TO PREVENT SEDIMENTS FROM ENTERING THE SYSTEM. THE FILTER FABRIC SHALL BE INSPECTED AND MAINTAINED DAILY THROUGHOUT THE DURATION OF CONSTRUCTION.

VERTICAL DATUM NOTES:

- THESE ENGINEERING DRAWINGS HAVE BEEN DESIGNED USING THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) ESTABLISHED IN 1991 BY THE MINIMUM CONSTRAINT ADJUSTMENT FOR LEVELING OBSERVATIONS.

HORIZONTAL DATUM NOTES:

- THESE ENGINEERING DRAWINGS HAVE BEEN DESIGNED USING THE FLORIDA STATE PLAN COORDINATE SYSTEM, FLORIDA EAST (FIPS ZONE 0601), NORTH AMERICAN DATUM 1983 (NAD83) - (2011) - (EPOCH2010.0000).

NO.	DATE	BY	DESCRIPTION

REVISIONS

PRELIMINARY PROGRESS PLOT
08/15/25
 SUBMITTAL
 NOT FOR CONSTRUCTION

ENGINEERING PLANS
 FOR
COSA FIRE STATION #2
EROSION CONTROL PLAN
 CITY OF ST. AUGUSTINE, FLORIDA

Know what's below.
 Call before you dig.
FOR PERMIT REVIEW

GULFSTREAM
 DESIGN GROUP, LLC

2225 A1A S, SUITE A2
 ST. AUGUSTINE, FLORIDA 32080
 904.794.4211
 matt@gulfstreamdesign.com
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PROJECT NO: 24-212
 ISSUE DATE: 8-15-2025
 DRAFTED BY: TDP
 DESIGNED BY: TVB
 CHECKED BY: MHL
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7

NO.	DESCRIPTION	DATE

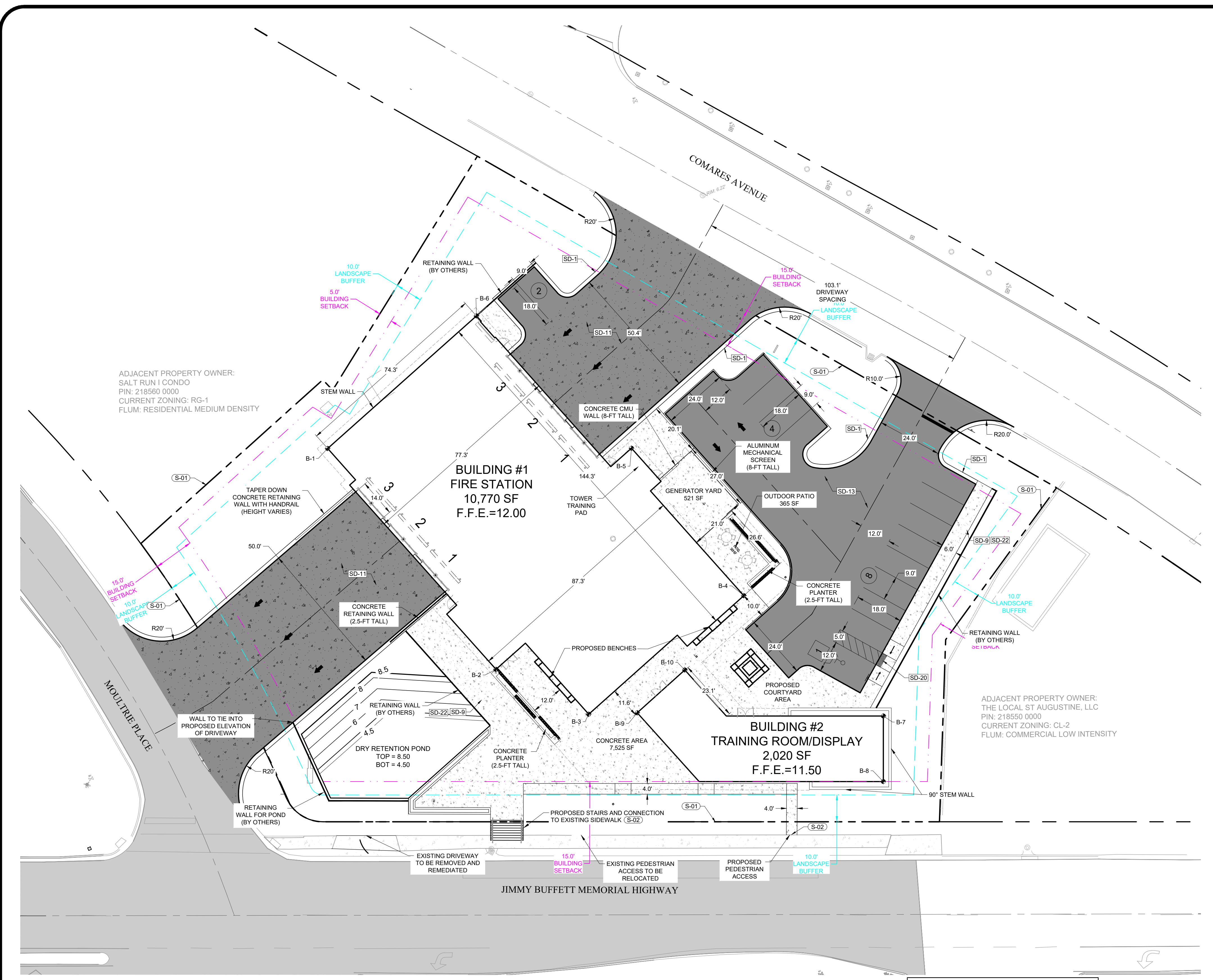
CITY OF ST. AUGUSTINE
 500 ANASTASIA BLVD., ST. AUGUSTINE, FL 32080

PROJECT NO: 24-212
 SHEET NO: SCHEMATIC DESIGN

PROJECT NAME: COSA FIRE STATION #2
 SHEET TITLE: EROSION CONTROL PLAN

DATE: 08/15/25
 SHEET NO: 2024-P027
 DESIGNED BY: TVB
 DRAWN BY: TDP
 SCALE: 1/16" = 1'-0"
 SHEET NUMBER:

C-7



GRAPHIC SCALE
0 10 20 30 40
1"=20'

LEGEND

EXISTING	PROPOSED
--- PROPERTY LINE	--- CURB & GUTTER
--- RW LINE	--- CENTER LINE
--- CENTER LINE	--- BUILDING OUTLINE
--- ASPHALT PAVEMENT	--- SETBACK DIMENSION
	--- BUFFER DIMENSION
	# STANDARD PARKING COUNT
	# ADA PARKING COUNT
	HEAVY DUTY ASPHALT PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK

- GENERAL SITE NOTES:**
- ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS OF THE CITY OF ST. AUGUSTINE LAND DEVELOPMENT CODE.
 - ALL DIMENSIONS ARE SHOWN TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - BUILDING DIMENSIONS FOR REFERENCE ONLY. SEE ARCHITECTURAL PLANS BY, FOR EXACT DIMENSIONS. CIVIL PLANS REFERENCE EXTERIOR WALL DIMENSIONS. CONTRACTOR TO VERIFY FOUNDATION AND ROOF OVERHANG.
 - ALL HANDICAP RAMPS SHALL MEET CURRENT ADA REQUIREMENTS AND INCLUDE DETECTABLE WARNING PER CITY OF ST. AUGUSTINE REQUIREMENTS. CONTRACTOR SHALL STAKE EACH STAGE OF WORK, HORIZONTAL AND VERTICAL, IN ADVANCE OF CONSTRUCTION TO ENSURE THAT NO CONFLICTS EXIST. CONTRACTOR SHALL NOTIFY GULFSTREAM DESIGN GROUP, LLC IMMEDIATELY IF CONDITIONS DIFFER IN THE FIELD.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS AND/OR EXISTING EASEMENTS BEFORE BEGINNING CONSTRUCTION.
 - THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER, ANY EXTRA WORK REQUESTED BY ANY REGULATORY AGENCY THAT IS NOT SHOWN ON THE PLANS. THIS EXTRA WORK MUST BE APPROVED BY THE ENGINEER AND THE OWNER BEFORE THE CONTRACTOR PROCEEDS WITH THE EXTRA WORK.
 - ALL ELEMENTS THAT ARE PLACES OF PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES ON THE SITE (INCLUDING ACCESSIBLE ROUTES AND PARKING) SHALL MEET THE REQUIREMENTS OF "FLORIDA AMERICANS WITH DISABILITIES ACCESSIBILITY IMPLEMENTATION ACT," ADA STANDARDS FOR ACCESSIBLE DESIGN, FLORIDA BUILDING CODE - ACCESSIBILITY AND THE FAIR HOUSING ACT, WHEN APPLICABLE.
 - ALL OUTSIDE STORAGE YARDS MUST BE FENCED PER CITY OF ST. AUGUSTINE REQUIREMENTS.
 - PRIOR TO TRANSFER OF PROPERTY OWNERSHIP (REAL LAND OR CHANGE IN OWNERSHIP) FOR ANY PORTIONS OF THE APPROVED OR CONSTRUCTED BUILDING, OWNERSHIP DOCUMENTS MUST BE SUBMITTED TO THE BUILDING DEPARTMENT IN ORDER TO MAKE SURE OWNERSHIP DOES NOT VIOLATE BUILDING CODE.
 - ALL SIGNS SHALL MEET THE REQUIREMENTS OF CITY OF ST. AUGUSTINE LDC.
 - APPROXIMATE LOCATION OF PROJECT SIGNAGE SHOWN HEREON.
 - NO DUMPER REQUIRED PER CITY OF ST. AUGUSTINE.
 - LIGHT FIXTURES SHALL MEET THE DSEC REQUIREMENTS THAT BULBS ARE NOT VISIBLE AND HAVE A TEMPERATURE OF 2700K-3000K.

- SITE DETAILS** SD-XX
- SD-1 TYPE D CURB
 - SD-4 CONCRETE SIDEWALK
 - SD-11 HEAVY DUTY CONCRETE PAVEMENT SECTION
 - SD-13 HEAVY DUTY ASPHALT PAVEMENT SECTION
 - SD-20 WHEEL CHAIR RAMP IN SIDEWALK
 - SD-22 THICKENED EDGE SIDEWALK

SITE KEY NOTES: S-XX

- S-1 PROPERTY LINE
- S-2 CONNECT TO EXISTING SIDEWALK

SITE DATA TABLE

GROSS PROPERTY AREA:	55,321 SF	1.27 AC
BUILDING FOOTPRINT AREA:	12,790 SF	0.29 AC
PARKING AND DRIVEWAYS:	17,467 SF	0.40 AC
SIDEWALK AREA:	7,525 SF	0.17 AC
TOTAL IMPERVIOUS AREA:	37,782 SF	0.87 AC

PROPERTY ID NO. 218570 0000
ZONING: N/A
FLUM: N/A
FEMA FIRM PANEL NUMBER 12109C0314

	MAXIMUM	PROPOSED
IMPERVIOUS SURFACE AREA RATIO:	75.00%	68.30%
FLOOR AREA RATIO:	75.00%	23.12%
BUILDING HEIGHT:	30'	430'

BUILDING POINT TABLE

POINT #	NORTHING	EASTING
B-1	2020328.2205	562719.5204
B-2	2020228.2431	562746.7114
B-3	2020199.7422	562772.4791
B-4	2020218.9478	562842.7127
B-5	2020285.7012	562824.5711
B-6	2020353.1961	562789.5599
B-7	2020157.7992	562874.0557
B-8	2020135.1259	562864.8555
B-9	2020193.4198	562789.4343
B-10	2020201.5589	562811.9013

PARKING CALCULATIONS

USE	PROPOSED BUILDING AREA (SF)	PROVIDED PARKING SPACES
FIRE STATION & TRAINING ROOM	12,790 SF	14
ADA PARKING SPACES		1
TOTAL PARKING SPACES		15

BUFFER & SETBACK TABLE

BUFFER & SETBACKS	MINIMUM	PROPOSED
FRONT BUILDING SETBACK (W/E)	15'	15'
SIDE BUILDING SETBACK (N/S)	5'	5'
FRONT LANDSCAPE BUFFER (W/E)	10'	10'
SIDE LANDSCAPE BUFFER (N/S)	10'	10'

REVISIONS

NO.	DATE	BY	DESCRIPTION
1	11-25-25	TVP	PERE COISA COMMENTS

ENGINEERING PLANS FOR COSA FIRE STATION #2 GEOMETRY CONTROL POINTS
CITY OF ST. AUGUSTINE, FLORIDA

FOR PERMIT REVIEW

GULFSTREAM DESIGN GROUP, LLC

2225 A1A S, SUITE A2
ST. AUGUSTINE, FLORIDA 32080
904.794.4231
mash@gulfstreamdesign.com
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PROJECT NO. 24-212
ISSUE DATE: 8-15-2025
DRAFTED BY: TDP
DESIGNED BY: TVB
CHECKED BY: MHC
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8

DATE: _____

DESCRIPTION: _____

NO. _____

PRELIMINARY PROGRESS PRINT
SD
08/15/25
SUBMITTAL
NOT FOR CONSTRUCTION

client: _____

creation manager: _____

prime architect: _____

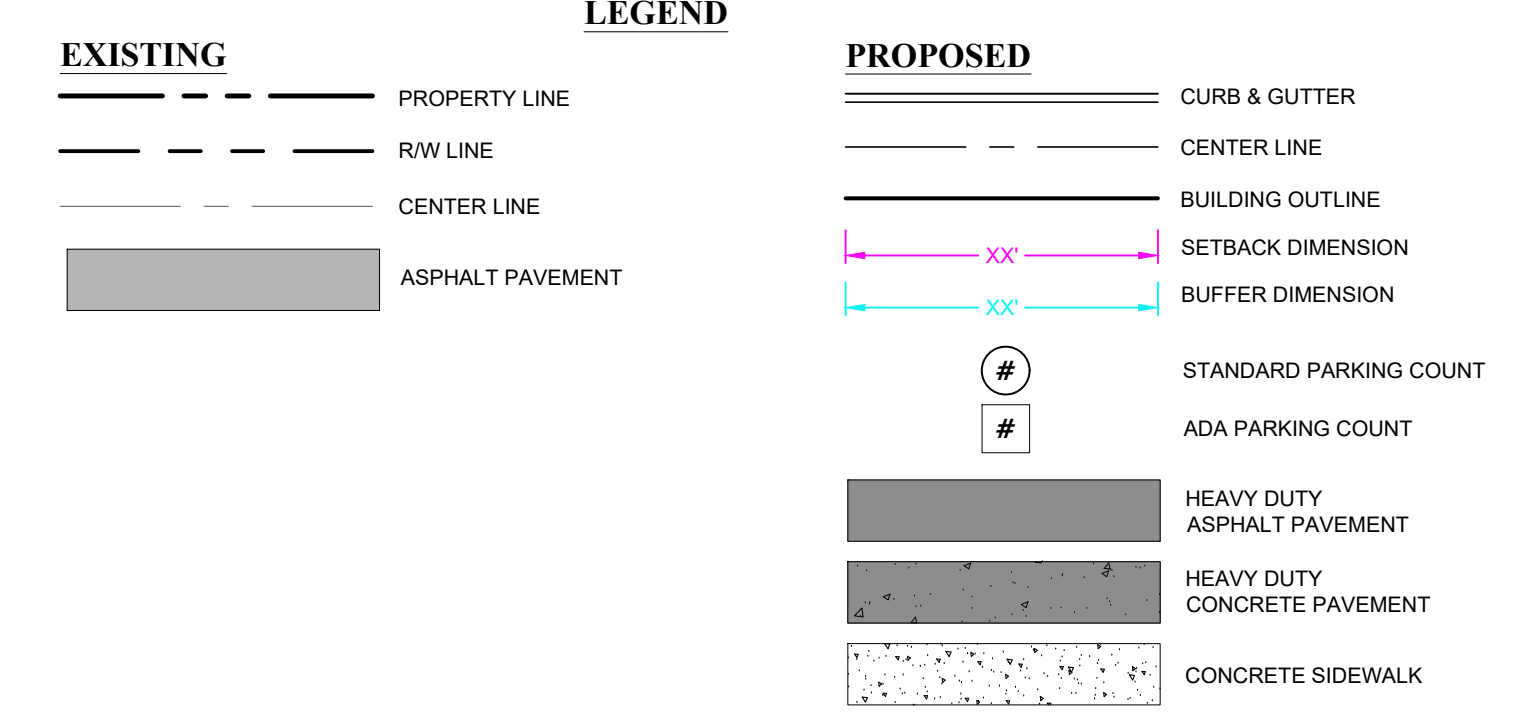
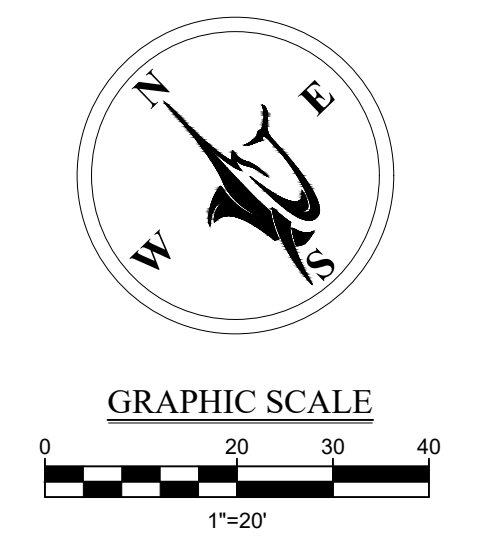
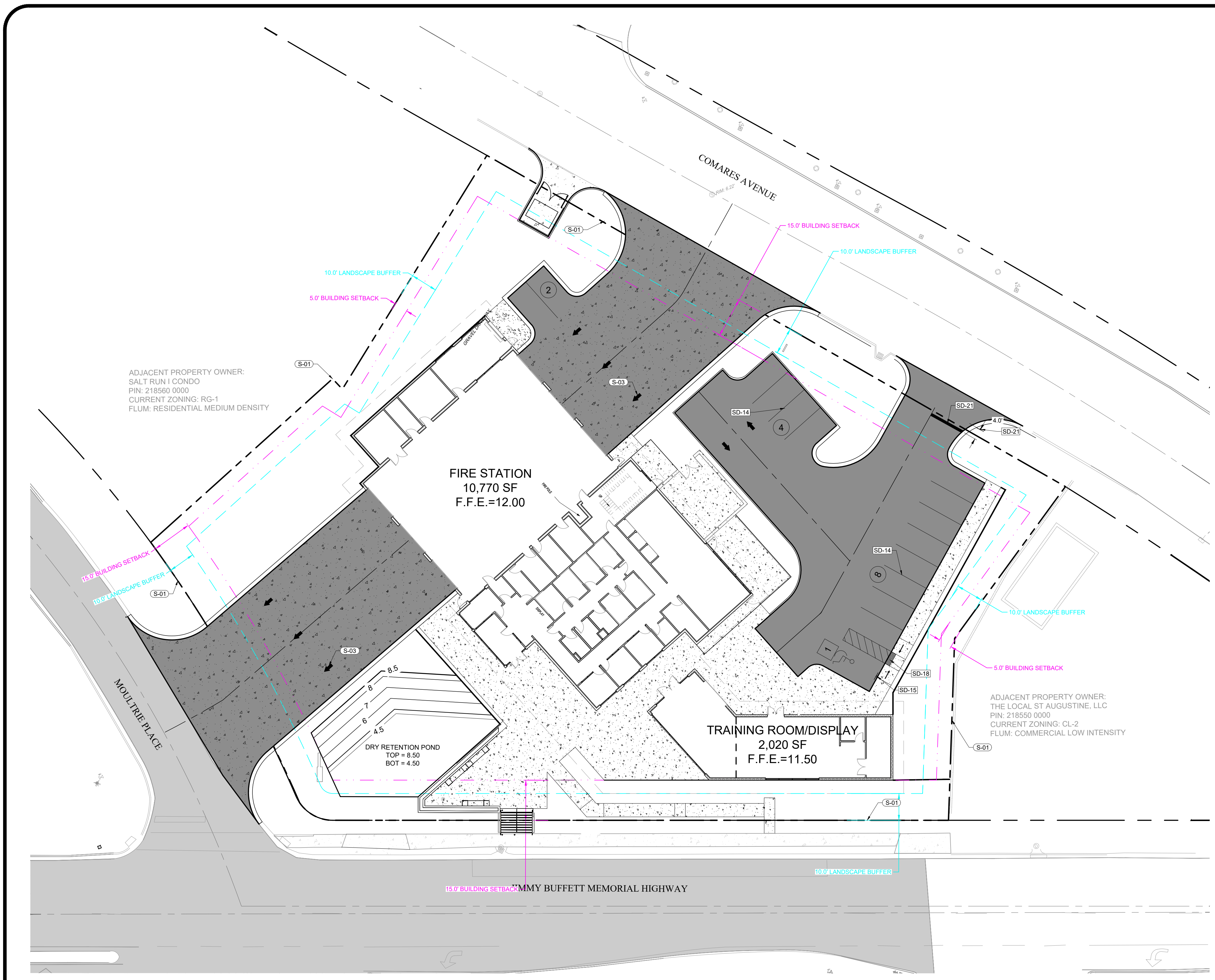
contractor: _____

PROJECT NO. 24-212
FIRE STATION NO. 2
SCHEMATIC DESIGN
500 ANASTASIA BLVD, ST AUGUSTINE, FL 32080

CITY OF ST. AUGUSTINE

PROJECT NO. 2024-P027
DESIGNED BY: TVB
DRAWN BY: TDP
SCALE: 1/16" = 1'-0"
SHEET NUMBER: _____

C-8



- TRAFFIC, STRIPING, AND SIGNAGE NOTES**
1. ALL SIGNAGE WITHIN THIS DEVELOPMENT SHALL FOLLOW MUTCD STANDARDS
 2. DETECTABLE WARNING AND SIDEWALK CURB RAMPS SHALL FOLLOW IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX S22-002.
 3. OWNER TO ISSUE FINAL APPROVAL OF CONTRACTORS STRIPING PLAN IN WRITING TO CONTRACTOR PRIOR TO MOBILIZATION OF STRIPING CREW.

- FDOT GENERAL NOTES**
1. ALL WORK PERFORMED WITHIN THE DEPARTMENT'S RIGHT-OF-WAY SHALL CONFORM TO THE MOST CURRENT EDITION OF THE FOLLOWING PUBLICATIONS:
 - A. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (ENGLISH)
 - B. FDOT STANDARDS INDEX (ENGLISH)
 - C. FDOT PLANS PREP MANUAL
 - D. FDOT FLEXIBLE PAVEMENT DESIGN MANUAL FOR NEW CONSTRUCTION AND PAVEMENT REHABILITATION
 - E. (SHOULD A CONFLICT ARISE BETWEEN THE DETAILS SHOWN IN THE PLANS AND THE DEPARTMENT OF TRANSPORTATION STANDARDS THE ENGINEER/APPLICANT SHALL IMMEDIATELY CONFER WITH THE DEPARTMENT ENGINEER IN ORDER TO RESOLVE THE DISCREPANCY.)
 2. ALL TRAFFIC STRIPING AND MARKINGS ARE TO BE LEAD-FREE, NON SOLVENT BASED THERMOPLASTIC.
 3. REMOVAL OF EXISTING STRIPING SHALL BE ACCOMPLISHED USING THE "HYDRO-BLAST" METHOD. IF THIS PROCESS DAMAGES/SCARS PAVEMENT, THEN THE PAVEMENT SHALL BE MILLED AND RESURFACED PER FDOT STANDARDS.
 4. ALL DIRECTIONAL ARROWS SHALL BE PLACED AS ONE SEGMENT.
 5. ALIGNMENT OF PROPOSED PAVEMENT MARKINGS SHALL MATCH EXISTING PAVEMENT MARKINGS AT PAVEMENT MARKING LIMITS OF CONSTRUCTION.
 6. ALL CURBS AND GUTTER AND SIDEWALK WILL BE REMOVED AND REPLACED JOINT TO JOINT.
 7. ALL BROKEN/CRACKED DRIVEWAYS MUST BE FULLY REMOVED AND REPLACED.
 8. ALL DISTURBED AREA WITHIN THE DEPARTMENT'S RIGHT-OF-WAY WILL BE RESTORED TO ORIGINAL OR BETTER CONDITION BY GRASSING AND SODDING THE AREA DISTURBED (BERMUDA IN RURAL, CENTIPEDE IN UTILITY STRIPS).
 9. BURNING OF ANY MATERIAL OR DEBRIS IS PROHIBITED IN FDOT RIGHT-OF-WAY.
 10. ALL LANES MUST BE OPENED FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT.

- SITE DETAILS** (SD-XX)
- SD-14 PARKING PAINT STRIPING
 - SD-15 ACCESSIBLE PARKING SIGN
 - SD-16 STOP BAR
 - SD-18 DETECTABLE WARNING DETAIL
 - SD-21 STOP SIGN

- SITE KEY NOTES:** (S-XX)
- S-01 PROPERTY LINE
 - S-03 TRAFFIC ARROW PER FDOT STANDARD INDEX 711-001

NO.	DATE	BY	DESCRIPTION

ENGINEERING PLANS FOR
COSA FIRE STATION #2
STRIPING & SIGNAGE PLAN
 CITY OF ST. AUGUSTINE, FLORIDA



FOR PERMIT REVIEW



PROJECT NO: 24-212
 ISSUE DATE: 8-15-2025
 DRAFTED BY: TDP
 DESIGNED BY: TVB
 CHECKED BY: MHL
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NO.	DESCRIPTION	DATE

PRELIMINARY PROGRESS PRINT
 SD
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 SUBMITTAL
 NOT FOR CONSTRUCTION

NAME: _____
 PROFESSIONAL LICENSE NO.: _____

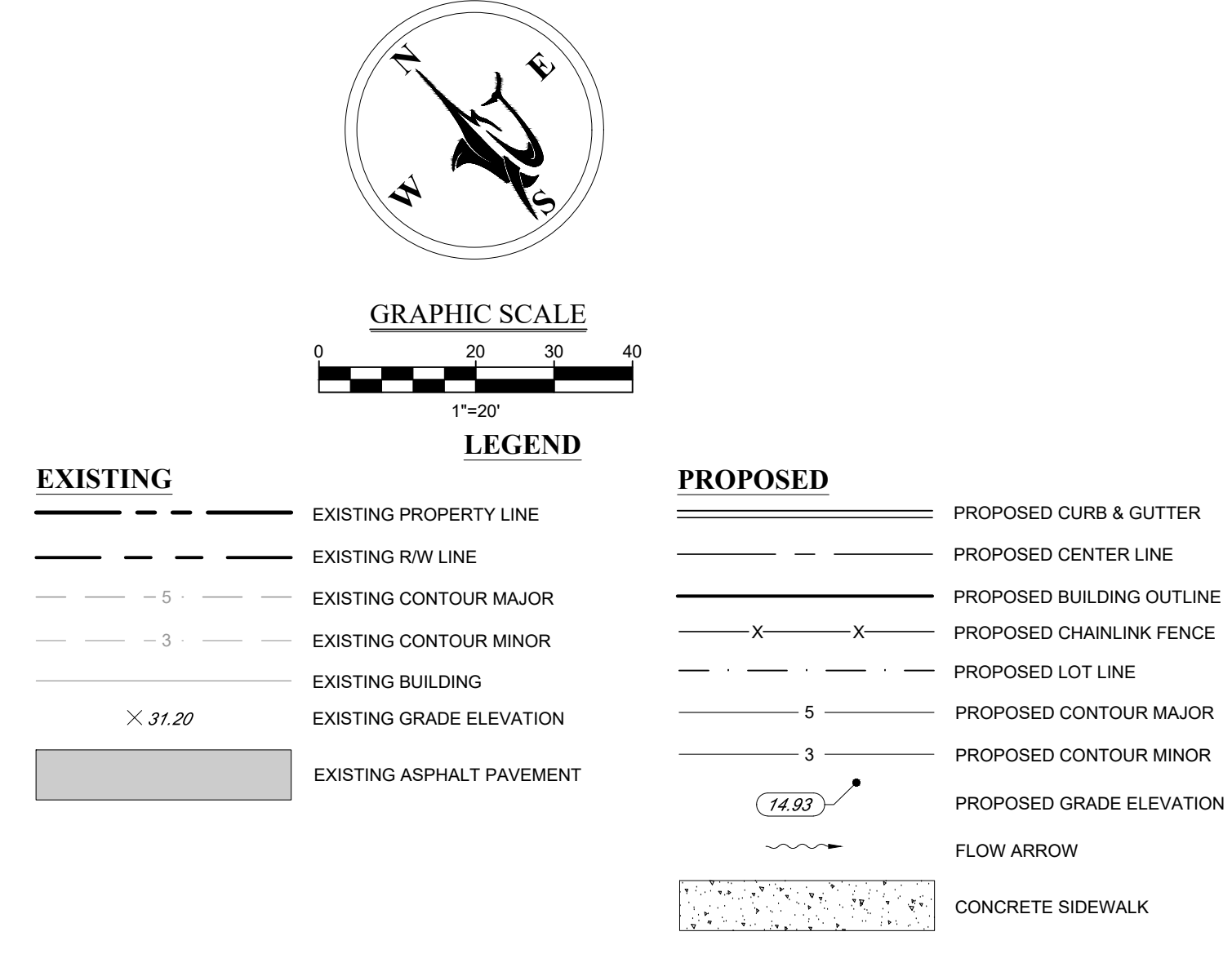
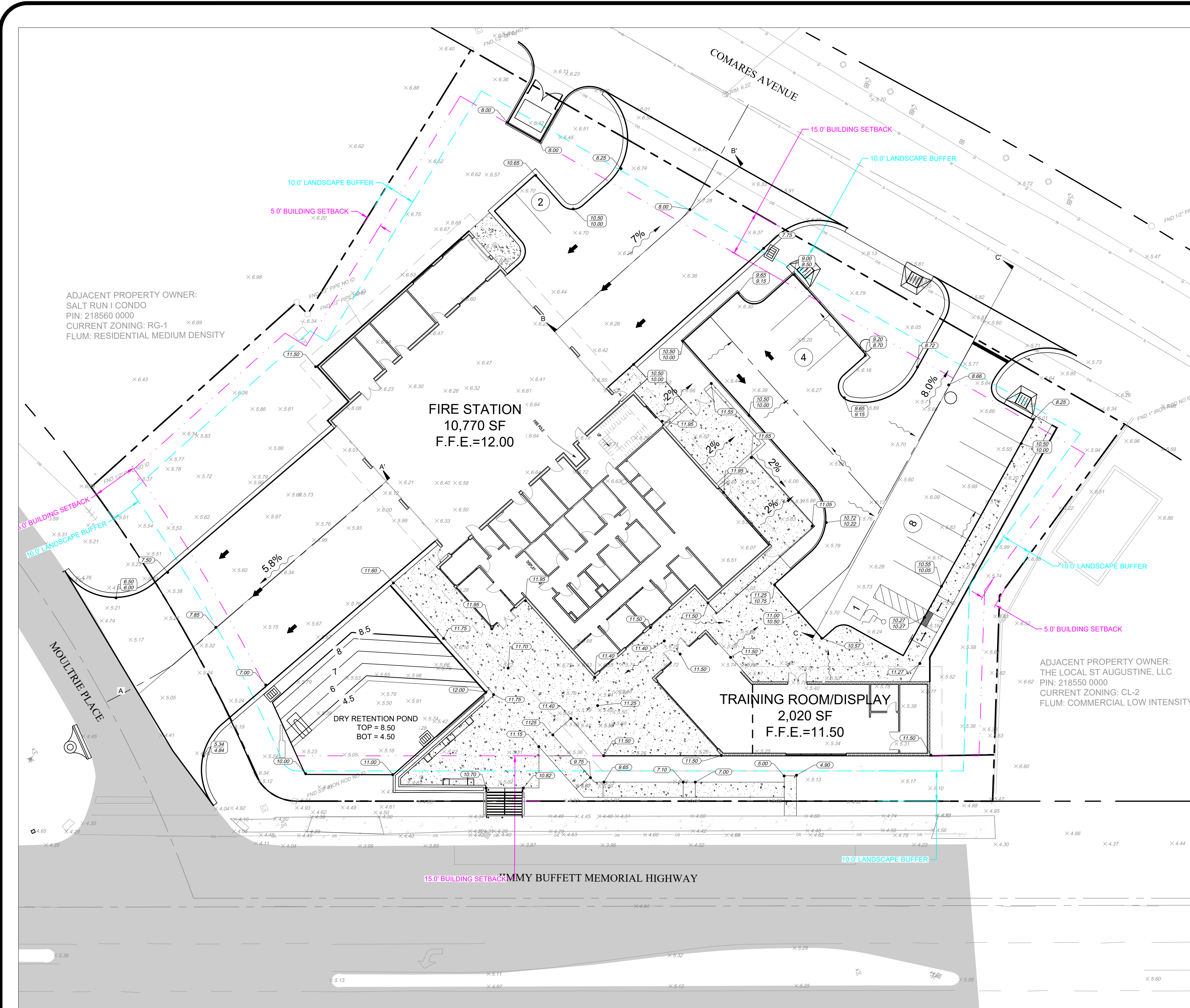
CONSTRUCTION MANAGER: _____

CONSULTANT: _____

PROJECT NO: 24-212
 PROJECT NAME: SCHEMATIC DESIGN
 SHEET NO: C-9

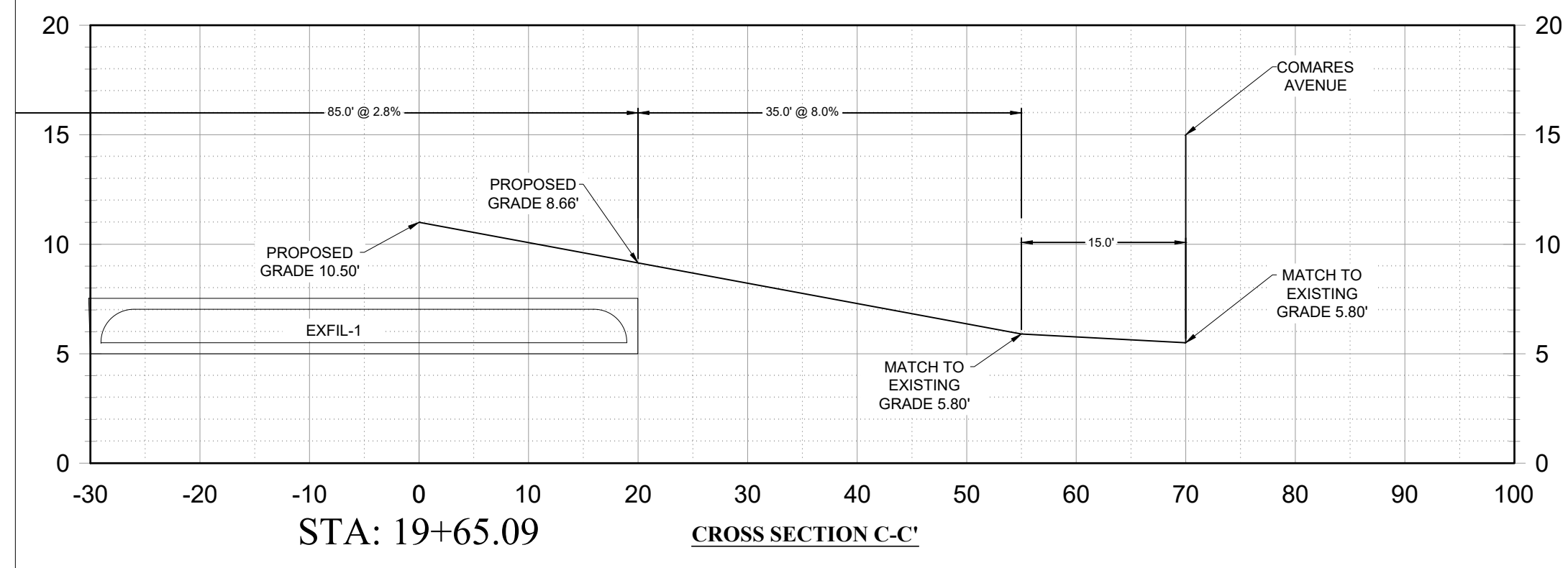
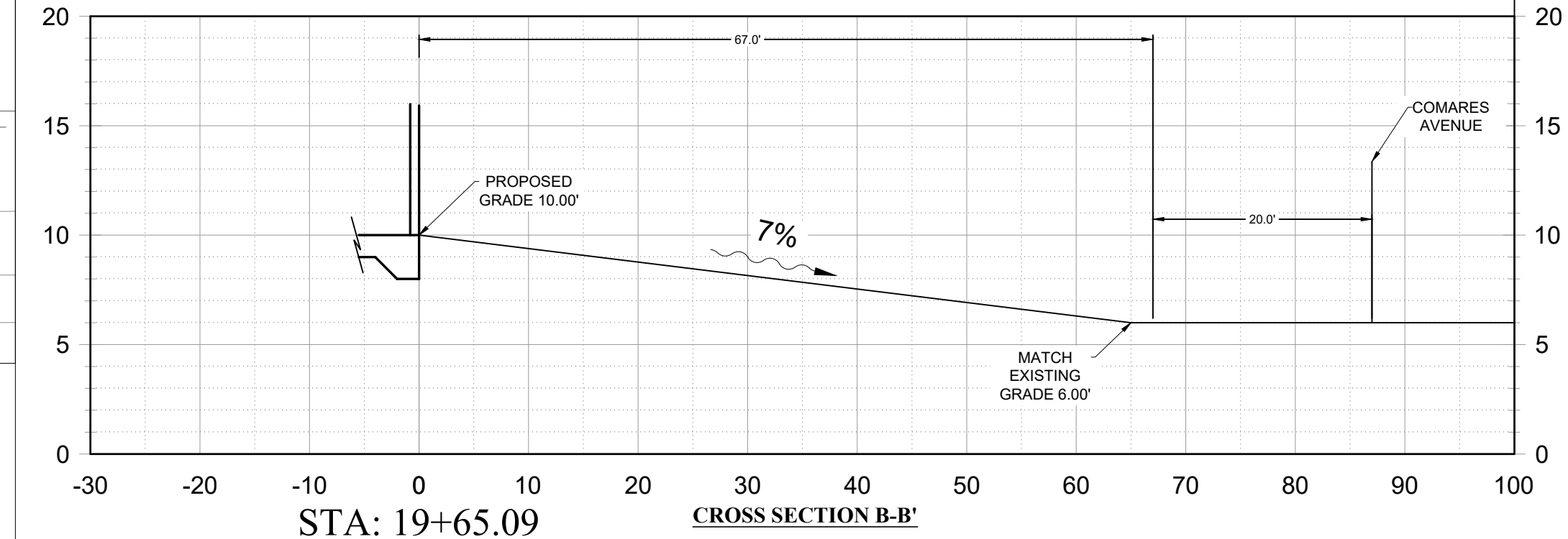
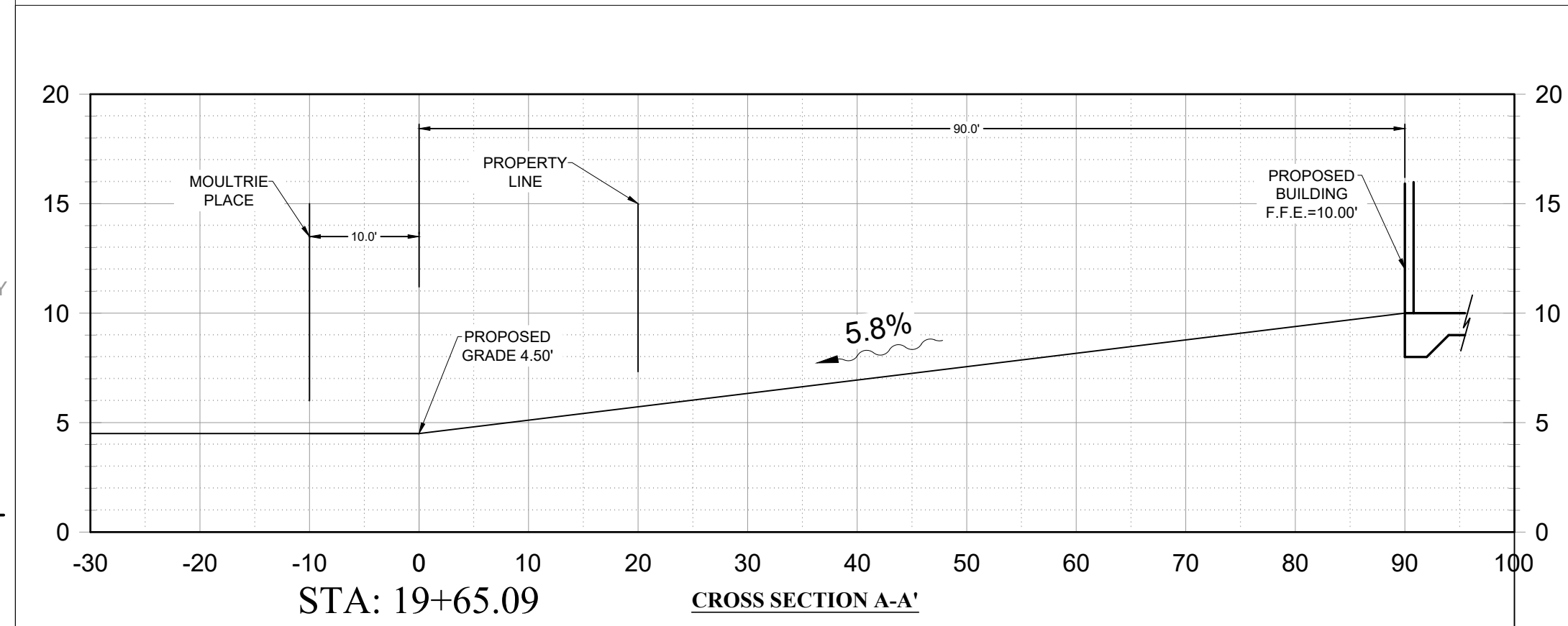
CITY OF ST. AUGUSTINE
 500 ANASTASIA BLVD, ST AUGUSTINE, FL 32080

PROJECT NO: 24-212
 ISSUE DATE: 8-15-2025
 DRAFTED BY: TVB
 DESIGNED BY: TVB
 CHECKED BY: MHL
 SCALE: 1/16" = 1'-0"
 SHEET NUMBER: C-9



GRADING KEY NOTES:
 G-01 TIE TO EXISTING ELEVATION

PAVING AND GRADING NOTES
 1. ALL NON-PAVED DISTURBED AREAS TO BE SEEDED AND STABILIZED UNLESS OTHERWISE NOTED.
 2. FIVE FEET OF SOD IS REQUIRED AROUND ALL DITCH BOTTOM INLETS, MANHOLES, HEADWALLS, ETC.
 3. CONTRACTOR SHALL STAKE EACH STAGE OF WORK, HORIZONTAL AND VERTICAL, IN ADVANCE OF CONSTRUCTION TO ENSURE THAT NO CONFLICTS EXIST. CONTRACTOR SHALL NOTIFY GULFSTREAM DESIGN GROUP, L.L.C. IMMEDIATELY IF FIELD CONDITIONS DIFFER.



NO.	DATE	BY	DESCRIPTION

ENGINEERING PLANS FOR
COSA FIRE STATION #2
GRADING PLAN
 CITY OF ST. AUGUSTINE, FLORIDA

FOR PERMIT REVIEW

PROJECT NO:	24-212
ISSUE DATE:	8-15-2025
DRAFTED BY:	TDP
DESIGNED BY:	TVB
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DATE	
DESCRIPTION	
NO.	

name: _____
 professional name: _____

consultant:

 design manager:

 print architect:

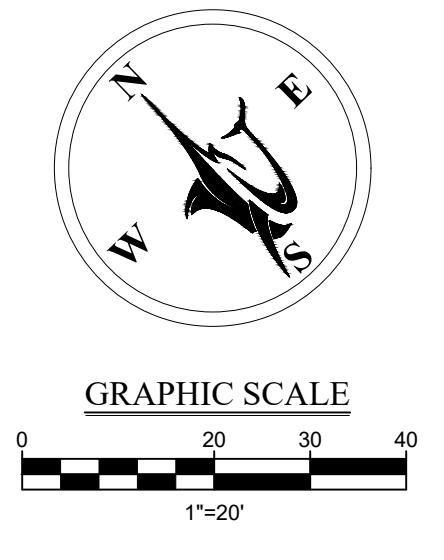
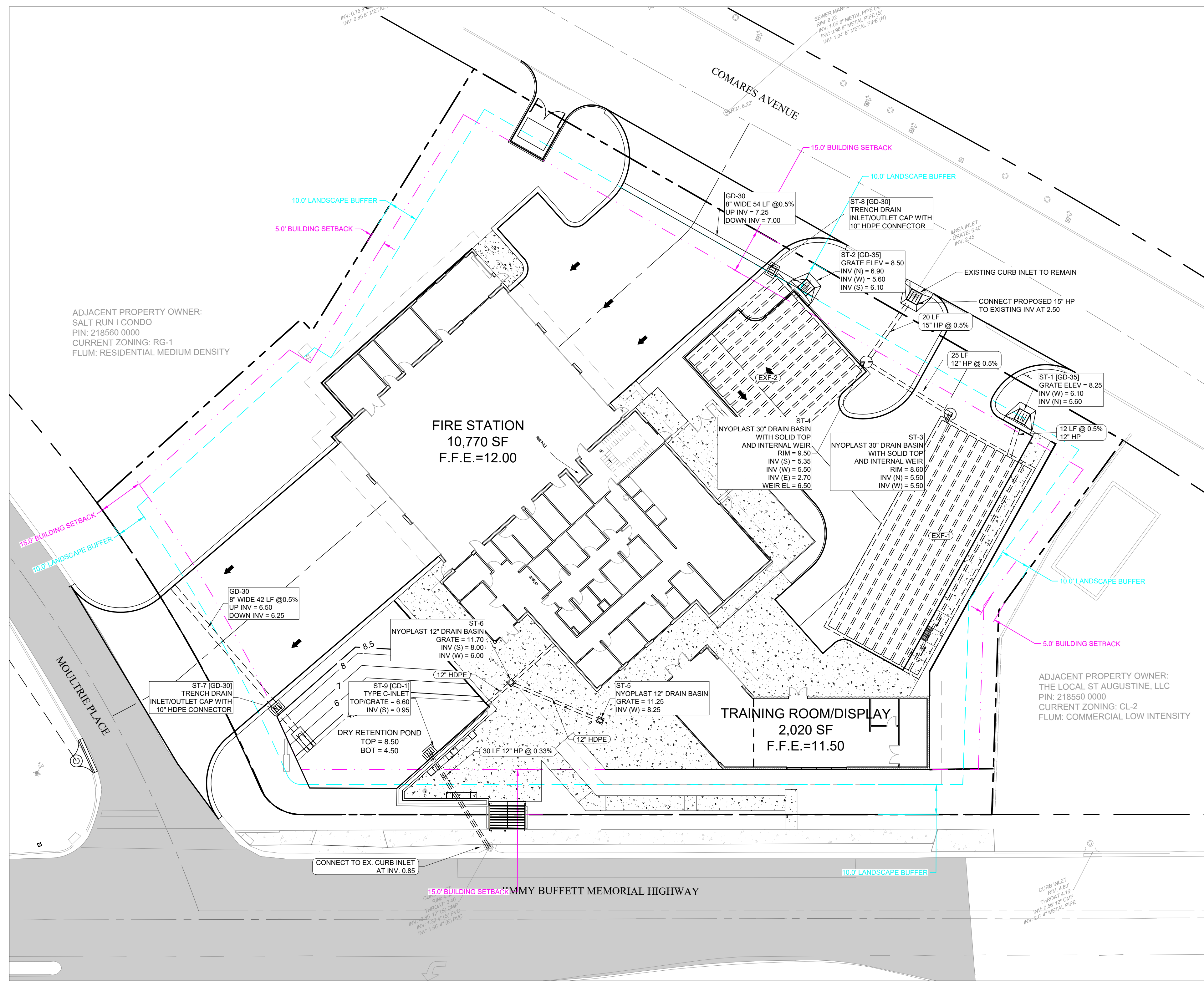
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PROJECT NO:	FIRE STATION NO. 2
DATE:	08/15/25
ISSUE DATE:	8-15-2025
DRAFTED BY:	TVP
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GRADING PLAN

PROJECT NO: 24-212
 ISSUES DATE: 8-15-2025
 DRAFTED BY: TDP
 DESIGNED BY: TVB
 CHECKED BY: MHL
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sheet number: **C-10**



LEGEND

EXISTING	PROPOSED
--- PROPERTY LINE	--- CURB & GUTTER
--- R/W LINE	--- CENTER LINE
--- CENTER LINE	--- BUILDING OUTLINE
--- ASPHALT PAVEMENT	--- SETBACK DIMENSION
	--- BUFFER DIMENSION
	--- STANDARD PARKING COUNT
	--- ADA PARKING COUNT
	--- CONCRETE SIDEWALK
	--- RECESSED C. INLET
	--- TYPE C. INLET

- DRAINAGE NOTES**
- PIPE LENGTHS SHOWN REPRESENT DISTANCES BETWEEN CENTERLINE OF DRAINAGE STRUCTURES AND TO END OF MITERED END SECTIONS.
 - ALL NON-PAVED DISTURBED AREAS TO BE SEEDED AND STABILIZED UNLESS OTHERWISE NOTED.
 - FIVE FEET OF SOD IS REQUIRED AROUND ALL DITCH BOTTOM, INLETS, MANHOLES, HEADWALLS, ETC.
 - THE STORM DRAINAGE SYSTEM SHALL BE FREE OF DIRT, SAND AND DEBRIS PRIOR TO FINAL ACCEPTANCE.
 - CONTRACTOR SHALL STAKE EACH STAGE OF WORK, HORIZONTAL AND VERTICAL, IN ADVANCE OF CONSTRUCTION TO ENSURE THAT NO CONFLICTS EXIST. CONTRACTOR SHALL NOTIFY GULFSTREAM DESIGN GROUP, LLC IMMEDIATELY IF FIELD CONDITIONS DIFFER.

DRAINAGE DETAILS

GD-1	TYPE "C" INLET
GD-30	TRENCH DRAIN
GD-32	IN LINE UNDERDRAIN CLEANOUT
GD-35	RECESSED "C" INLET
SC-310	EXFILTRATION SYSTEM (STORMTECH SC-310)

REVISIONS

NO.	DATE	BY	DESCRIPTION

**ENGINEERING PLANS
 FOR
 COSA FIRE STATION #2
 DRAINAGE PLAN
 CITY OF ST. AUGUSTINE, FLORIDA**



FOR PERMIT REVIEW

PROJECT INFO

PROJECT NO:	24-212
ISSUE DATE:	8-15-2025
DRAFTED BY:	TDP
DESIGNED BY:	TVB
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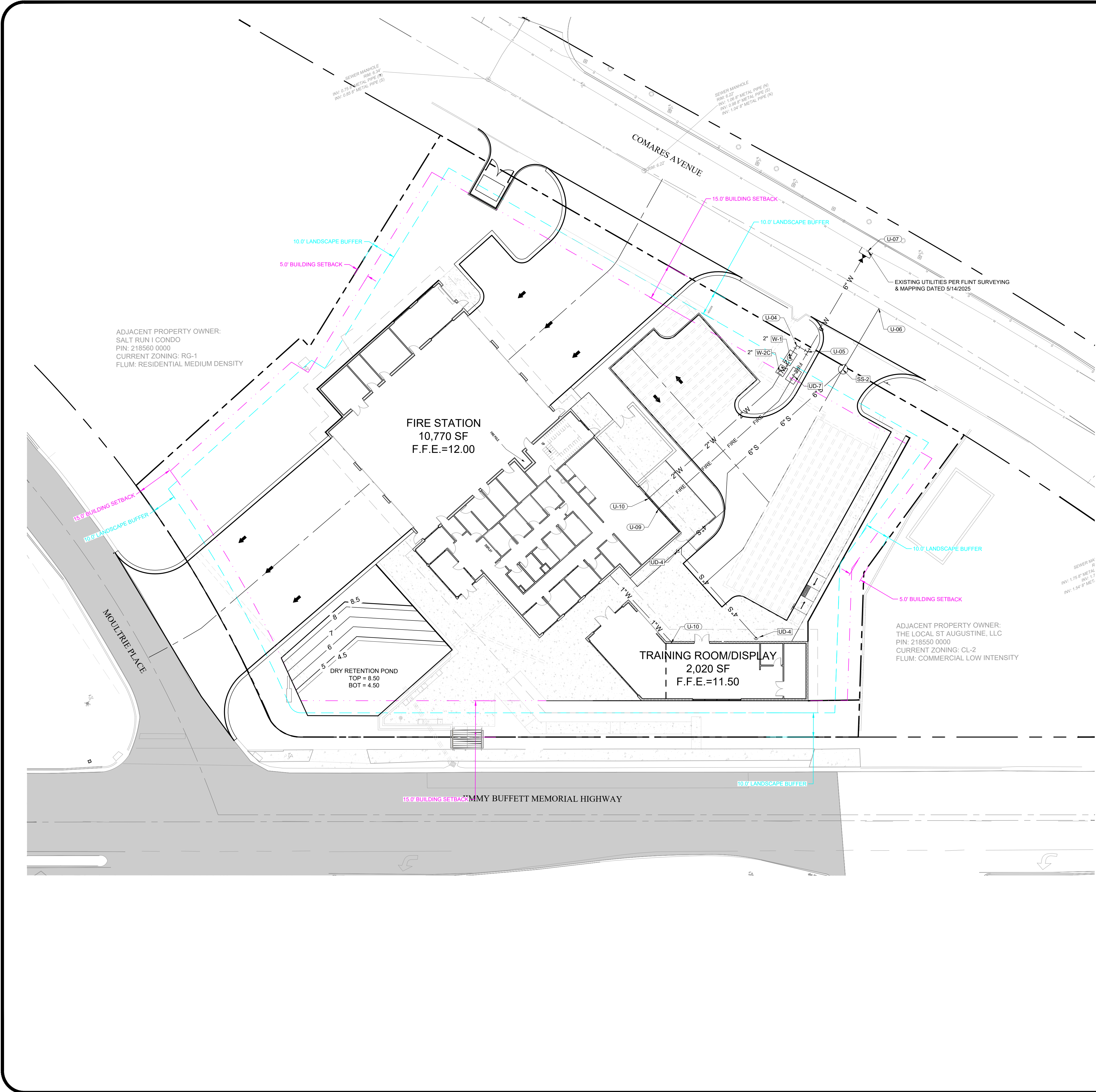
NAME: _____
 PROFESSIONAL LICENSE NO.: _____

PROJECT NO: FIRE STATION NO. 2
 SHEET NO: SCHEMATIC DESIGN

DRAINAGE PLAN

CITY OF ST. AUGUSTINE
 500 ANASTASIA BLVD, ST AUGUSTINE, FL 32080

ISSUE DATE:	08/15/25
PROJECT NO:	2024-P027
DESIGNED BY:	TVB
DRAWN BY:	TDP
SCALE:	1/16" = 1'-0"
SHEET NUMBER:	



GRAPHIC SCALE
1"=20'

EXISTING		PROPOSED	
	PROPERTY LINE		CURB & GUTTER
	R/W LINE		CENTER LINE
	CENTER LINE		BUILDING OUTLINE
	SEWER MAIN		SETBACK DIMENSION
	WATER MAIN		BUFFER DIMENSION
			6\"/>
			6\"/>
			4\"/>
			STANDARD PARKING COUNT
			ADA PARKING COUNT
			RECESSED C INLET
			TYPE C INLET
			SANITARY MANHOLE
			SEWER SERVICE WITH CLEANOUT
			FIRE HYDRANT
			WATER SERVICE W/ METER & BYPASS
			FIRE SERVICE W/ DCDA & FDC

UTILITY KEY NOTES: (1-XX)

- U-01 11' M.J. BEND
- U-02 22' M.J. BEND
- U-03 40' M.J. BEND
- U-04 90' M.J. BEND
- U-05 M.J. TEE (SEE SIZE ON PLAN)
- U-06 GATE VALVE (SEE SIZE ON PLAN)
- U-07 CONNECT TO EXISTING WATER MAIN
- U-08 CONNECT TO EXISTING SANITARY MAIN
- U-09 FIRE DEPARTMENT CONNECTION TO BE INSTALLED ON DCDA
- U-10 UTILITY SERVICE CONNECTION TO BUILDING (SEE TYPE ON PLAN)

COSA UTILITY DETAILS: (XXX)

- UD-4 SANITARY SEWER CLEAN OUT
- UD-7 BACKFLOW PREVENTER WITH FIRE DEPARTMENT CONNECTION
- W-1 WATER METER LOCATIONS 3\"/>

GENERAL UTILITY NOTES:

- CONTRACTOR SHALL REFER TO GENERAL NOTES SHEET #2 IN THESE PLANS FOR ADDITIONAL SPECIFIC INFORMATION NOT SHOWN ON INDIVIDUAL PLAN SHEETS.
- ALL EXISTING UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE DATA AND HAVE NOT BEEN SURVEYED OR FIELD LOCATED. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES VIA POT-HOLING AND LOCATES PRIOR TO CONSTRUCTION.
- PLANS SUBJECT TO CHANGE BASED ON REVIEW BY REGULATORY AGENCIES.
- PIPE LENGTHS HEREIN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ANY UTILITY LOCATIONS PRIOR TO CONSTRUCTION. NOTIFY THE ENGINEER IMMEDIATELY IF FIELD CONDITIONS VARY GREATLY FROM THESE PLANS.
- THE CONTRACTOR SHALL FIELD STAKE EACH STAGE OF WORK, HORIZONTAL AND VERTICAL. IN ADVANCE OF CONSTRUCTION TO ENSURE THAT NO CONFLICTS EXIST. THE CONTRACTOR SHALL NOTIFY GULFSTREAM DESIGN GROUP, LLC IMMEDIATELY IF CONDITIONS DIFFER IN THE FIELD.
- ALL FIRE HYDRANTS SHALL OPEN COUNTER CLOCKWISE. LARGEST HOSE OUTLET NOT LESS THAN 18\"/>

REVISIONS

NO.	DATE	BY	DESCRIPTION

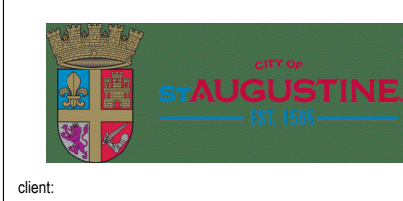
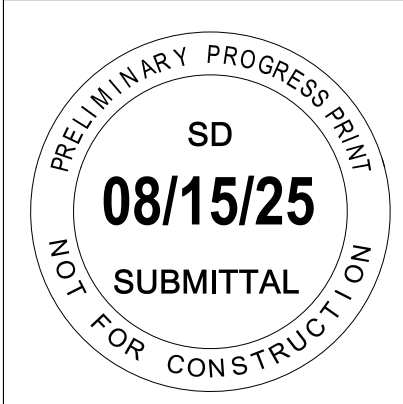
**ENGINEERING PLANS
FOR
COSA FIRE STATION #2
UTILITY PLAN**
CITY OF ST. AUGUSTINE, FLORIDA



PROJECT NO: 24-212
ISSUE DATE: 8-15-2025
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NO.	DESCRIPTION	DATE



UTILITY PLAN

PROJECT NO: 2024-P027
DATE: 08/15/25
DESIGNED BY: TVB
DRAWN BY: TDP
SCALE: 1/16\"/>

NO.	DESCRIPTION	DATE

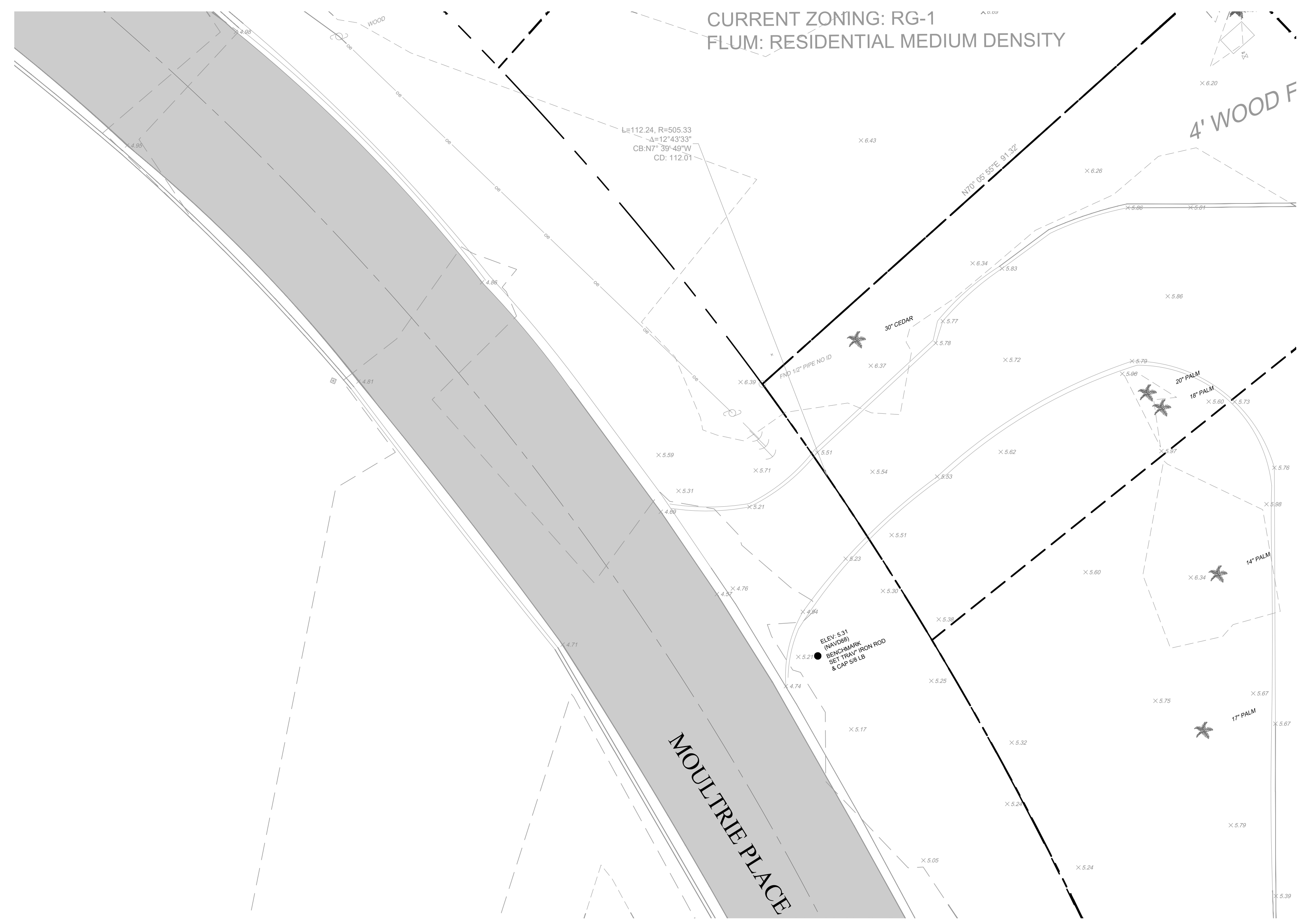
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08/15/25
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Name:
Professional Name: _____

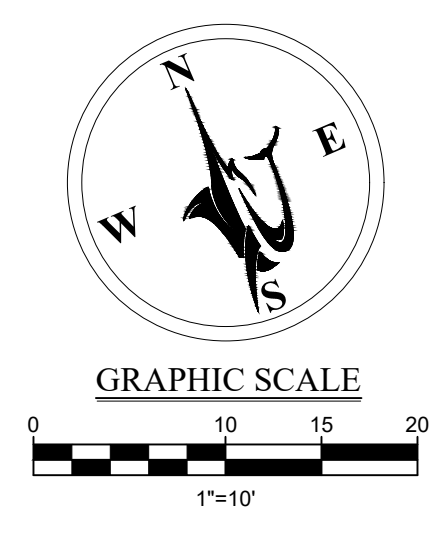


Project No: FIRE STATION NO. 2
Sheet No: SCHEMATIC DESIGN
500 ANASTASIA BLVD., ST AUGUSTINE, FL 32080
matt@gulfstreamdesign.com

PROJECT TITLE: OFFSITE DEMOLITION PLAN
ISSUE DATE: 08/15/25
PROJECT NO: 2024-P027
DESIGNED BY: TVB
DRAWN BY: TDP
SCALE: 1/16" = 1'-0"
SHEET NUMBER: 13



CURRENT ZONING: RG-1
FLUM: RESIDENTIAL MEDIUM DENSITY



EXISTING		PROPOSED	
	EXISTING PROPERTY LINE		PROPOSED CENTER LINE
	EXISTING R/W LINE		SILT FENCE
	EXISTING STORM PIPE		SAWCUT & REMOVE EXISTING PAVEMENT/SEWALK/CURBING
	EXISTING STORM STRUCTURE		MILL & OVERLAY PER SJC STANDARDS D-201
	EXISTING STORM MANHOLE		

- DEMOLITION AND CLEARING NOTES:**
- ALL EXISTING WATER AND SEWER UTILITY SERVICES THAT WILL NO LONGER BE UTILIZED MUST BE PROPERLY ABANDONED BY CONTRACTOR BY CUTTING, CAPPING, AND REPAIRING SERVICE CONNECTIONS AT THE UTILITY MAIN LOCATIONS BY METHODS DIRECTED BY THE COUNTY INSPECTOR AND UNDER COUNTY INSPECTOR'S OBSERVATION. EXCAVATION MAY BE REQUIRED IN ORDER TO DETERMINE PROPER ABANDONMENT METHODS.
 - ALL EXISTING WATER AND SEWER UTILITY SERVICES INTENDED TO BE REUSED MUST BE INVESTIGATED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS AND/OR REPLACEMENT TO RENEW EXISTING POTABLE WATER SERVICES, AND SEWER SERVICE LATERALS. ALL UTILITIES MUST BE RETURNED TO GOOD WORKING ORDER. ALL INVESTIGATIVE AND REPAIR/REPLACEMENT METHODS WILL BE AS DIRECTED BY THE COUNTY INSPECTOR AND UNDER COUNTY INSPECTOR'S OBSERVATION. EXCAVATION AND OTHER PROCEDURES SUCH AS CLOSED-CIRCUIT TV MAY BE REQUIRED IN ORDER TO DETERMINE CONDITION.
 - TEMPORARY DRAINAGE DIVERSION SHOWN ON THIS PLAN IS CONCEPTUAL ONLY. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE EACH TIES VIA APPROVED METHODS, WHICH MAY DIFFER FROM THE DIVERSION SHOWN HERE. ALTERNATE TEMPORARY DRAINAGE DIVERSION PLANS SHOULD BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
 - CONTENTS OF EXISTING STOCKPILE MAY VARY SIGNIFICANTLY. (SEE GEOTECHNICAL REPORT DECEMBER 13, 2023).

- DEMOLITION KEY NOTES:**
- D-01 TYPE III SILT FENCE (SEE SHEET #4 SWPPP FOR DETAILS)
 - D-02 EXISTING TO BE REMOVED
 - D-03 EXISTING TO REMAIN
 - D-04 EXISTING TO BE RELOCATED
 - D-06 ROLLED EROSION AND SEDIMENTATION CONTROL PRODUCTS (SEE SHEET #4 SWPPP FOR DETAILS)
 - D-07 CATCH BASIN SEDIMENT PROTECTION DETAIL (SEE SHEET #4 SWPPP FOR DETAILS)
 - D-08 CONSTRUCTION ENTRANCE (SEE SHEET #4 SWPPP FOR DETAILS)
 - D-16 NO SOFT DIGGS OR UTILITY LOCATES HAVE BEEN PERFORMED. CONTRACTOR TO VERIFY PRIOR TO COMMENCEMENT OF CONSTRUCTION.

NO.	DATE	BY	DESCRIPTION

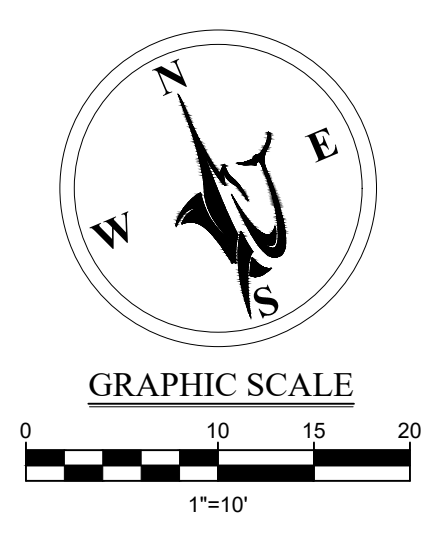
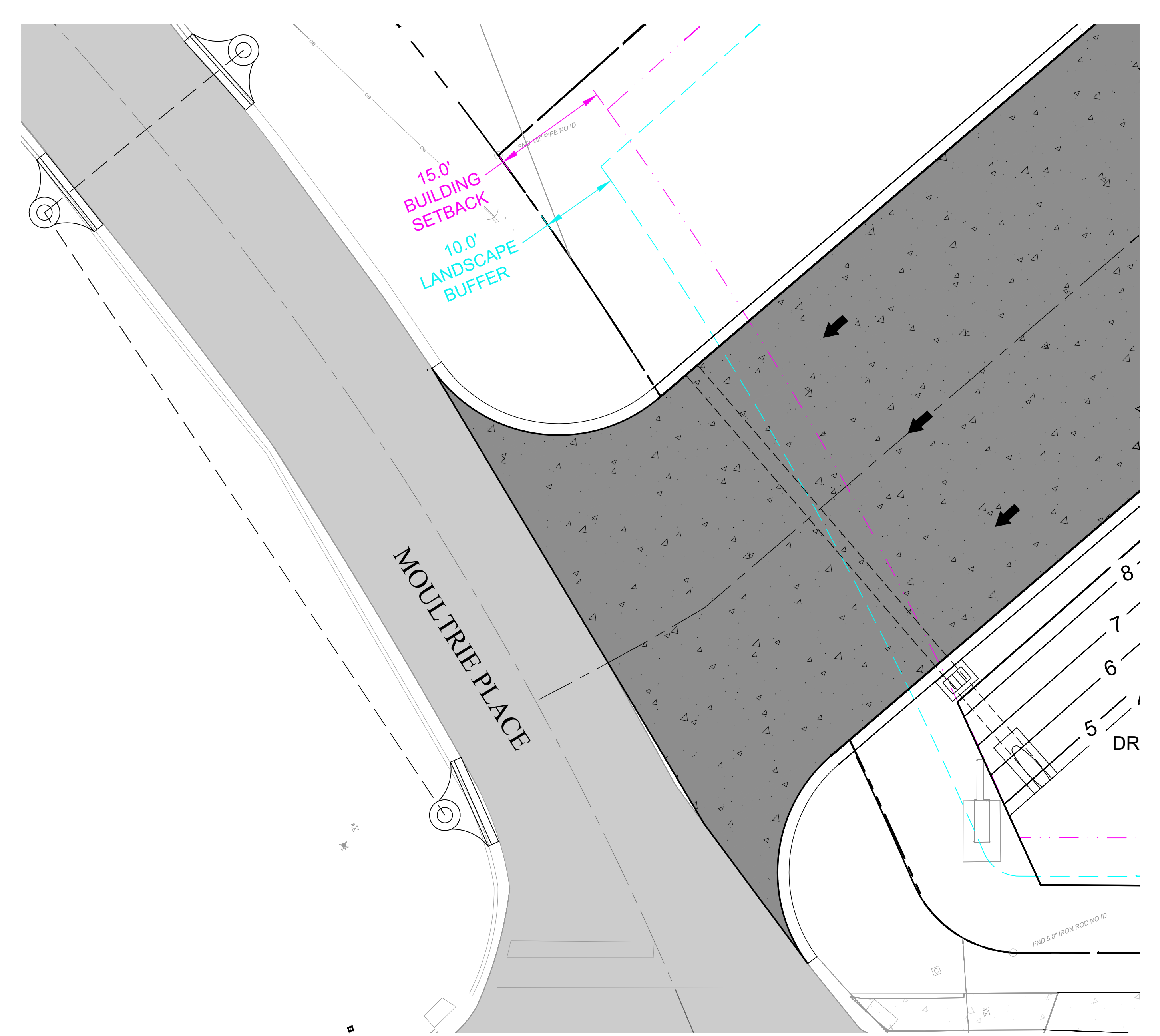
ENGINEERING PLANS FOR COSA FIRE STATION #2 OFFSITE DEMOLITION PLAN
CITY OF ST. AUGUSTINE, FLORIDA

FOR PERMIT REVIEW

GULFSTREAM DESIGN GROUP, LLC
2225 A1A S, SUITE A2
ST. AUGUSTINE, FLORIDA 32080
904.794.4231
matt@gulfstreamdesign.com
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PROJECT NO: 24-212
ISSUE DATE: 8-15-2025
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13



EXISTING
 - - - - - EXISTING PROPERTY LINE
 - - - - - EXISTING RW LINE
 [Hatched Box] EXISTING SJC ASPHALT PAVEMENT

PROPOSED
 [Solid Line] PROPOSED CURB & GUTTER
 [Dashed Line] PROPOSED CENTER LINE
 [Dotted Pattern] PROPOSED CONCRETE SIDEWALK
 [Dark Grey Pattern] PROPOSED HEAVY DUTY ASPHALT PAVEMENT
 [Light Grey Pattern] PROPOSED SJC ASPHALT PAVEMENT

SITE DETAILS SD-XX
 SD-2 18" STANDARD CURB & GUTTER
 SD-7 CONCRETE SIDEWALK
 SD-12 TYPICAL PAVEMENT SECTION
 SD-18 STOP BAR
 SD-19 DETECTABLE WARNING DETAIL

SITE KEY NOTES: (SXX)
 S-01 PROPERTY LINE
 S-02 CONNECT TO EXISTING SIDEWALK
 S-03 TRAFFIC ARROW PER FDOT STANDARD INDEX 711-001
 S-04 3' MINIMUM UTILITY STRIP FROM BACK OF CURB TO SIDEWALK
 S-05 5' BIKE LANE
 S-06 PLACE RAISED PAVEMENT MARKERS PER FDOT 706-001

GENERAL OFFSITE NOTES:
 1. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS OF THE CITY OF ST. AUGUSTINE LAND DEVELOPMENT CODE.
 2. ALL DIMENSIONS ARE SHOWN TO FACE OF CURB UNLESS OTHERWISE NOTED.
 3. BUILDING DIMENSIONS FOR REFERENCE ONLY. SEE ARCHITECTURAL PLANS BY. FOR EXACT DIMENSIONS. CIVIL PLANS REFERENCE EXTERIOR WALL DIMENSIONS. CONTRACTOR TO VERIFY FOUNDATION AND ROOF OVERHANGS.
 4. ALL HANDICAP RAMPS SHALL MEET CURRENT ADA REQUIREMENTS AND INCLUDE DETECTABLE WARNING PER CITY OF ST. AUGUSTINE REQUIREMENTS.
 5. CONTRACTOR SHALL STAKE EACH STAGE OF WORK, HORIZONTAL AND VERTICAL, IN ADVANCE OF CONSTRUCTION TO ENSURE THAT NO CONFLICTS EXIST. CONTRACTOR SHALL NOTIFY GULFSTREAM DESIGN GROUP, LLC IMMEDIATELY IF CONDITIONS DIFFER IN THE FIELD.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS AND/OR EXISTING EASEMENTS BEFORE BEGINNING CONSTRUCTION.
 7. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER, ANY EXTRA WORK REQUESTED BY ANY REGULATORY AGENCY THAT IS NOT SHOWN ON THE PLANS. THIS EXTRA WORK MUST BE APPROVED BY THE ENGINEER AND THE OWNER BEFORE THE CONTRACTOR PROCEEDS WITH THE EXTRA WORK.
 8. ALL ELEMENTS THAT ARE PLACES OF PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES ON THE SITE (INCLUDING ACCESSIBLE ROUTES AND PARKING) SHALL MEET THE REQUIREMENTS OF FLORIDA AMERICANS WITH DISABILITIES ACCESSIBILITY IMPLEMENTATION ACT, ADA STANDARDS FOR ACCESSIBLE DESIGN, FLORIDA BUILDING CODE - ACCESSIBILITY AND THE FAIR HOUSING ACT, WHEN APPLICABLE.

NO.	DATE	BY	REVISIONS DESCRIPTION

YIELD ANALYSIS PLAN FOR COSA FIRE STATION #2 OFFSITE GEOMETRY PLAN
 CITY OF ST. AUGUSTINE, FLORIDA

811
 Know what's below.
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GULFSTREAM DESIGN GROUP, LLC
 2225 A1A S, SUITE A2
 ST. AUGUSTINE, FLORIDA 32080
 904.794.4231
 matt@gulfstreamdesign.com
 © GULFSTREAM DESIGN GROUP, LLC 2024

PROJECT NO: 24-212
 ISSUE DATE: 8-15-2025
 DRAFTED BY: TDP
 DESIGNED BY: TVB
 CHECKED BY: MHL
 NOT VALID WITHOUT SEAL

14

NO.	DESCRIPTION	DATE

PRELIMINARY PROGRESS PRINT
 SD
 08/15/25
 SUBMITTAL
 NOT FOR CONSTRUCTION

NAME: _____
 PROFESSIONAL NAME: _____

CLIENT: _____

CONSTRUCTION MANAGER: _____

J2 ARCHITECTURE
 J2 ARCHITECTURE

KUBO STUDIO
 KUBO STUDIO

CONSULTANT: _____

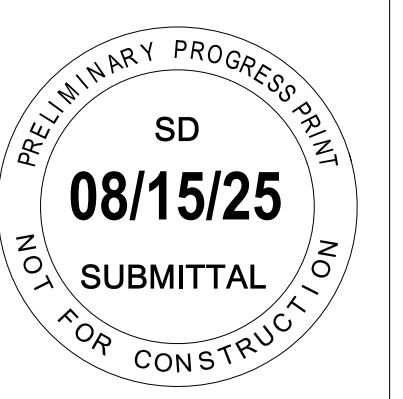
PROJECT NO: FIRE STATION NO. 2
 SHEET NO: SCHEMATIC DESIGN
OFFSITE GEOMETRY PLAN

CLIENT: CITY OF ST. AUGUSTINE
 PROJECT: 500 ANASTASIA BLVD., ST. AUGUSTINE, FL 32080

ISSUE DATE: 08/15/25
 PROJECT NO: 2024-P027
 DESIGNED BY: TVB
 DRAWN BY: TDP
 SCALE: 1/16" = 1'-0"
 SHEET NUMBER: _____

C-14

NO.	DESCRIPTION	DATE



Name: _____
 Professional Name: _____
 Title: _____



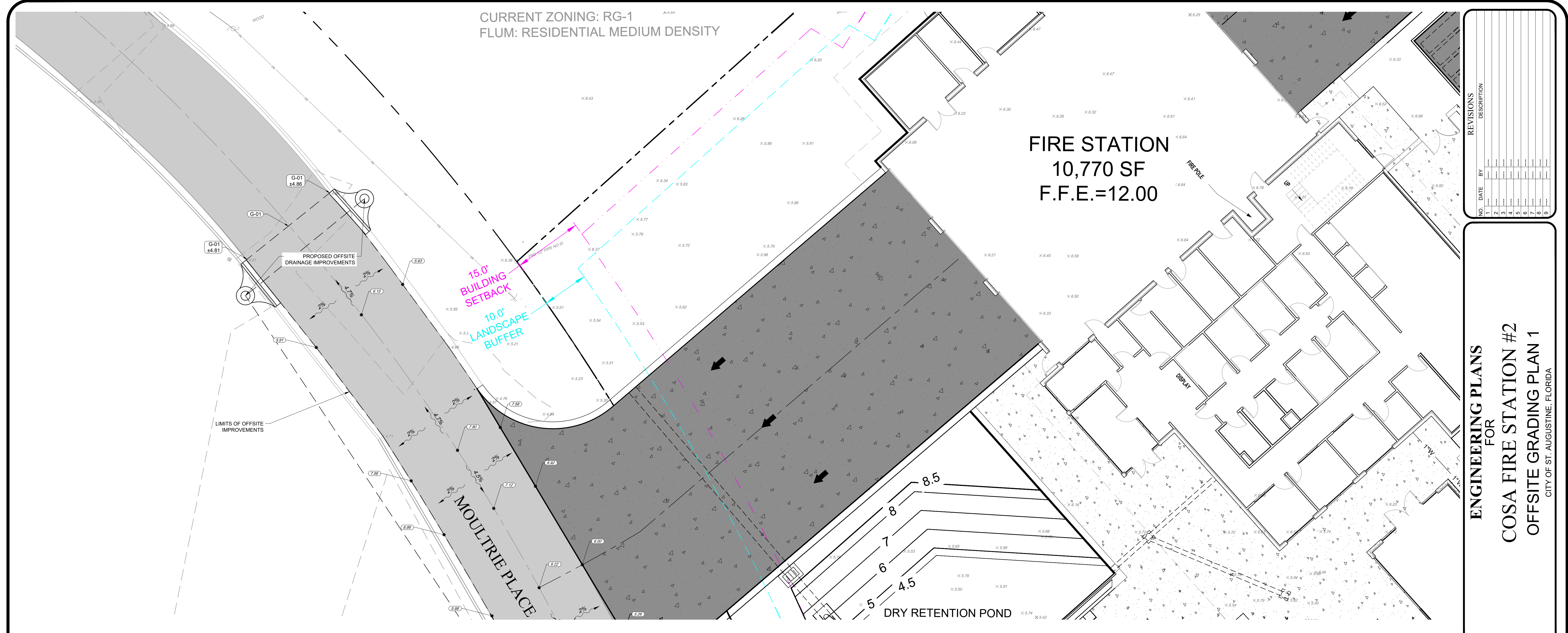
PROJECT NO.: _____
 PROJECT NAME: _____
 SHEET NO.: _____

PROFESSIONAL SEAL: _____
 PROJECT NO.: FIRE STATION NO. 2
 PROJECT NAME: COSA FIRE STATION #2
 SHEET NO.: SCHEMATIC DESIGN

PROFESSIONAL SEAL: _____
 PROJECT NO.: _____
 PROJECT NAME: _____
 SHEET NO.: OFFSITE GRADING PLAN 1

DATE: 08/15/25
 SHEET NO.: 2024-P027
 DESIGNED BY: TVB
 DRAWN BY: TDP
 SCALE: 1/16" = 1'-0"
 SHEET NUMBER: _____

C-15

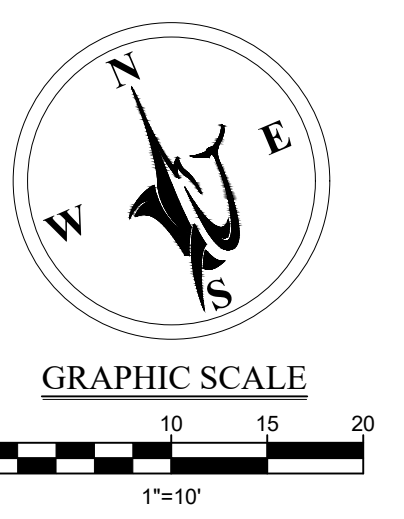


CURRENT ZONING: RG-1
 FLUM: RESIDENTIAL MEDIUM DENSITY

FIRE STATION
 10,770 SF
 F.F.E.=12.00

NO.	DATE	BY	DESCRIPTION

ENGINEERING PLANS
 FOR
 COSA FIRE STATION #2
 OFFSITE GRADING PLAN 1
 CITY OF ST. AUGUSTINE, FLORIDA



EXISTING
 - - - - - EXISTING PROPERTY LINE
 - - - - - EXISTING RW LINE
 X.31.20 EXISTING GRADE ELEVATION
 [Grey Box] EXISTING ASPHALT PAVEMENT

LEGEND

PROPOSED
 = = = = = PROPOSED CURB & GUTTER
 - - - - - PROPOSED CENTER LINE
 - - - - - PROPOSED BUILDING OUTLINE
 [Number] PROPOSED GRADE ELEVATION
 [Arrow] FLOW ARROW
 [Grey Box] PROPOSED STANDARD DUTY ASPHALT PAVEMENT
 [Dark Grey Box] PROPOSED HEAVY DUTY ASPHALT PAVEMENT

GRADING KEY NOTES:

G-01 TIE TO EXISTING ELEVATION

PAVING AND GRADING NOTES

- ALL NON-PAVED DISTURBED AREAS TO BE SEEDED AND STABILIZED UNLESS OTHERWISE NOTED.
- FIVE FEET OF SO2 IS REQUIRED AROUND ALL DITCH BOTTOM INLETS, MANHOLES, HEADWALLS, ETC.
- CONTRACTOR SHALL STAKE EACH STAGE OF WORK, HORIZONTAL AND VERTICAL, IN ADVANCE OF CONSTRUCTION TO ENSURE THAT NO CONFLICTS EXIST. CONTRACTOR SHALL NOTIFY GULFSTREAM DESIGN GROUP, LLC, IMMEDIATELY IF FIELD CONDITIONS DIFFER.

MAINTENANCE OF TRAFFIC NOTES:

- NOTIFY CITY OF ST. AUGUSTINE PUBLIC WORKS A MINIMUM OF 30 WORKING DAYS PRIOR TO IMPLEMENTATION OF MOT.
- THERE SHALL BE NO LANE CLOSURES BETWEEN 7:00 AM AND 9:00 AM AND BETWEEN 4:00 PM AND 7:00 PM ON WEEKDAYS.
- THE CONTRACTOR SHALL CONFIRM THAT EXISTING SIGNAGE WILL NOT POSE A HAZARD TO TRAFFIC. THE CONTRACTOR SHALL COVER OR REMOVE ALL SIGNING IN CONFLICT WITH THE TRAFFIC CONTROL DURING CONSTRUCTION OPERATIONS.
- ACCESS TO SIDE STREETS, PRIVATE AND COMMERCIAL DRIVEWAYS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- THIS REVIEW APPROVAL IS FOR CITY OF ST. AUGUSTINE MAINTAINED RIGHT OF WAY ONLY.
- THE CONTRACTOR SHALL DEVELOP A SPECIFIC MAINTENANCE OF TRAFFIC PLAN FOR VEHICULAR TRAFFIC CONFORMING TO FDOT STANDARDS. THIS VEHICULAR MAINTENANCE OF TRAFFIC PLAN SHALL BE PROVIDED TO THE ENGINEER OF RECORD AND TO THE CITY OF ST. AUGUSTINE MINIMUM FIVE (5) DAYS PRIOR TO IMPLEMENTATION OF MOT.
- THE CONTRACTOR SHALL DEVELOP A SPECIFIC MAINTENANCE OF TRAFFIC PLAN FOR PEDESTRIAN TRAFFIC CONFORMING TO FDOT STANDARD INDEX 302-660. THIS PEDESTRIAN MAINTENANCE OF TRAFFIC PLAN SHALL BE PROVIDED TO THE ENGINEER OF RECORD AND TO THE CITY OF ST. AUGUSTINE MINIMUM FIVE (5) DAYS PRIOR TO IMPLEMENTATION OF MOT. THIS PLAN SHALL BE ADA ACCESSIBLE.
- CONTRACTOR TO ENSURE CITY OF ST. AUGUSTINE RIGHT-OF-WAY REMAINS FREE OF DIRT AND DEBRIS FOR DURATION OF CONSTRUCTION.
- CONTRACTOR TO PROVIDE MAINTENANCE SCHEDULE / APPROACH IN WRITING BEFORE SCHEDULING OF PRE-CONSTRUCTION MEETING.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING OFFSITE DRAINAGE FACILITIES AND PATTERNS THROUGHOUT THE DURATION OF CONSTRUCTION.
- MAINTENANCE OF TRAFFIC PER FOOT INDEX 102-601, 102-602 & 102-606

VERTICAL DATUM NOTES:

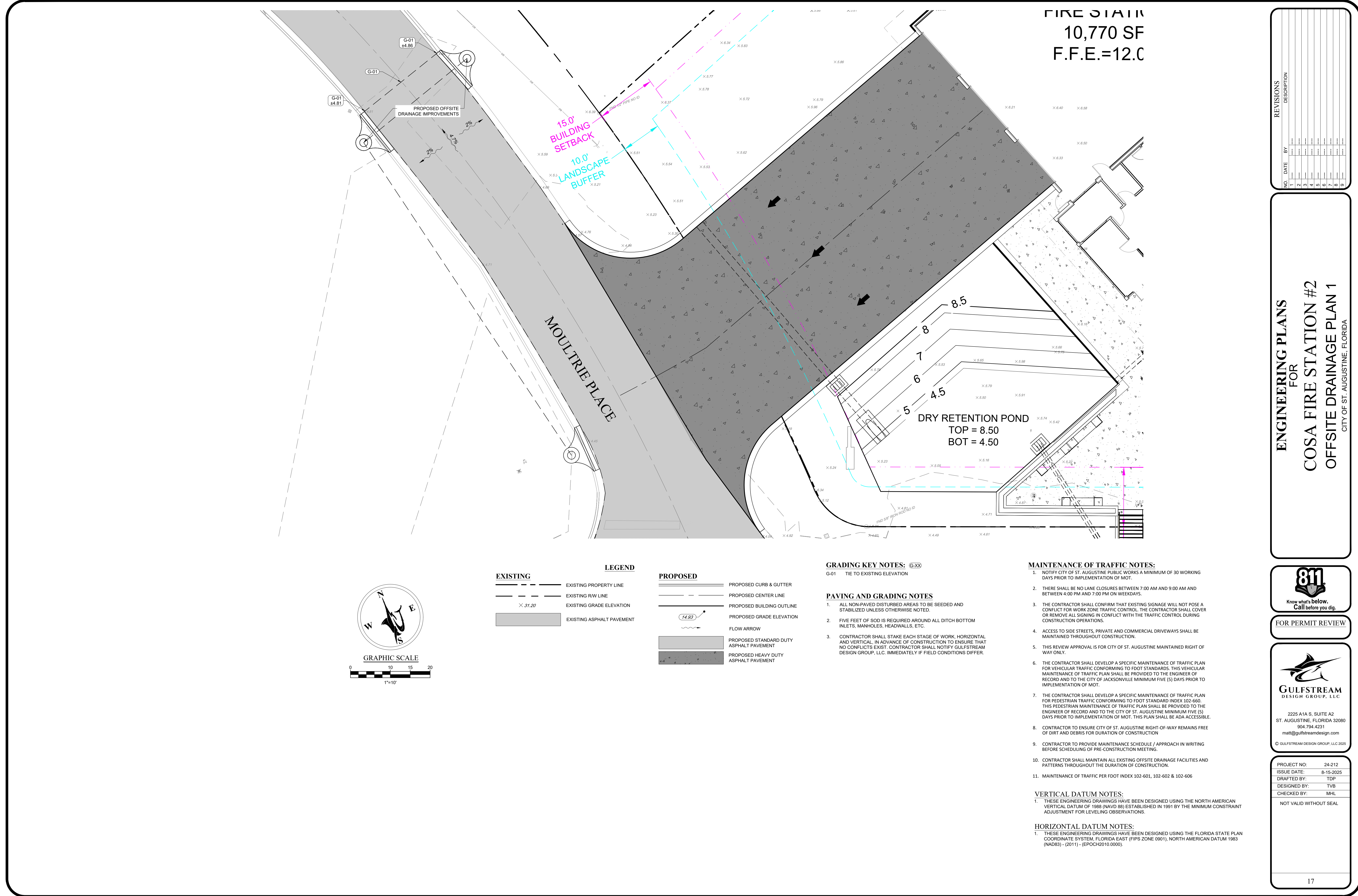
1. THESE ENGINEERING DRAWINGS HAVE BEEN DESIGNED USING THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) ESTABLISHED IN 1991 BY THE MINIMUM CONSTRAINT ADJUSTMENT FOR LEVELING OBSERVATIONS.

HORIZONTAL DATUM NOTES:

1. THESE ENGINEERING DRAWINGS HAVE BEEN DESIGNED USING THE FLORIDA STATE PLAN COORDINATE SYSTEM, FLORIDA EAST (FPS ZONE 0901), NORTH AMERICAN DATUM 1983 (NAD83) - (2011) - (EPSN09010.000).



PROJECT NO.: 24-212
 ISSUE DATE: 8-15-2025
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NO.	DATE	BY	REVISIONS
1			DESCRIPTION
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			

ENGINEERING PLANS
 FOR
COSA FIRE STATION #2
OFFSITE DRAINAGE PLAN 1
 CITY OF ST. AUGUSTINE, FLORIDA



FOR PERMIT REVIEW

2225 A1A S, SUITE A2
 ST. AUGUSTINE, FLORIDA 32080
 904.794.4231
 matt@gulfstreamdesign.com
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PROJECT NO:	24-212
ISSUE DATE:	8-15-2025
DRAFTED BY:	TDP
DESIGNED BY:	TVB
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NO.	DESCRIPTION	DATE

PRELIMINARY PROGRESS PRINT
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08/15/25
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Name: _____
 Professional Name: _____

Client: _____

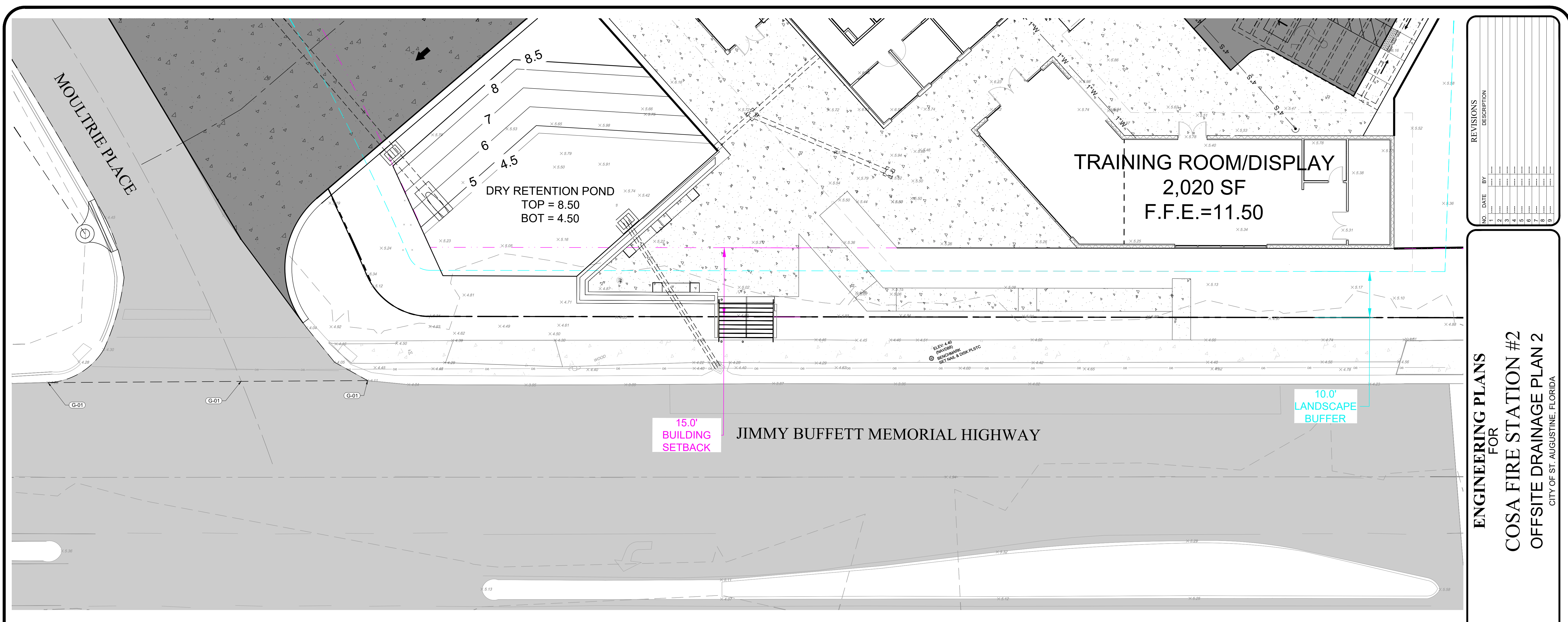
Construction Manager: _____

PROJECT: FIRE STATION NO. 2
 DRAWING: SCHEMATIC DESIGN

CITY OF ST. AUGUSTINE
 500 ANASTASIA BLVD, ST AUGUSTINE, FL 32080

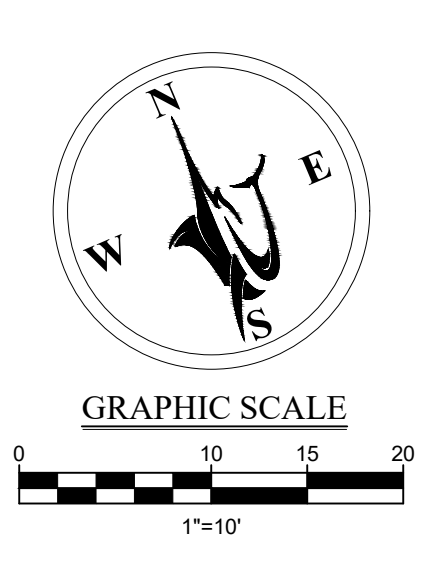
OFFSITE DRAINAGE PLAN 1

CITY OF ST. AUGUSTINE
 PROJECT NO.: 2024-P027
 DESIGNED BY: TVB
 SCALE: 1/16" = 1'-0"
 SHEET NUMBER: _____



NO.	DATE	BY	DESCRIPTION

ENGINEERING PLANS FOR
COSA FIRE STATION #2
OFFSITE DRAINAGE PLAN 2
CITY OF ST. AUGUSTINE, FLORIDA



EXISTING	LEGEND
---	EXISTING PROPERTY LINE
---	EXISTING RW LINE
X 31.20	EXISTING GRADE ELEVATION
█	EXISTING ASPHALT PAVEMENT

PROPOSED	LEGEND
---	PROPOSED CURB & GUTTER
---	PROPOSED CENTER LINE
---	PROPOSED BUILDING OUTLINE
---	PROPOSED IMPROVEMENT LIMITS
X 74.82	PROPOSED GRADE ELEVATION
→	FLOW ARROW
█	PROPOSED STANDARD DUTY ASPHALT PAVEMENT
█	PROPOSED HEAVY DUTY ASPHALT PAVEMENT

GRADING KEY NOTES: G-01 TIE TO EXISTING ELEVATION

PAVING AND GRADING NOTES

- ALL NON-PAVED DISTURBED AREAS TO BE SEEDED AND STABILIZED UNLESS OTHERWISE NOTED.
- FIVE FEET OF 50D IS REQUIRED AROUND ALL DITCH BOTTOM INLETS, MANHOLES, HEADWALLS, ETC.
- CONTRACTOR SHALL STAKE EACH STAGE OF WORK, HORIZONTAL AND VERTICAL, IN ADVANCE OF CONSTRUCTION TO ENSURE THAT NO CONFLICTS EXIST. CONTRACTOR SHALL NOTIFY GULFSTREAM DESIGN GROUP, LLC, IMMEDIATELY IF FIELD CONDITIONS DIFFER.

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- THE CONTRACTOR SHALL DEVELOP A SPECIFIC MAINTENANCE OF TRAFFIC PLAN FOR PEDESTRIAN TRAFFIC CONFORMING TO FDOT STANDARD INDEX 102-600. THIS PEDESTRIAN MAINTENANCE OF TRAFFIC PLAN SHALL BE PROVIDED TO THE ENGINEER OF RECORD AND TO THE CITY OF ST. AUGUSTINE MINIMUM FIVE (5) DAYS PRIOR TO IMPLEMENTATION OF MOT. THIS PLAN SHALL BE ADA ACCESSIBLE.
- CONTRACTOR TO ENSURE CITY OF ST. AUGUSTINE RIGHT-OF-WAY REMAINS FREE OF DIRT AND DEBRIS FOR DURATION OF CONSTRUCTION
- CONTRACTOR TO PROVIDE MAINTENANCE SCHEDULE / APPROACH IN WRITING BEFORE SCHEDULING OF PRE-CONSTRUCTION MEETING.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING OFFSITE DRAINAGE FACILITIES AND PATTERNS THROUGHOUT THE DURATION OF CONSTRUCTION.
- MAINTENANCE OF TRAFFIC PER FOOT INDEX 102-601, 102-602 & 102-606

VERTICAL DATUM NOTES:

- THESE ENGINEERING DRAWINGS HAVE BEEN DESIGNED USING THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) ESTABLISHED IN 1991 BY THE MINIMUM CONSTRAINT ADJUSTMENT FOR LEVELING OBSERVATIONS.

HORIZONTAL DATUM NOTES:

- THESE ENGINEERING DRAWINGS HAVE BEEN DESIGNED USING THE FLORIDA STATE PLAN COORDINATE SYSTEM, FLORIDA EAST (FPS ZONE 0901), NORTH AMERICAN DATUM 1983 (NAD83) - (2011) - (EPC02010.000).

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2225 A1A S, SUITE A2
ST. AUGUSTINE, FLORIDA 32080
904.794.4231
matt@gulfstreamdesign.com
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PROJECT NO: 24-212
ISSUE DATE: 8-15-2025
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18

NO.	DESCRIPTION	DATE

PRELIMINARY PROGRESS PRINT

SD

08/15/25

SUBMITTAL

NOT FOR CONSTRUCTION

name: _____
professional name: _____

date: _____

creation manager: _____

J2 ARCHITECTURE

price architect

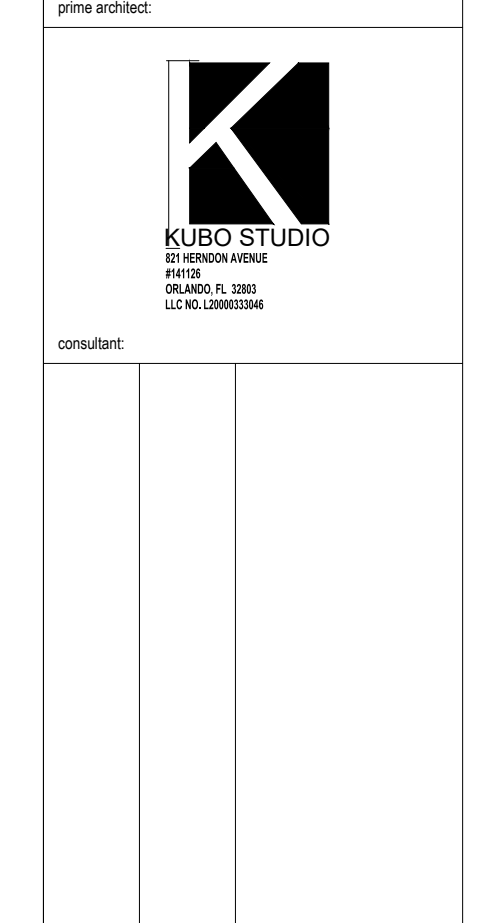
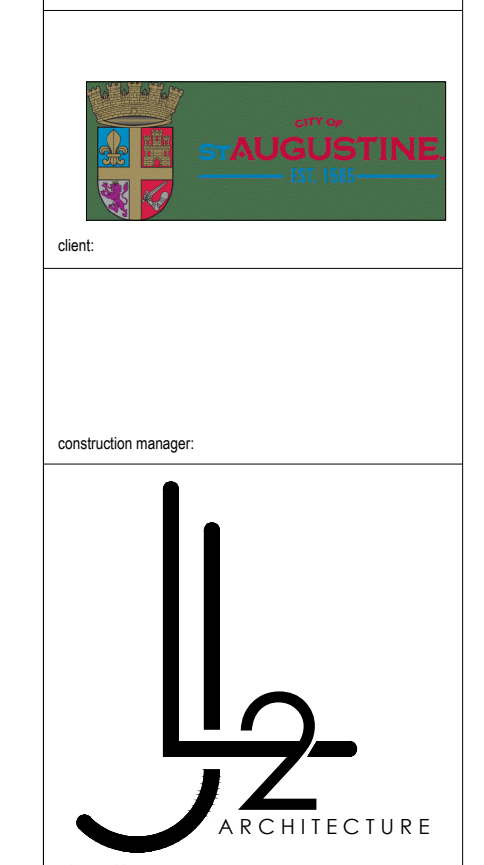
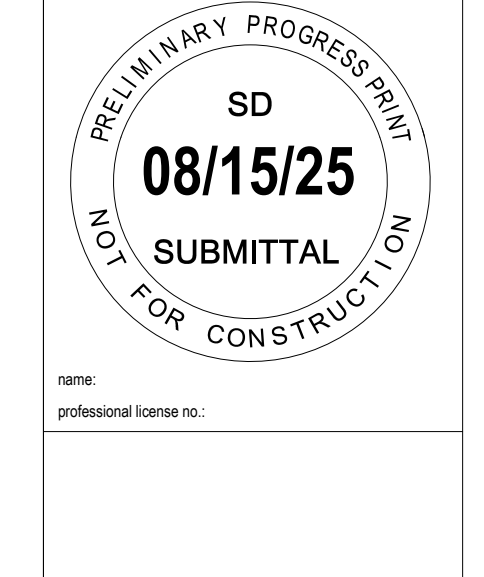
KUBO STUDIO

CONSULTANT

PROJECT NO: 2024-P027
PROJECT NAME: COSA FIRE STATION #2
PROJECT LOCATION: 500 ANASTASIA BLVD, ST AUGUSTINE, FL 32080
DATE: 08/15/25

DESIGNED BY: TVB
DRAWN BY: TDP
SCALE: 1/16" = 1'-0"
SHEET NUMBER: C-18

NO.	DESCRIPTION	DATE



CONSTRUCTION DETAILS 1

PROJECT: COSA FIRE STATION #2

CLIENT: CITY OF ST. AUGUSTINE

CONTRACT NO.: 500 ANASTASIA BLVD, ST AUGUSTINE, FL 32080

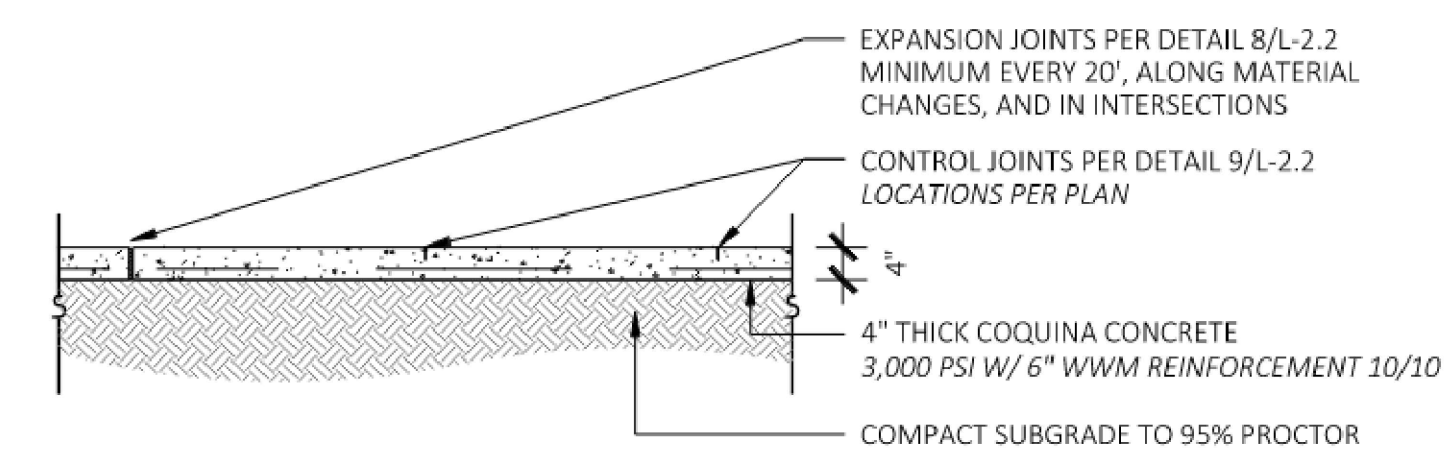
CONSTRUCTION DESIGN

DATE: 08/15/25

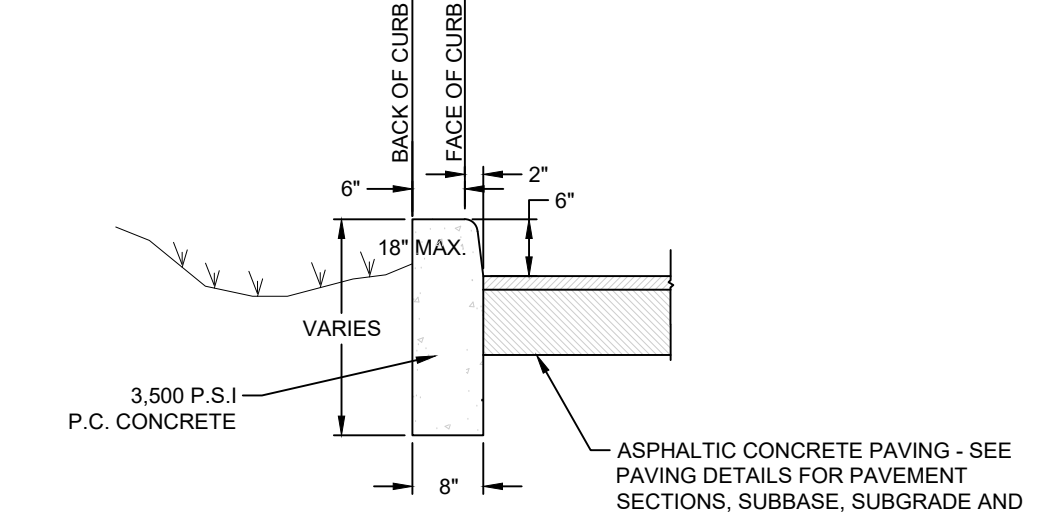
DRAWN BY: TVB

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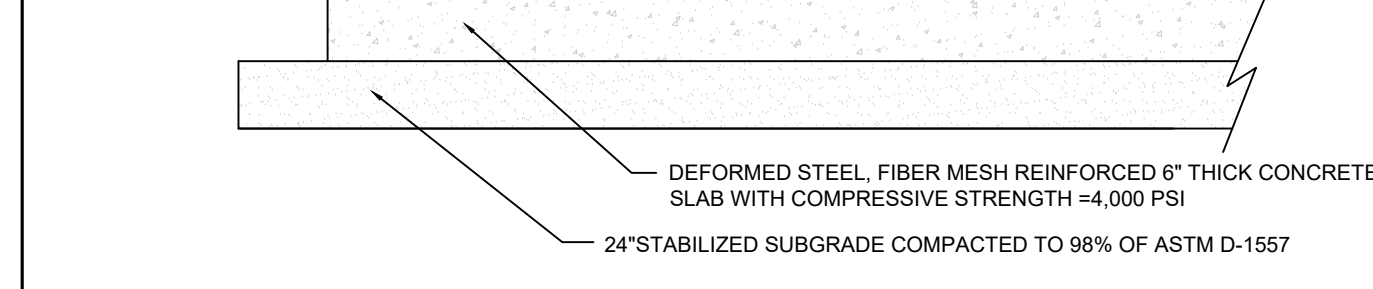
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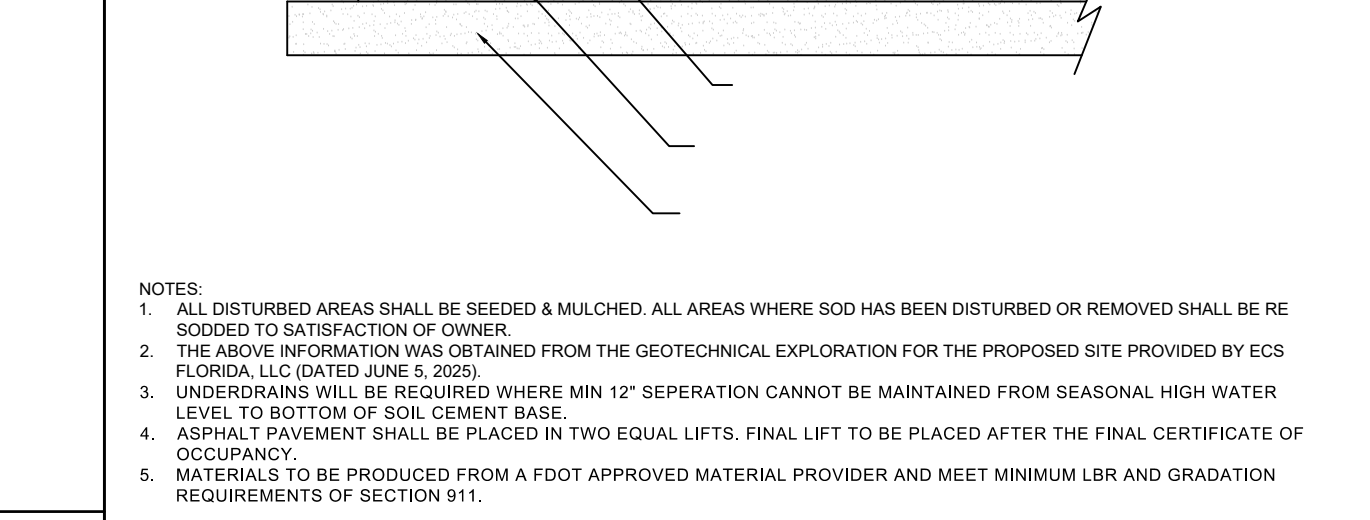
COQUINA CONCRETE SIDEWALK
SCALE: N.T.S.
DETAIL#: SD-17
REVISED 08/08/19



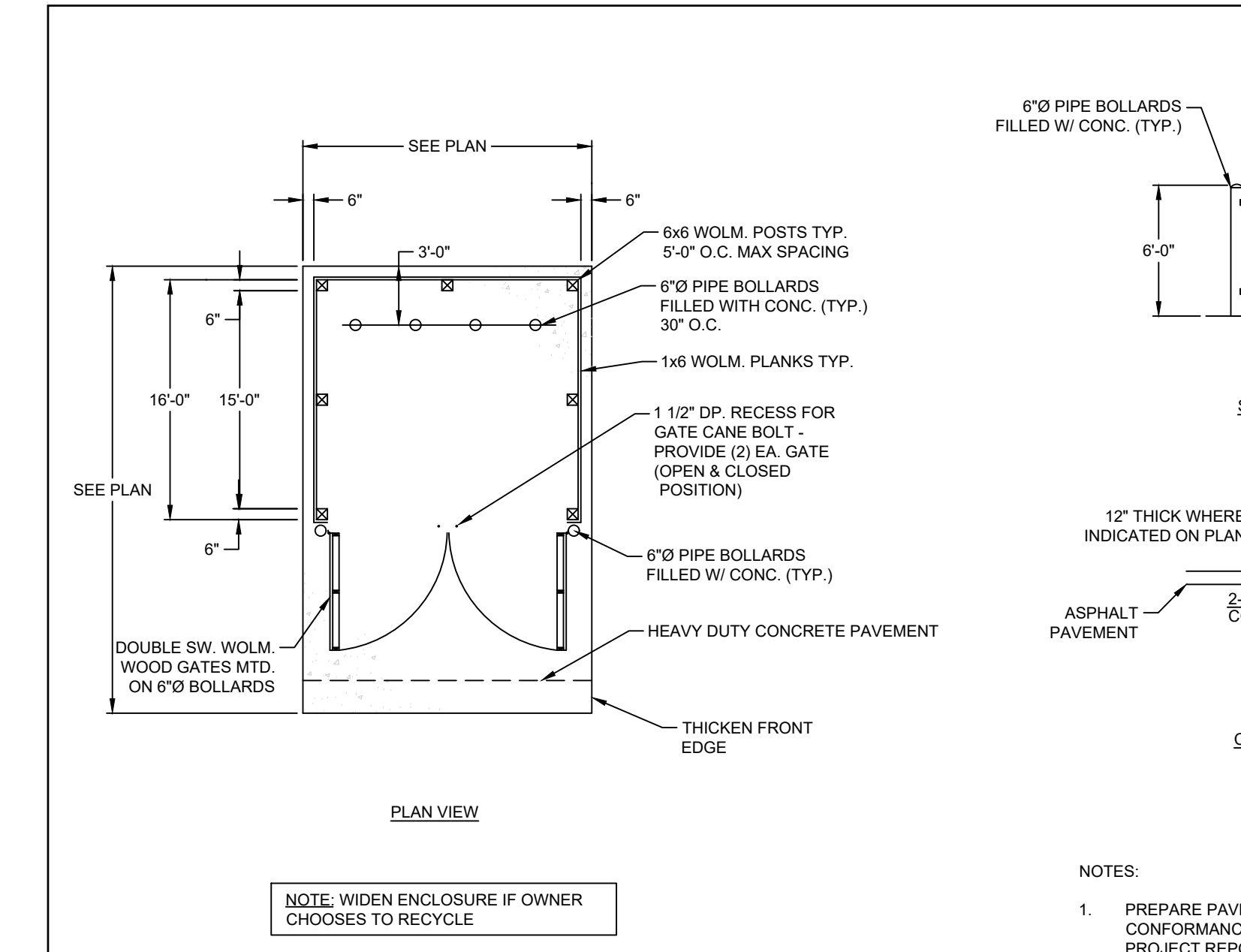
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DETAIL#: SD-18
REVISED 08/08/19



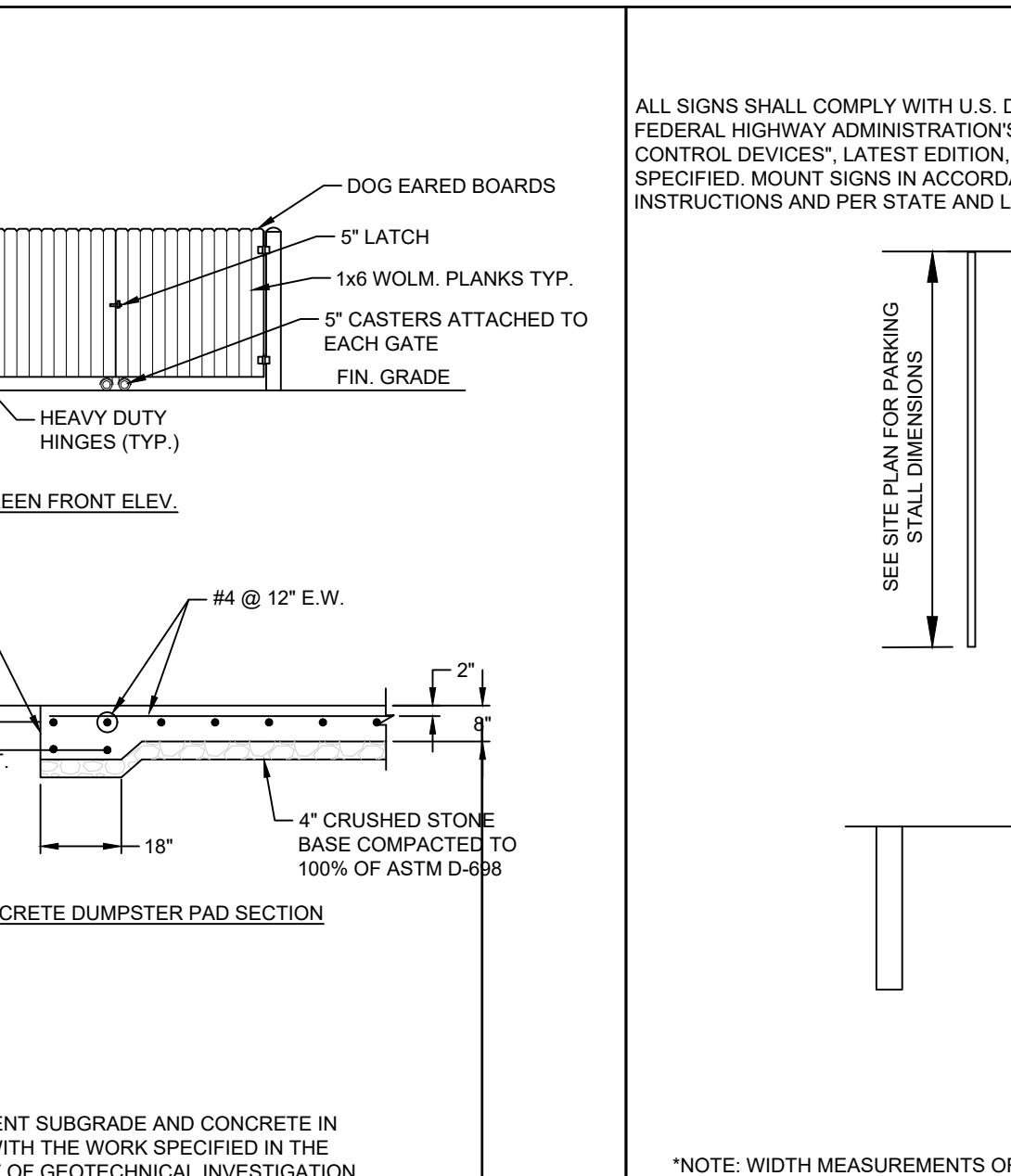
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SCALE: N.T.S.
DETAIL#: SD-11
REVISED 08/15/25



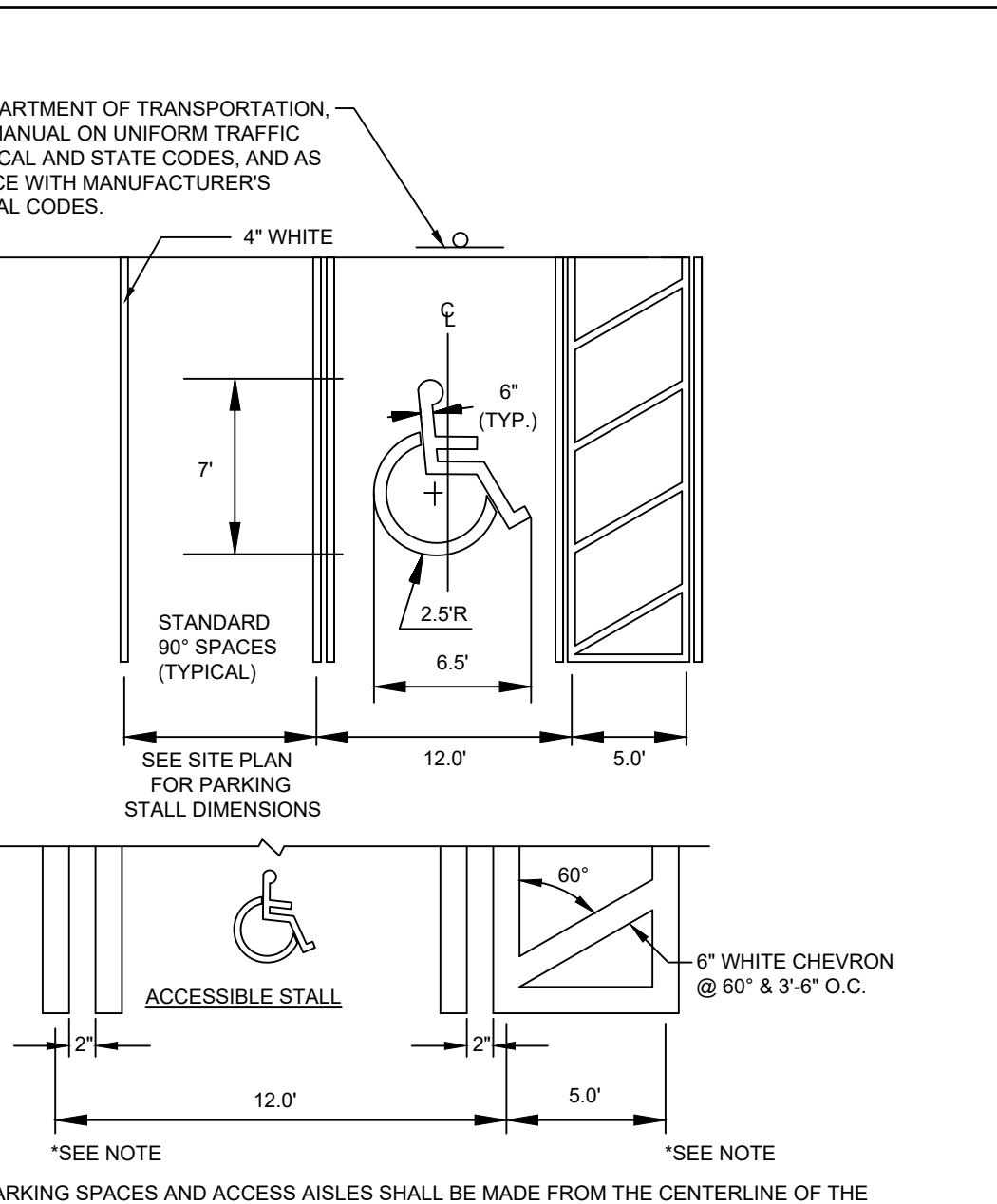
HEAVY DUTY PAVEMENT SECTION
SCALE: N.T.S.
DETAIL#: SD-13
REVISED 03/06/25



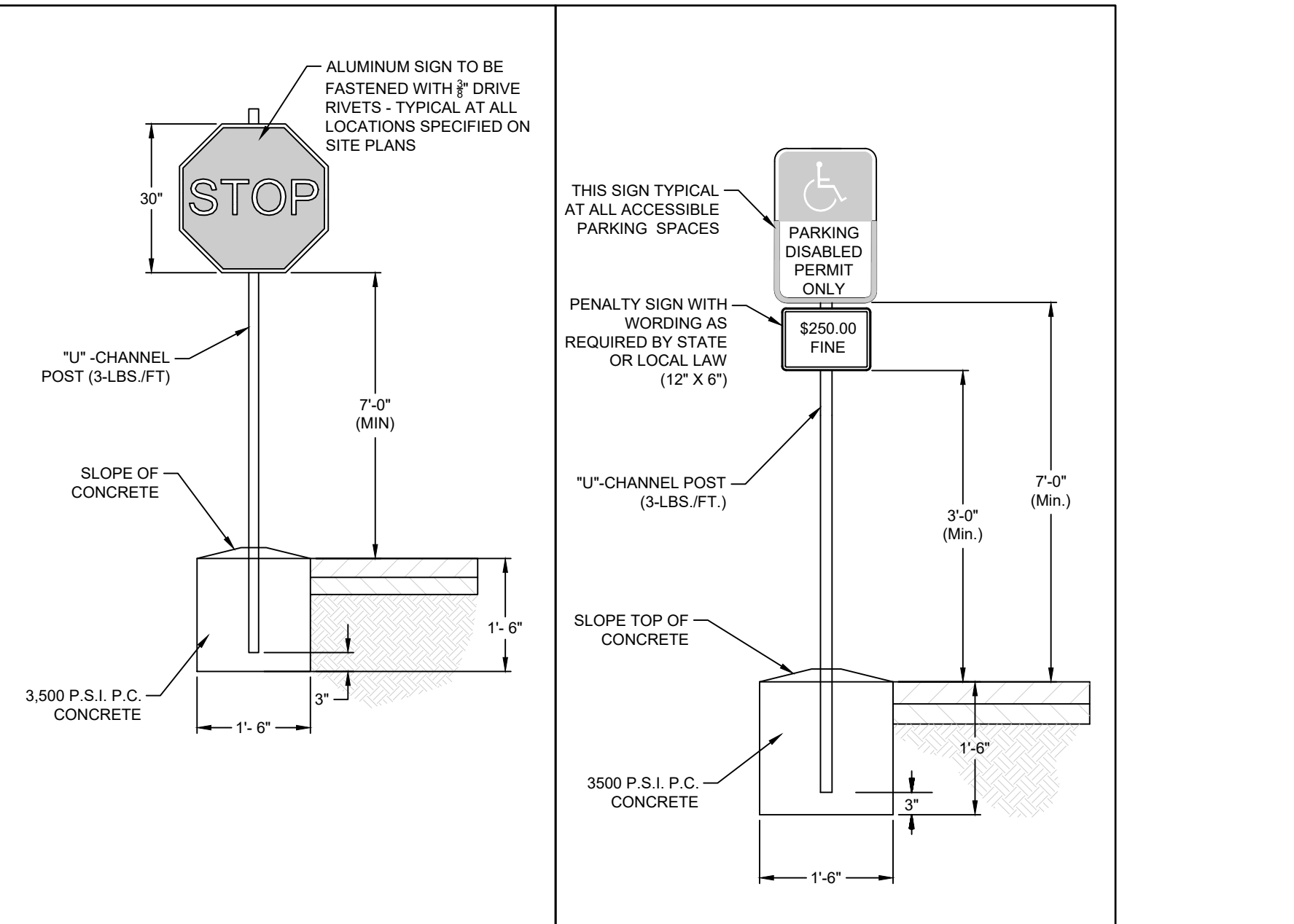
WOODEN DUMPSTER ENCLOSURE WITH SCREEN
SCALE: N.T.S.
DETAIL#: SD-35
REVISED 08/08/19



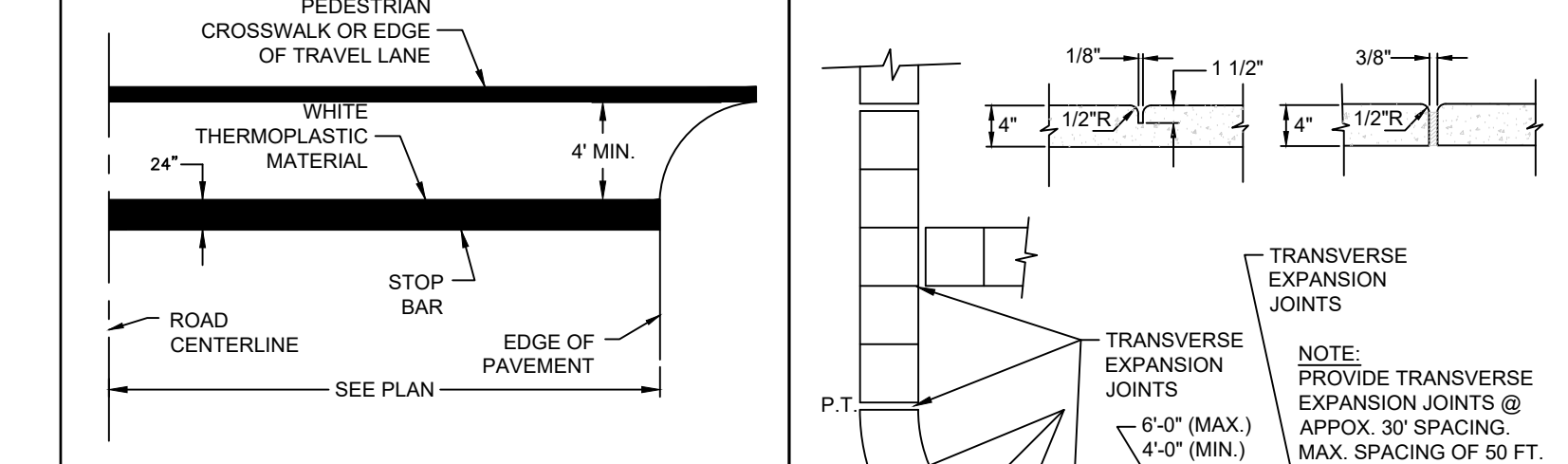
PARKING PAINT STRIPING
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DETAIL#: SD-14
REVISED 08/08/19



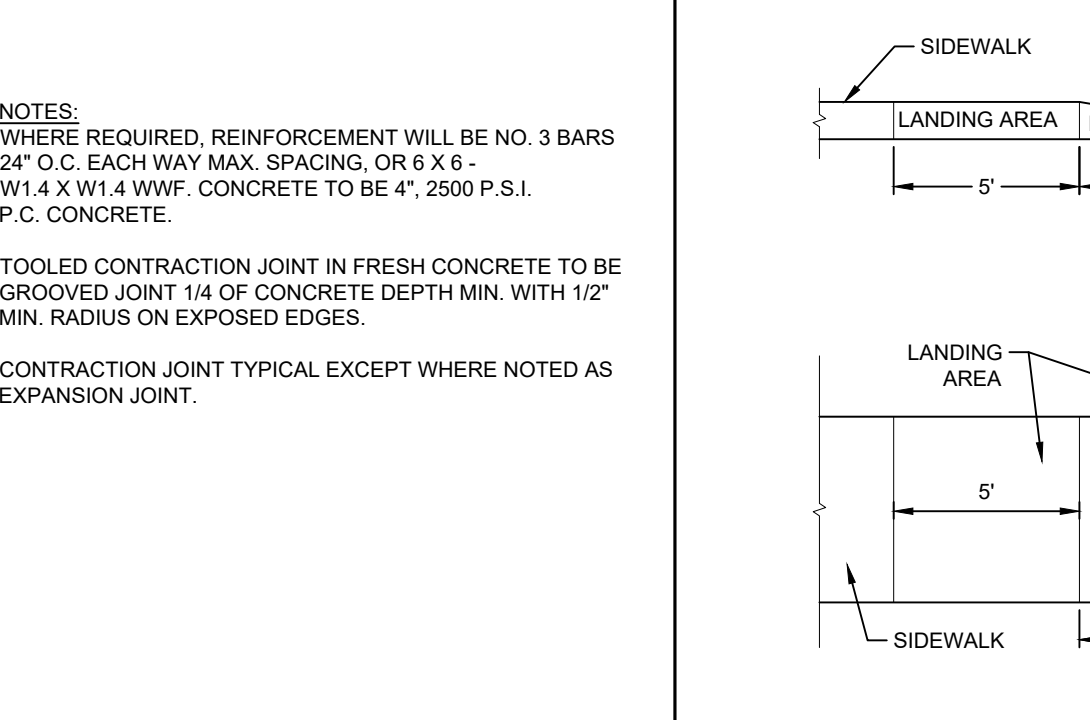
STOP SIGN
SCALE: N.T.S.
DETAIL#: SD-21
REVISED 05/22/23



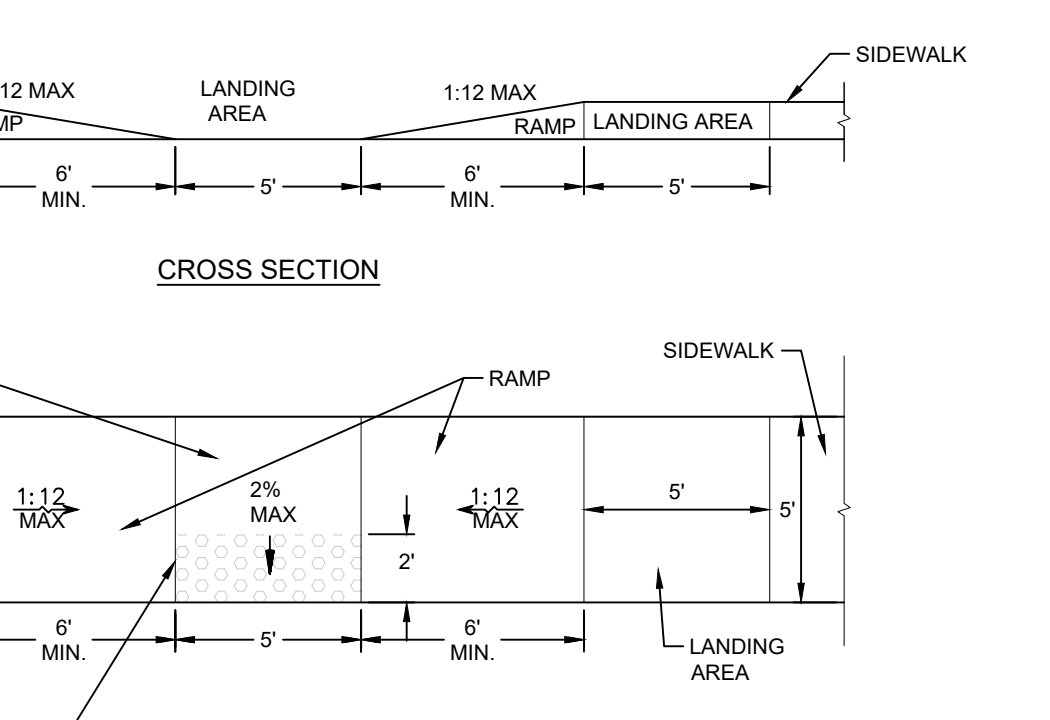
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DETAIL#: SD-15
REVISED 08/08/19



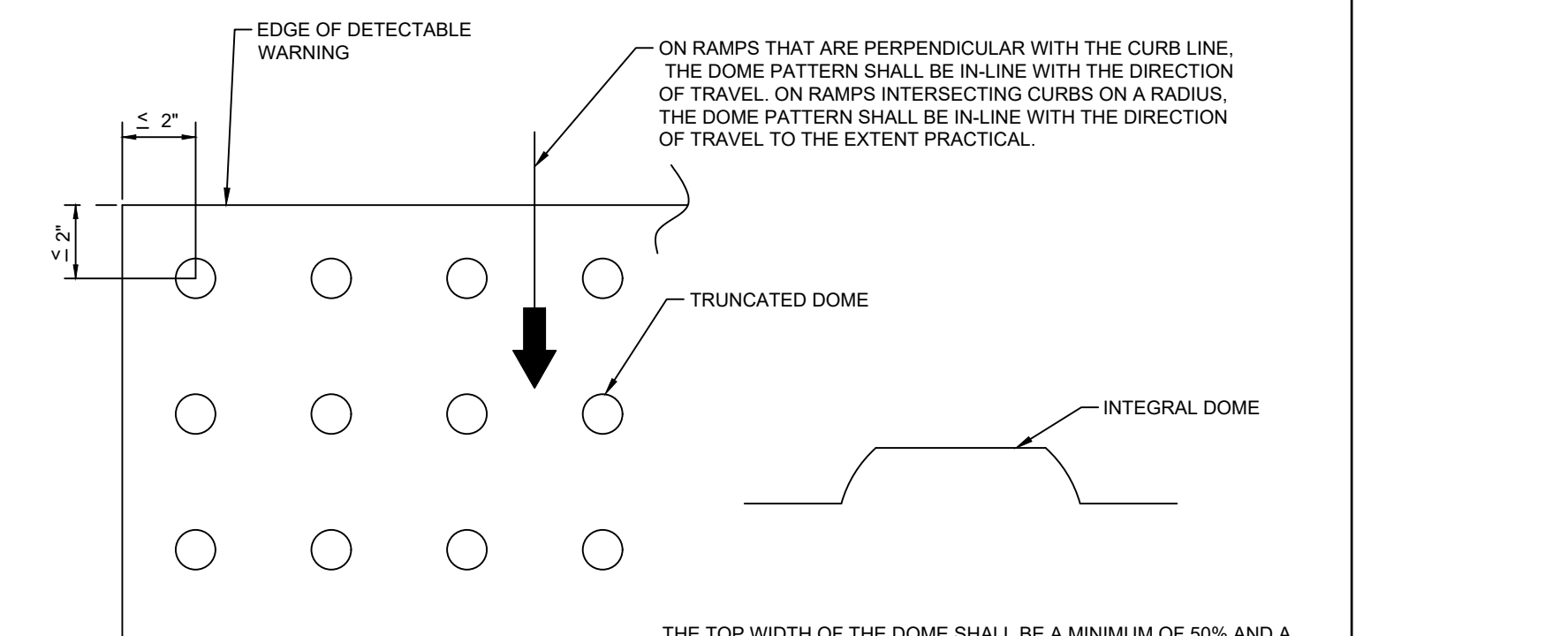
STOP BAR
SCALE: N.T.S.
DETAIL#: SD-16
REVISED 09/20/22



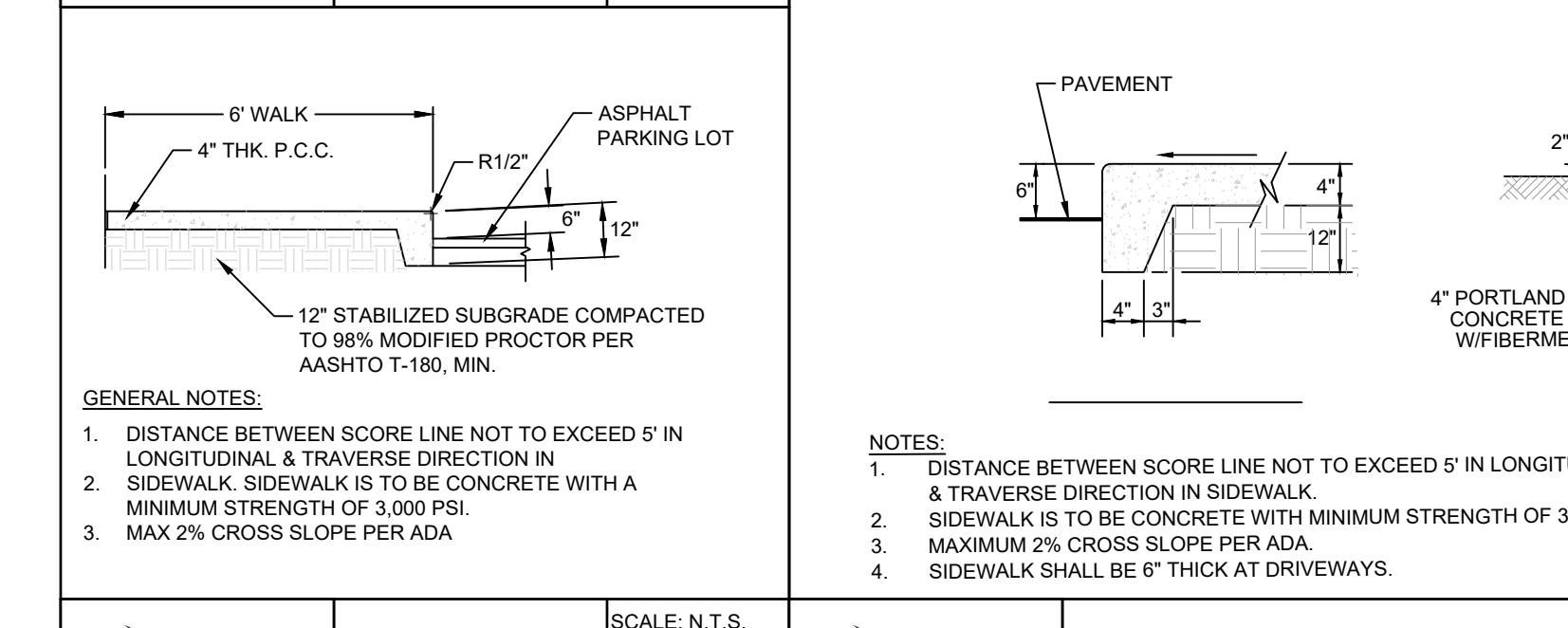
TYPICAL SIDEWALK DETAIL
SCALE: N.T.S.
DETAIL#: SD-19
REVISED 04/11/23



WHEELCHAIR RAMP IN SIDEWALK
SCALE: N.T.S.
DETAIL#: SD-20
REVISED 08/08/19



DETECTABLE WARNING DETAIL
SCALE: N.T.S.
DETAIL#: SD-18
REVISED 08/08/19



TURN DOWN SIDEWALK
SCALE: N.T.S.
DETAIL#: SD-18
REVISED 08/08/19

ENGINEERING PLANS FOR COSA FIRE STATION #2 CONSTRUCTION DETAILS 1 CITY OF ST. AUGUSTINE, FLORIDA

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GULFSTREAM DESIGN GROUP, LLC
2225 A1A S, SUITE A2
ST. AUGUSTINE, FLORIDA 32080
904.794.4231
matt@gulfstreamdesign.com
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PROJECT NO: 24-212
ISSUE DATE: 8-15-2025
DRAWN BY: TDP
DESIGNED BY: TVB
CHECKED BY: MHL
NOT VALID WITHOUT SEAL

DATE: 08/15/25
SHEET NO: 2024-P027
DRAWN BY: TVB
DRAWN BY: TDP
SCALE: 1/16" = 1'-0"
SHEET NUMBER: C-19

Section 2721
Engineered Surface Drainage Products

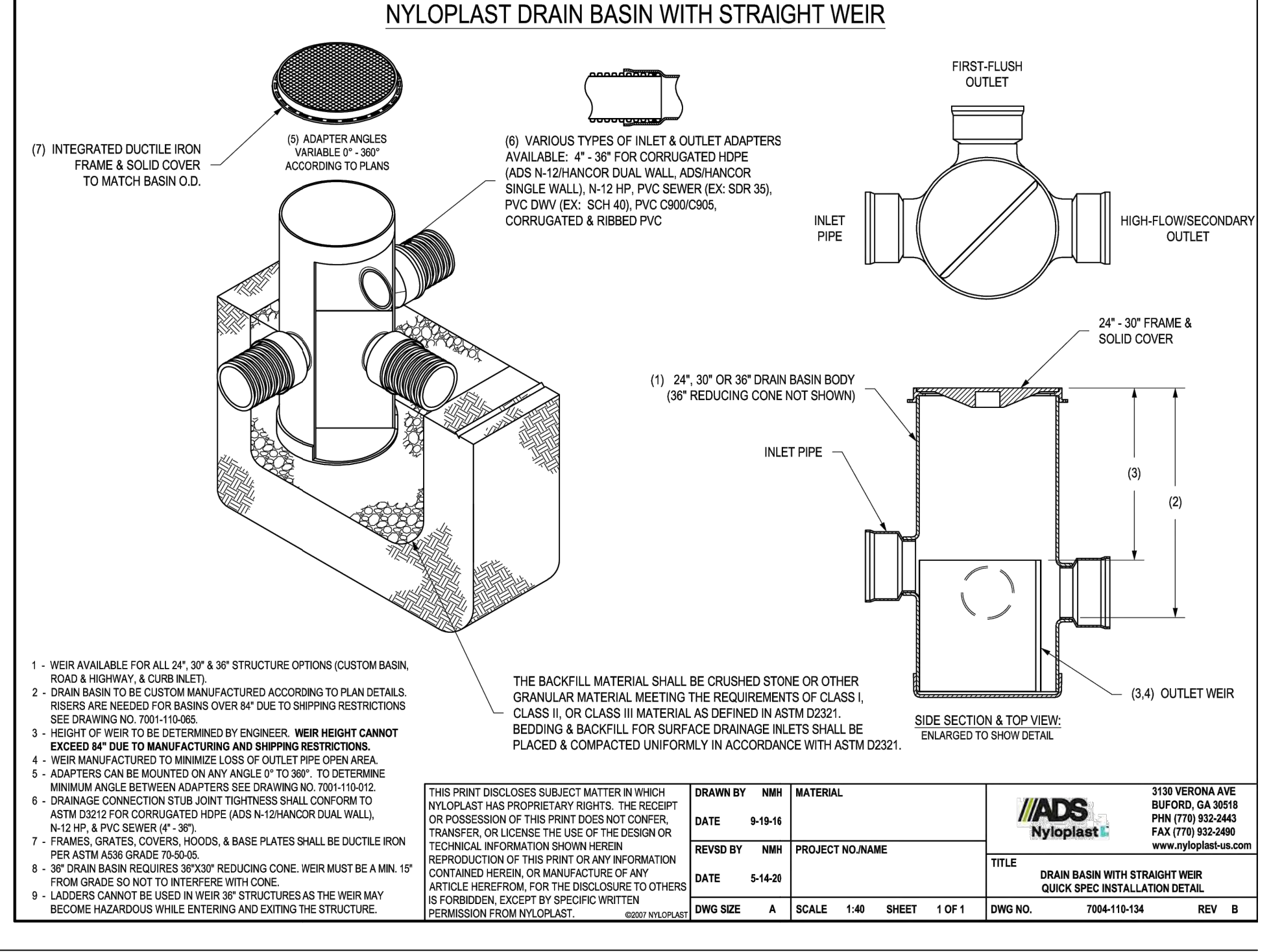
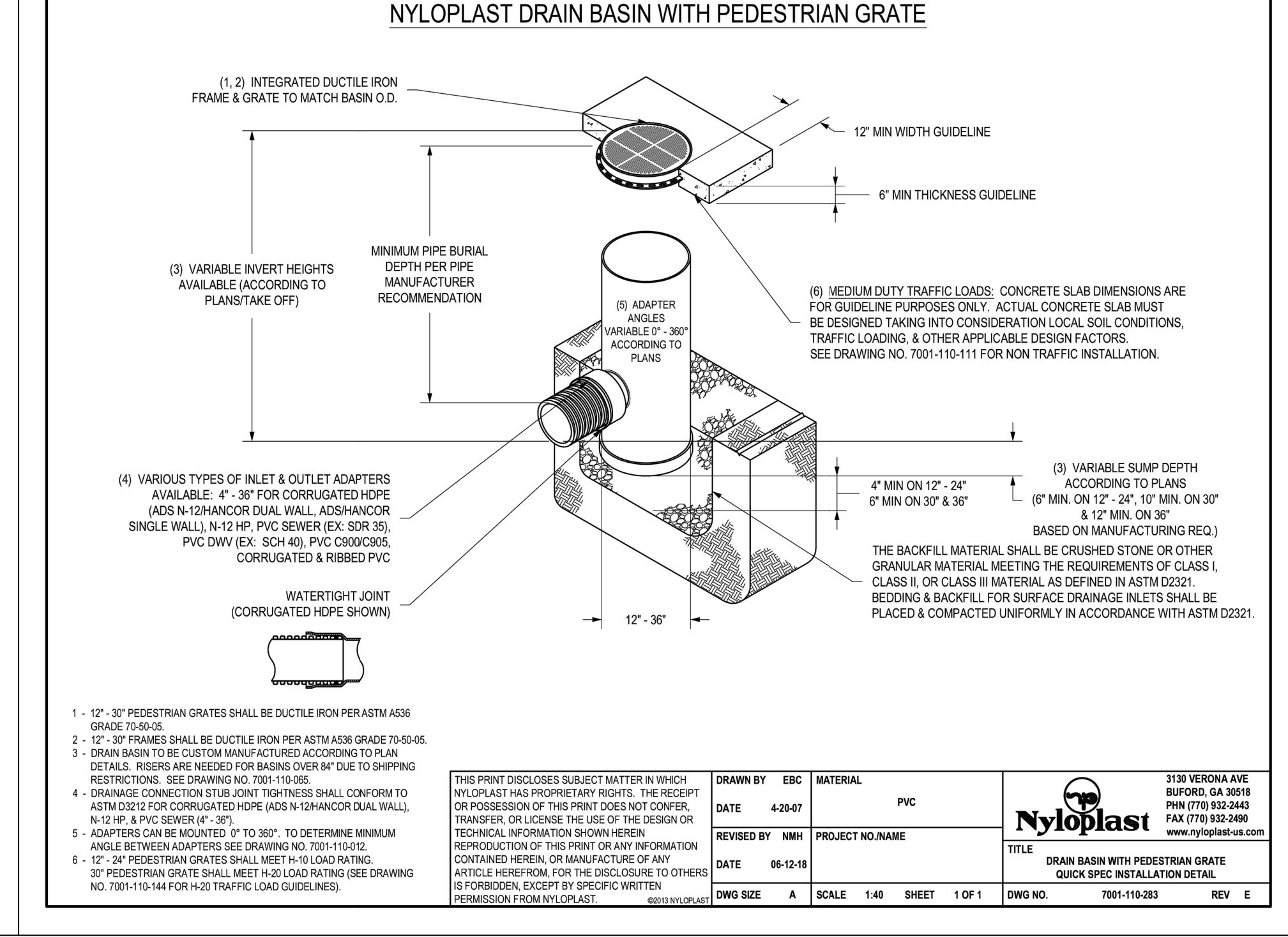
GENERAL
PVC surface drainage inlets shall include the drain basin type as indicated on the contract drawing and referenced within the contract specifications. The ductile iron grates for each of these fittings are to be considered an integral part of the surface drainage inlet and shall be furnished by the same manufacturer. The surface drainage inlets shall be as manufactured by Nyloplast a division of Advanced Drainage Systems, Inc., or prior approved equal.

MATERIALS
The drain basins required for this contract shall be manufactured from PVC pipe stock, utilizing a thermoforming process to reform the pipe stock to the specified configuration. The drainage pipe connection stubs shall be manufactured from PVC pipe stock and formed to provide a watertight connection with the specified pipe system. This joint tightness shall conform to ASTM D2321 for joints for drain and sewer plastic pipe using flexible elastomeric seals. The flexible elastomeric seals shall conform to ASTM E2277. The pipe seal gasket shall be joined to the main body of the drain basin or catch basin. The raw material used to manufacture the pipe stock that is used to manufacture the main body and pipe stubs of the surface drainage inlets shall conform to ASTM D1784 cell class 12454.

The grates and frames furnished for all surface drainage inlets shall be ductile iron for structure sizes 8", 10", 12", 15", 18", 24", 30" and 36" and shall be made specifically for each basin so as to provide a round bottom flange that closely matches the diameter of the surface drainage inlet. Grates for drain basins shall be capable of supporting various wheel loads as specified by Nyloplast. 12" and 15" square grates will be hinged to the frame using pins. Ductile iron used in the manufacture of the castings shall conform to ASTM A536 grade 70-50-05. Grates and covers shall be provided painted black.

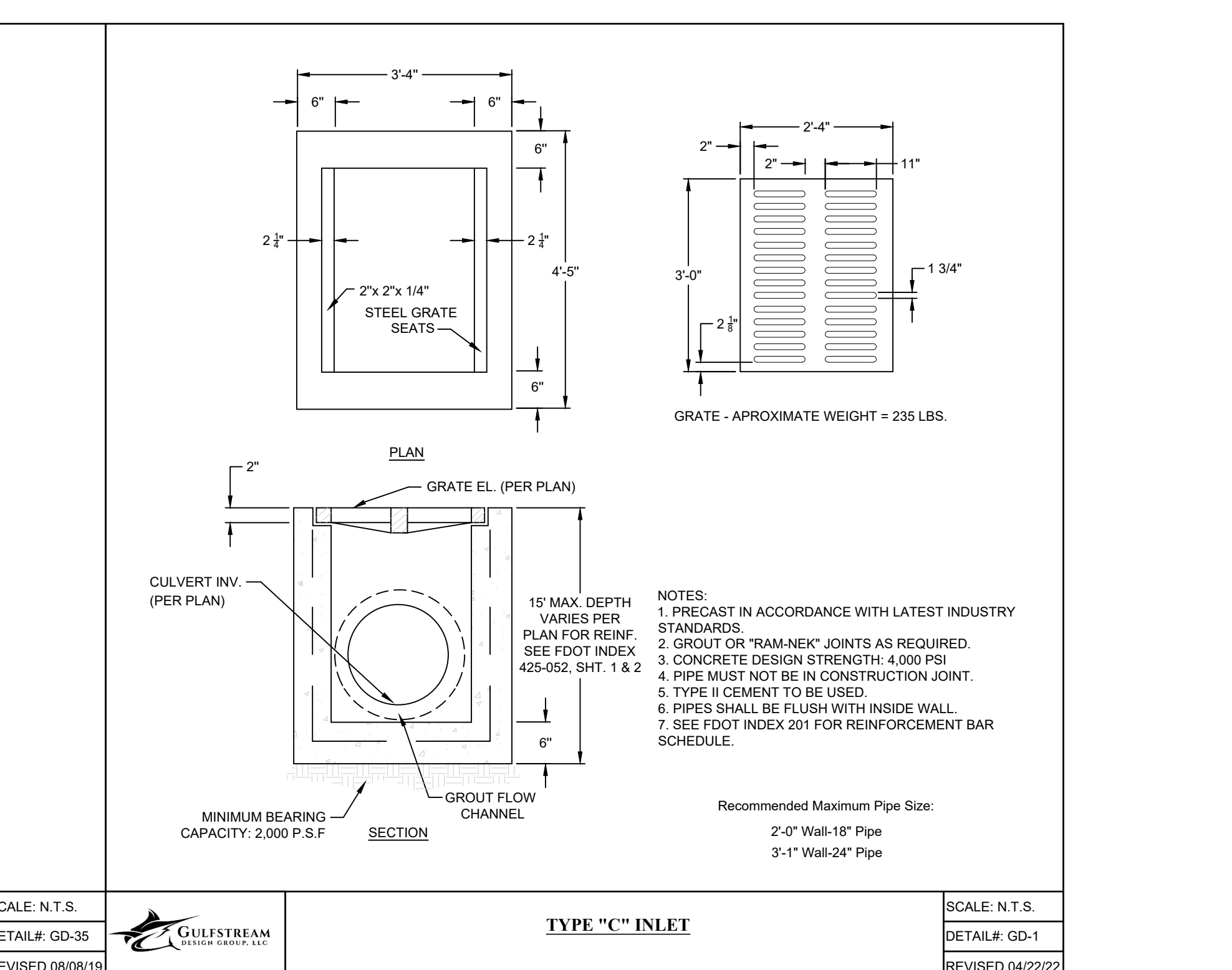
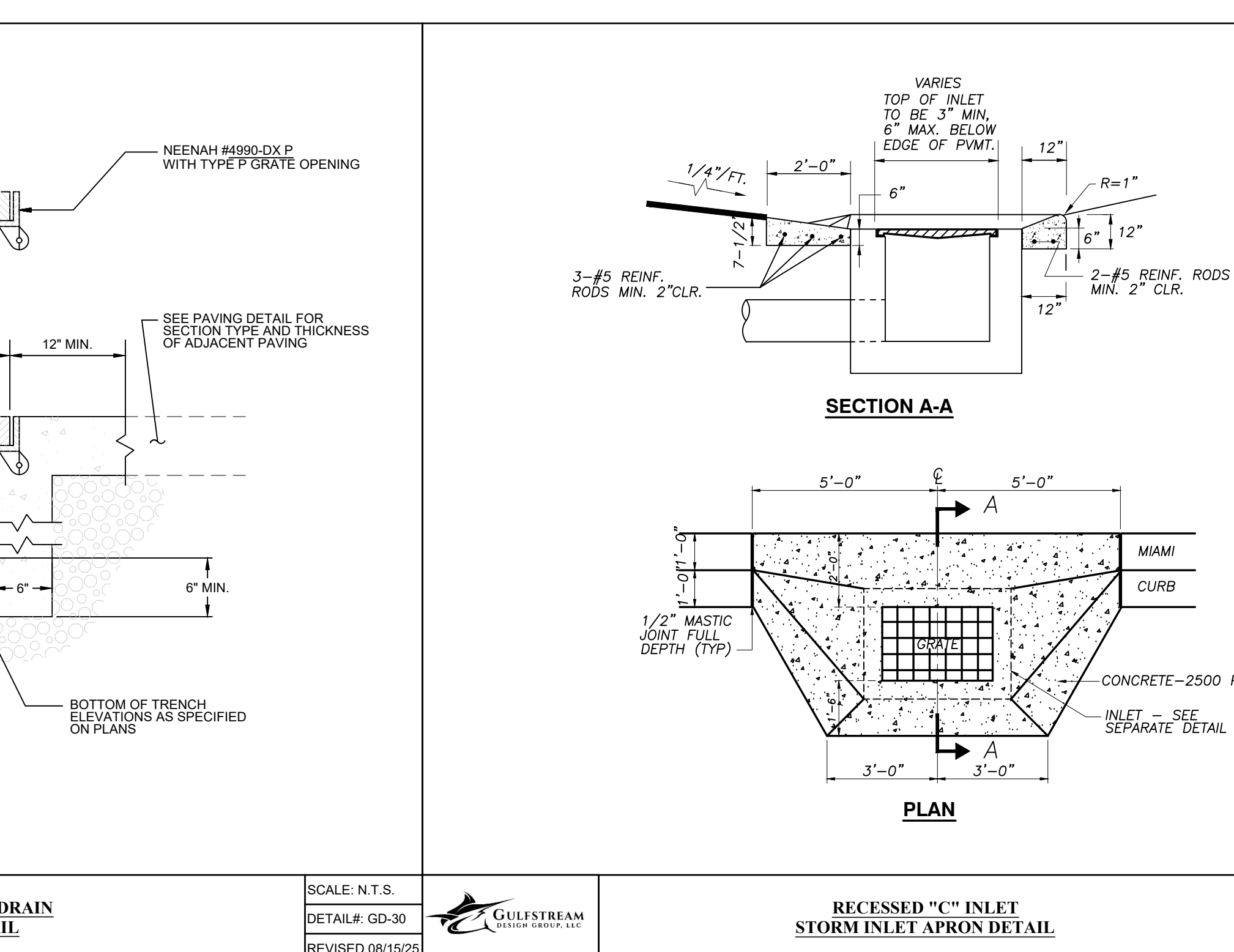
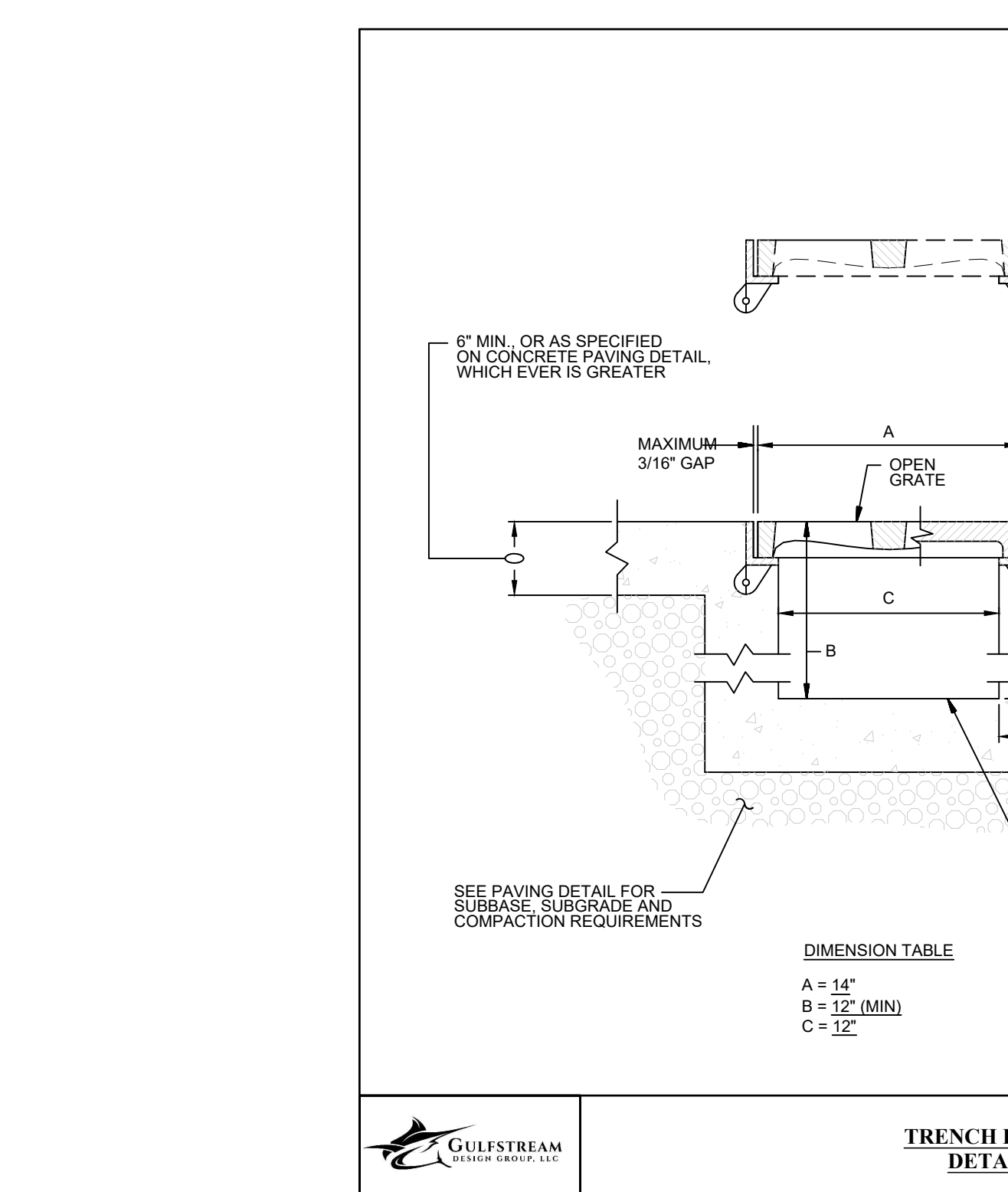
INSTALLATION
The specified PVC surface drainage inlet shall be installed using conventional flexible pipe backfill materials and procedures. The backfill material shall be crushed stone or other granular material meeting the requirements of class 1, class 2, or class 3 material as defined in ASTM D2321. Bedding and backfill for surface drainage inlets shall be well placed and compacted uniformly in accordance with ASTM D2321. The drain basin body will be cut at the time of the final grade. No brick, stone or concrete block will be required to set the grate to the final grade height. For load rated installations, a concrete slab shall be poured under and around the grate and frame. The concrete slab must be designed taking into consideration local soil conditions, traffic loading, and other applicable design factors. For other installation considerations such as migration of fines, ground water, and soft foundations refer to ASTM D2321 guidelines.

NO.	DATE	BY	DESCRIPTION
1	08/15/25	SD	PRELIMINARY PROGRESS PRINT
2	08/15/25	SD	SUBMITTAL
3			NOT FOR CONSTRUCTION



NO.	DATE	BY	DESCRIPTION
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2	08/15/25	SD	SUBMITTAL
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ENGINEERING PLANS FOR COSA FIRE STATION #2 CONSTRUCTION DETAILS 2
CITY OF ST. AUGUSTINE, FLORIDA

811
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GULFSTREAM DESIGN GROUP, LLC
2225 A1A S, SUITE A2
ST. AUGUSTINE, FLORIDA 32080
904.794.4231
matt@gulfstreamdesign.com
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PROJECT NO: 24-212
 ISSUE DATE: 8-15-2025
 DRAFTED BY: TDP
 DESIGNED BY: TVB
 CHECKED BY: MHL
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DATE: 08/15/25
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J2 ARCHITECTURE

 ARCHITECT


KUBO STUDIO

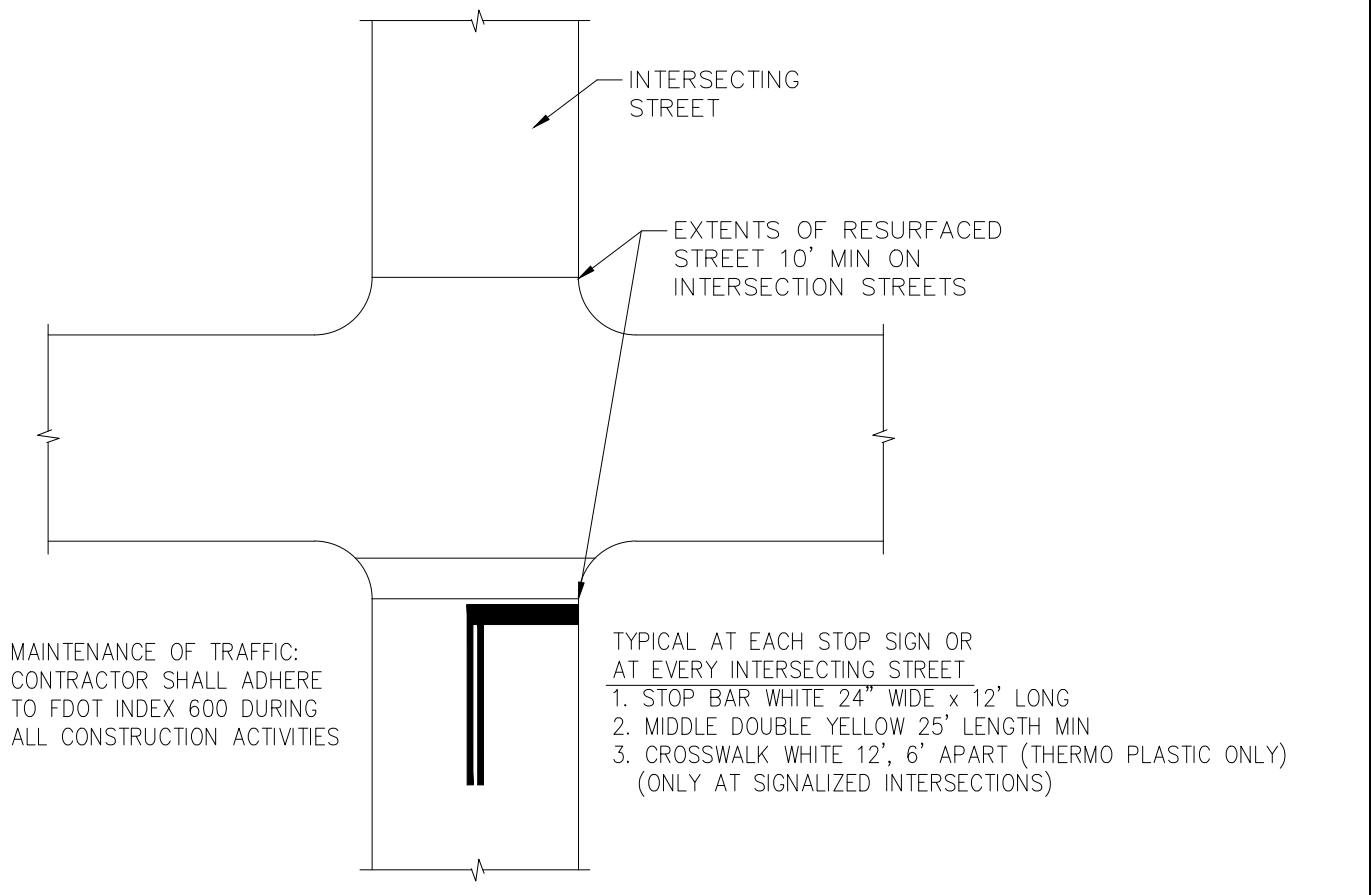
 ARCHITECT

CONSTRUCTION DETAILS 2

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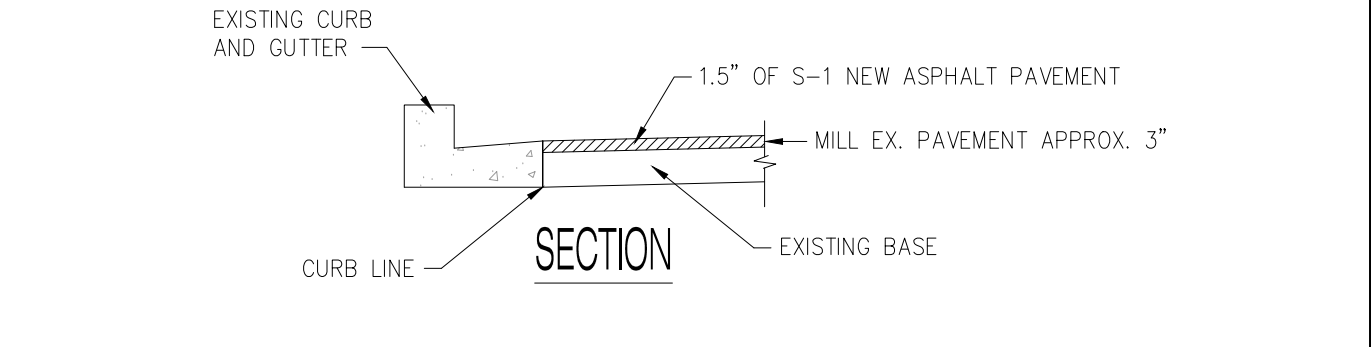

City of St. Augustine Paving and Drainage Details **PD-05A**
 PUBLIC WORKS DEPARTMENT
MILLING/SURFACING DETAIL- INTERSECTION
 DESC. AND GUTTERS WITHIN RESURFACING AREA DATE 10/3/07 REVISED 10/3/07



PLAN

Maintenance of Traffic:
CONTRACTOR SHALL ADHERE TO FDOT INDEX 600 DURING ALL CONSTRUCTION ACTIVITIES.

TYPICAL AT EACH STOP SIGN OR AT EVERY INTERSECTING STREET:
1. STOP SIGN WHITE 24" WIDE x 12" LONG
2. MIDDLE DOUBLE YELLOW 25' LENGTH MIN.
3. CROSSWALK WHITE 12", 6' APART (THERMO PLASTIC ONLY) (ONLY AT SIGNALIZED INTERSECTIONS)



SECTION

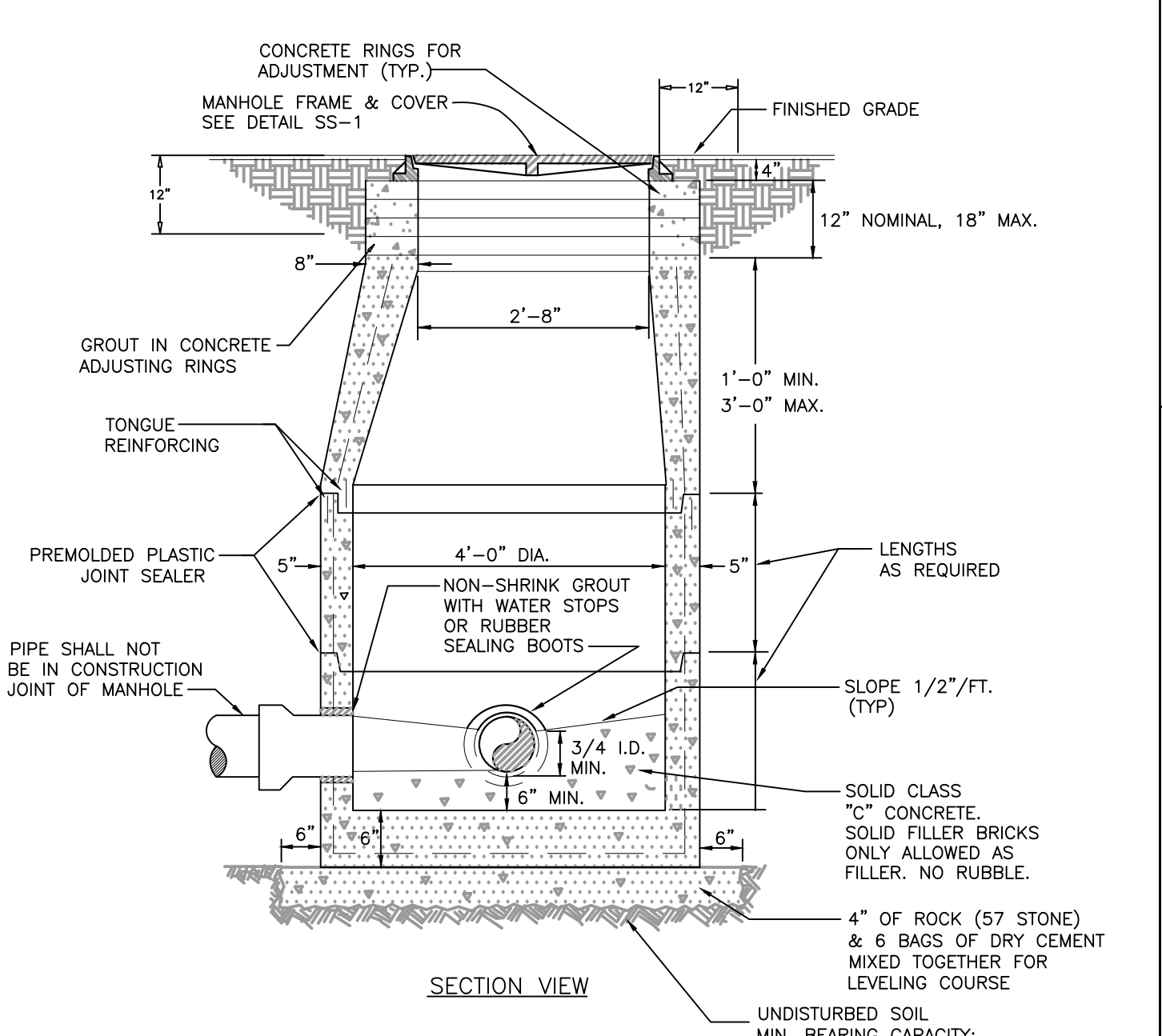
EXISTING CURB AND GUTTER

1.5" OF S-1 NEW ASPHALT PAVEMENT

MILL EX. PAVEMENT APPROX. 3"

EXISTING BASE

NOTES:
NEW ASPHALT OVER MILLED SURFACE SHALL BE PLACED SUCH THAT THERE REMAINS A SMOOTH AND LEVEL TRANSITION AT CURB LINE AND STREET STRUCTURES.



SECTION VIEW

CONCRETE RINGS FOR ADJUSTMENT (TYP.)

MANHOLE FRAME & COVER SEE DETAIL SS-1

FINISHED GRADE

12" NOMINAL, 18" MAX.

12" x 12" x 4"

2'-8"

1'-0" MIN. 3'-0" MAX.

GROUT IN CONCRETE ADJUSTING RINGS

TONGUE REINFORCING

PREMOLDED PLASTIC JOINT SEALER

4'-0" DIA.

NON-SHRINK GROUT WITH WATER STOPS OR RUBBER SEALING BOOTS

LENGTHS AS REQUIRED

SLOPE 1/2"/FT. (TYP.)

3/4" I.D. MIN.

SOLID CLASS "C" CONCRETE. SOLID FILLER BRICKS ONLY ALLOWED AS FILLER. NO RUBBLE.

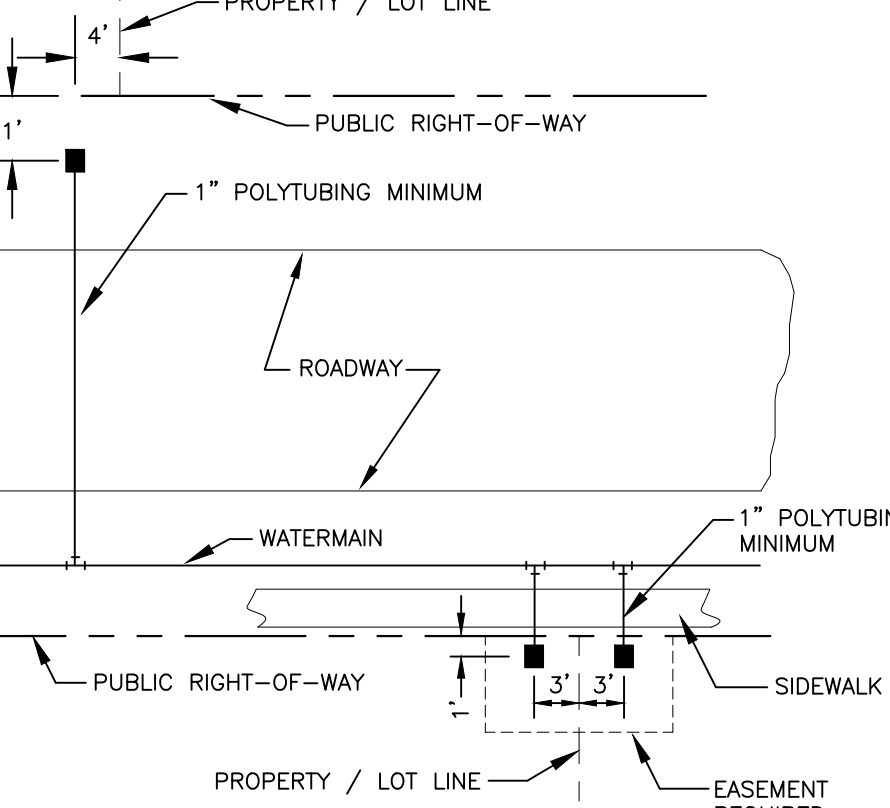
4" OF ROCK (57 STONE) & 6 BAGS OF DRY CEMENT MIXED TOGETHER FOR LEVELING COURSE

UNDISTURBED SOIL MIN. BEARING CAPACITY: 2000 LB/SQ FT.

NOTES:

- PREFCAST MANHOLE SECTIONS TO BE MANUFACTURED IN ACCORDANCE WITH LATEST EDITIONS OF ASTM C478 WITH 4000 PSI CONCRETE, TYPE II CEMENT.
- THE EXTERIOR OF MANHOLE AND ADJUSTING RINGS SHALL BE GIVEN TWO COATS OF WATERPROOFING MATERIAL, CS-55 BY CONCRETE SEALANTS, INC. OR APPROVED EQUAL. DO NOT COAT JOINT OR PIPE OPENING SURFACES.
- THE INTERIOR SURFACE SHALL BE COATED WITH SEMIPERMEABLE OR SPECTRASHIELD PROTECTIVE COATING SYSTEM TO PREVENT CONCRETE DETERIORATION FROM HYDROGEN SULFIDE AND OTHER CORROSIVE GASES.
- IF SPECIALTY LINER TO BE INSTALLED ON INSIDE OF MANHOLE, INTERIOR COATING SHALL BE OMITTED.
- MANHOLES IMMEDIATELY UPSTREAM OF PUMPING STATIONS REQUIRE FIBERGLASS LINING. MANHOLES RECEIVING FORCE MAIN FLOW LESS THAN OR EQUAL TO 4-INCH FORCE MAIN MAY BE LINED WITH SEMIPERMEABLE OR SPECTRASHIELD. MANHOLES RECEIVING FORCE MAIN FLOW GREATER THAN 4-INCH FORCE MAIN REQUIRE FIBERGLASS LINING.

NOTES:
FOR LOCATIONS WITH CURBING, ETCH THE LETTER "W" MINIMUM OF 2 INCHES HIGH AND 1/4 INCH DEEP IN FACE OF CURB, AND PAINT BLUE. FOR LOCATIONS WITHOUT CURBING BUT WITH SIDEWALK, ETCH THE LETTER "W" MINIMUM OF 2 INCHES HIGH AND 1/4 INCH DEEP IN ALL LOCATIONS AND CONDITIONS. A STAINLESS STEEL DISC AND NAIL MAY BE USED. DISC SHALL BE 1-1/2" DIAMETER, AND ENGRAVED WITH THE WORD "WATER" CENTERED AT THE 12 O'CLOCK POSITION ON THE DISC. NAIL AND DISC SHALL BE INSTALLED AT THE EDGE OF PAVEMENT, CURBING OR SIDEWALK DIRECTLY IN LINE WITH THE WATER SERVICE. THE CITY MAY REQUIRE OTHER MEANS OF IDENTIFICATION SUCH AS TREATED FENCE POSTS PAINTED BLUE ON TOP TO MARK SERVICES FOR FUTURE DEVELOPMENT.



PROPERTY / LOT LINE

PUBLIC RIGHT-OF-WAY

ROADWAY

WATERMAIN

1" POLYTUBING MINIMUM

1" POLYTUBING MINIMUM

PROPERTY / LOT LINE

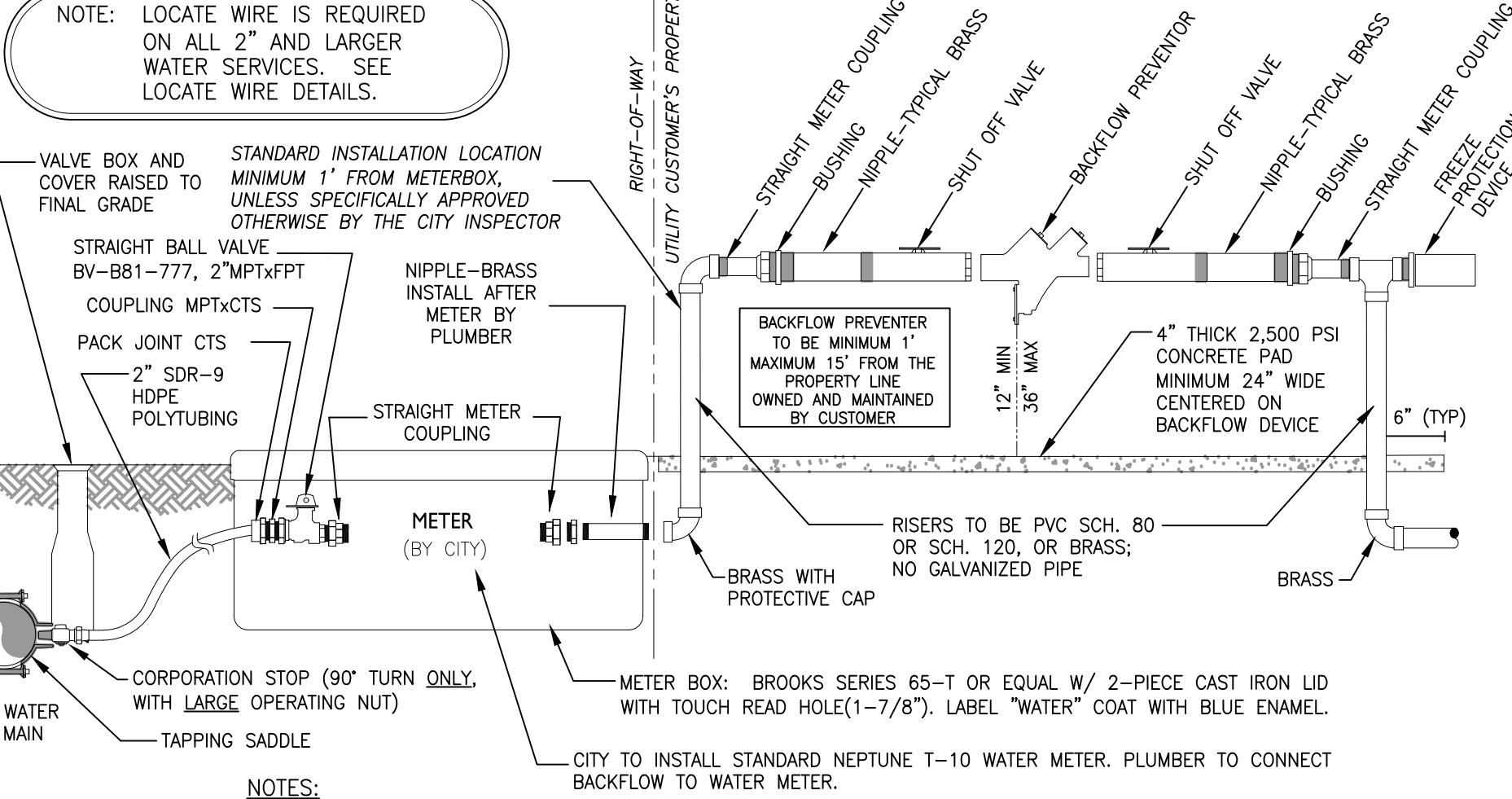
EASEMENT REQUIRED

SIDEWALK

NOTES:

- THE SKETCHES ABOVE ARE SUGGESTIONS FOR SOME TYPICAL INSTALLATIONS. ACTUAL INSTALLATIONS MAY VARY SLIGHTLY ACCORDING TO FIELD CONDITIONS. CITY INSPECTOR SHALL DIRECT METER BOX LOCATIONS FOR A-TYPICAL INSTALLATIONS.
- IF AN EASEMENT IS LOCATED BETWEEN LOTS, METERS TO BE LOCATED 3' OUTSIDE OF EASEMENT LINE.
- WHENEVER POSSIBLE, METER BOXES SHALL BE LOCATED OUTSIDE OF PAVEMENT.
- METER BOXES SHALL BE INSTALLED ON LEVEL GROUND.
- WHERE METER BOXES ARE INSTALLED ON PRIVATE PROPERTY, A UTILITY EASEMENT WILL BE REQUIRED.

2" TAP AND WATER METER SET-UP WITH BACKFLOW PREVENTER CONFIGURATION



NOTE: LOCATE WIRE IS REQUIRED ON ALL 2" AND LARGER WATER SERVICES. SEE LOCATE WIRE DETAILS.

VALVE BOX AND COVER RAISED TO MINIMUM 1" FROM METERBOX, UNLESS SPECIFICALLY APPROVED OTHERWISE BY THE CITY INSPECTOR

STRAIGHT BALL VALVE BY-B81-777, 2" MPF x FPT COUPLING MPFXCTS

PACK JOINT CTS 2" SDR-9 HDPE POLYTUBING

STRAIGHT METER COUPLING

METER (BY CITY)

CORPORATION STOP (90° TURN ONLY WITH LARGE OPERATING NUT)

TAPPING SADDLE

PROPERTY / LOT LINE

UTILITY CUSTOMER'S PROPERTY

STRAIGHT METER COUPLING

BRASS WITH PROTECTIVE CAP

SHUT OFF VALVE

BACKFLOW PREVENTER

METER BOX: BROOKS SERIES 65-T OR EQUAL W/ 2-PIECE CAST IRON LID WITH TOUCH READ HOLE(1-7/8)". LABEL "WATER" COAT WITH BLUE ENAMEL.

CITY TO INSTALL STANDARD NEPTUNE T-10 WATER METER. PLUMBER TO CONNECT BACKFLOW TO WATER METER.

BACKFLOW PREVENTER TO BE MINIMUM 1" MAXIMUM 15" FROM THE PROPERTY LINE OWNED AND MAINTAINED BY CUSTOMER

4" THICK 2,500 PSI CONCRETE PAD MINIMUM 24" WIDE CENTERED ON BACKFLOW DEVICE

6" (TYP.)

RISERS TO BE PVC SCH. 80 OR SCH. 120, OR BRASS. NO GALVANIZED PIPE.

BRASS

NOTES:

- ALL MATERIALS TO CONFORM TO CITY OF ST. AUGUSTINE LIST OF APPROVED MATERIALS AND MANUFACTURERS, OR PRE-APPROVED EQUAL.
- ALL FITTINGS TO BE BRASS, UNLESS SPECIFICALLY APPROVED OTHERWISE BY THE CITY.
- CONTRACTOR TO PROVIDE AND INSTALL ALL MATERIALS EXCEPT THE WATER METER. CITY OF ST. AUGUSTINE WILL INSTALL THE WATER METER IN THE METER BOX ASSEMBLY THAT IS FULLY CONSTRUCTED BY THE CONTRACTOR IN ACCORDANCE WITH THIS DETAIL.

SANITARY SEWER TYPE "A" MANHOLE 8" - 21" SEWERS REVISION DATE: FEB 2017 NOT TO SCALE: SS-2	WATER METER LOCATIONS 3/4" - 2" METERS REVISION DATE: FEB 2017 NOT TO SCALE: W-1	2" TAP AND WATER METER SET-UP WITH BACKFLOW PREVENTER CONFIGURATION REVISION DATE: FEB 2017 NOT TO SCALE: W-2C
--	--	--

ENGINEERING PLANS FOR COSA FIRE STATION #2 CONSTRUCTION DETAILS 3
CITY OF ST. AUGUSTINE, FLORIDA

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2225 A1A S, SUITE A2
ST. AUGUSTINE, FLORIDA 32080
854.754.4231
matt@gulfstreamdesign.com
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CHECKED BY: MHL
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NO. 2024-P027
DESIGNED BY: TVB
DRAWN BY: TDP
SCALE: 1/16" = 1'-0"
SHEET NUMBER: C-21

NO.	DATE	REVISIONS DESCRIPTION



CITY OF ST. AUGUSTINE
500 ANASTASIA BLVD, ST AUGUSTINE, FL 32080



CITY OF ST. AUGUSTINE
500 ANASTASIA BLVD, ST AUGUSTINE, FL 32080



KUBO STUDIO
2025 W. GULFSTREAM BLVD
SUITE 100
ST. AUGUSTINE, FL 32080



J2 ARCHITECTURE
100 S. GULFSTREAM BLVD
SUITE 100
ST. AUGUSTINE, FL 32080



CITY OF ST. AUGUSTINE
500 ANASTASIA BLVD, ST AUGUSTINE, FL 32080

CITY OF ST. AUGUSTINE
500 ANASTASIA BLVD, ST AUGUSTINE, FL 32080

NO.	DATE	REVISIONS DESCRIPTION

PRELIMINARY PROGRESS PRINT

SD
08/15/25

NOT FOR CONSTRUCTION

NAME: _____

PROFESSIONAL NAME: _____

DATE: _____

NO.: _____

DESIGNER: _____

CONSTRUCTION MANAGER: _____

CONSULTANT: _____

NO.	DESCRIPTION	DATE

PRELIMINARY PROGRESS PRINT
SD
08/15/25
SUBMITTAL
NOT FOR CONSTRUCTION

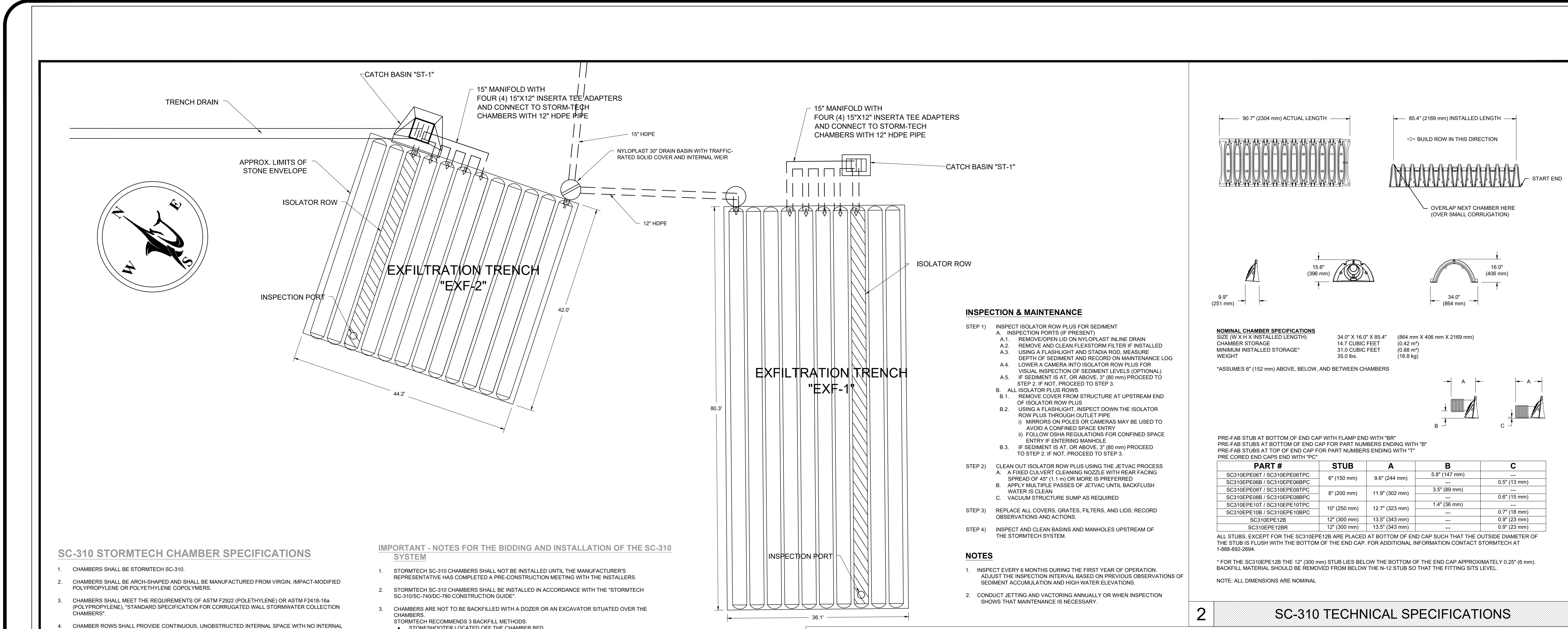
DESIGNER: **J2 ARCHITECTURE**
CONSULTANT: **KUBO STUDIO**

PROJECT NO: 24-212
ISSUE DATE: 8-15-2025
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SC-310 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-310.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE OR POLYETHYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLYETHYLENE) OR ASTM F2418-16a (POLYPROPYLENE), "STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE ASHOTO LRVB BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE ASHOTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2207, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (1-MIN) ASHOTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER; 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) ASHOTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.3 OF ASTM F2922 SHALL BE GREATER THAN OR EQUAL TO 400 LB-IN. AND 3) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE. AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.50 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2927 AND BY SECTIONS 3 AND 12.12 OF THE ASHOTO LRVB BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2922 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 10-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-310 SYSTEM

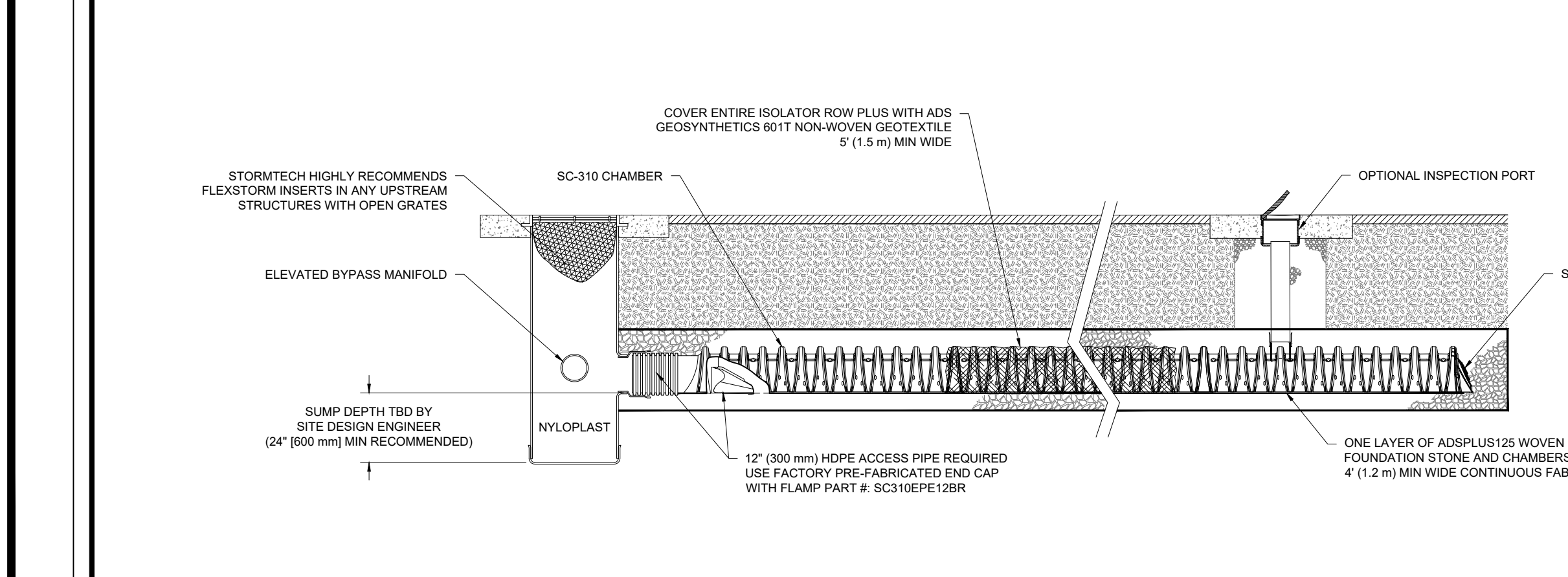
- STORMTECH SC-310 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-310 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740DC-780 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS.
 - STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - BACKFILL FROM INSIDE THE EXCAVATION USING A LONG-BOOM HOSE OR EXCAVATOR.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG-BOOM HOSE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4" (20-50 mm).
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ASD RECOMMENDS THE USE OF "FLEXISTONE CAT-CAT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH SC-310 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740DC-780 CONSTRUCTION GUIDE".
- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-310 & SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TYRED LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740DC-780 CONSTRUCTION GUIDE".
- FULL 30" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2094 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



SC-310 ISOLATOR ROW PLUS DETAIL

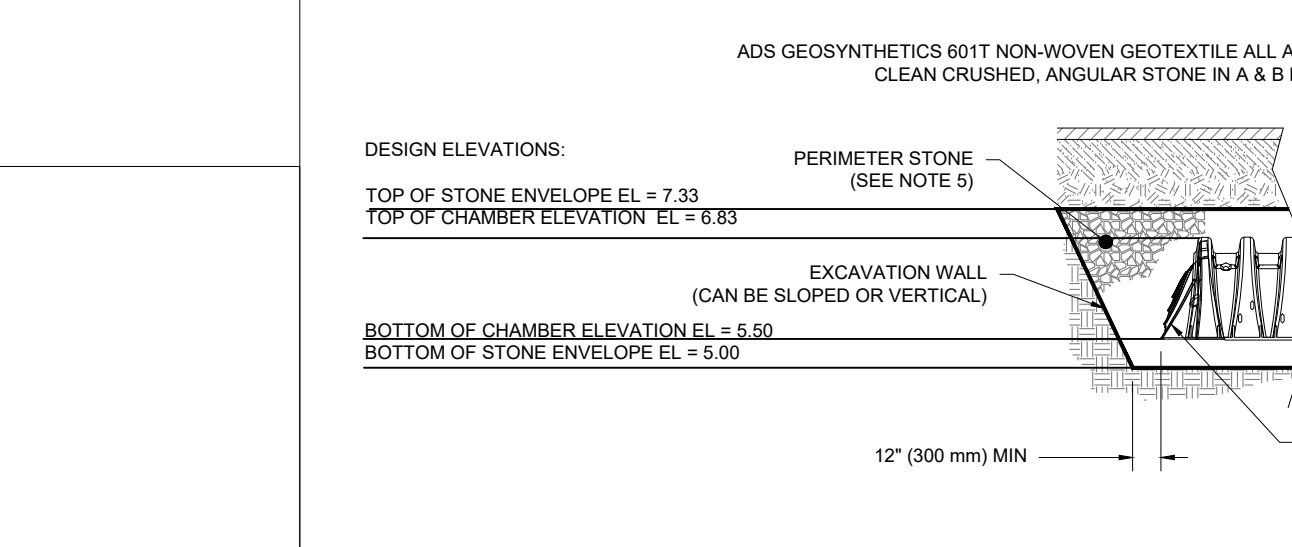
INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- INSPECTION PORTS (IF PRESENT)
 - REMOVE OPEN LID ON NYLOPLAST PALNE DRAIN
 - REMOVE AND CLEAN FLEXISTONE FILTER IF INSTALLED
 - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL) IF SEDIMENT IS AT OR ABOVE 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR ROW PLUS ROWS
- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
 - USE A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
 - MIRRORS OR HOLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - IF ENTERING MANHOLE
 - IF SEDIMENT IS AT OR ABOVE 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A FLEXIBLE CLEANING NOZZLE WITH REAR FACING SPRAY OF 45° (1.1 m) OR MORE IS PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

ACCEPTABLE FILL MATERIALS: STORMTECH SC-310 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	ASHOTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	NA	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('E' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <30% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	ASHOTO M145 A-1, A-2, A-3 OR ASHOTO M43 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 90% PROCTOR DENSITY FOR WELL-GRADED MATERIAL, AND 90% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 20,000 lbs (90 kN). FORCE NOT TO EXCEED 20,000 lbs (90 kN).
B EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	ASHOTO M43 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT/BOTTOM OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	ASHOTO M43 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{1,3}

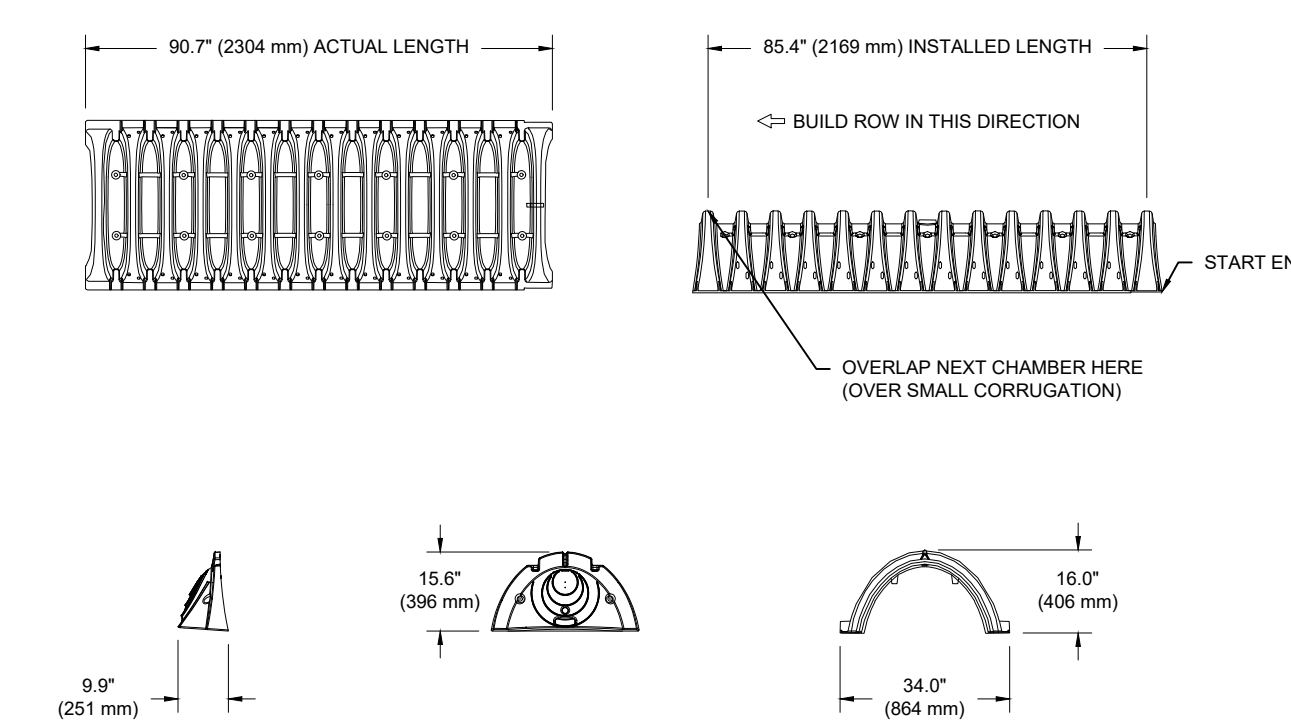
- PLEASE NOTE:
- THE LISTED ASHOTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (ASHOTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED BY 6" (150 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLYETHYLENE) OR ASTM F2418-16a (POLYPROPYLENE), "STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-310 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2927 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.3 OF ASTM F2922 SHALL BE GREATER THAN OR EQUAL TO 400 LB-IN. AND 3) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

SC-310 CROSS SECTION DETAIL



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H INSTALLED LENGTH)	CHAMBER STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT
34.7\"/>			

*ASSUMES 6" (152 mm) ABOVE, BELOW, AND BETWEEN CHAMBERS

PART #	STUB	A	B	C
SC310PE12R / SC310PE12RC	6" (150 mm)	9.6" (244 mm)	5.8" (147 mm)	0.9" (23 mm)
SC310PE12R / SC310PE12RC	8" (200 mm)	11.9" (302 mm)	3.5" (89 mm)	—
SC310PE12R / SC310PE12RC	10" (250 mm)	12.7" (323 mm)	1.4" (36 mm)	0.6" (15 mm)
SC310PE12R / SC310PE12RC	12" (300 mm)	13.5" (343 mm)	—	0.9" (23 mm)
SC310PE12R	12" (300 mm)	13.5" (343 mm)	—	0.9" (23 mm)

ALL STUBS, EXCEPT FOR THE SC310PE12R ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2094.

* FOR THE SC310PE12R THE 12" (300 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 0.25" (6 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE 12" STUB SO THAT THE FITTING SITE LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL.

2 SC-310 TECHNICAL SPECIFICATIONS

DATE: _____ PROJECT NO.: _____ NOT TO SCALE

DRAWN: _____ REVIEWED: _____ REV: _____

SC-310 STANDARD DETAILS

4640 TRUCEMAN BLVD
HILLIARD, OH 43026

stormtech
ADVANCED DRAINAGE SYSTEMS, INC.

WSDS
ADVANCED DRAINAGE SYSTEMS, INC.

SHEET

REVISIONS

NO.	DATE	BY	DESCRIPTION

ENGINEERING PLANS
FOR
COSA FIRE STATION #2
MOT DETAILS
CITY OF ST. AUGUSTINE, FLORIDA

GULFSTREAM DESIGN GROUP, LLC
2225 A1A S, SUITE A2
ST. AUGUSTINE, FLORIDA 32080
904.794.4231
matt@gulfstreamdesign.com
© GULFSTREAM DESIGN GROUP, LLC 2025

PROJECT NO: 24-212
ISSUE DATE: 8-15-2025
DRAFTED BY: TVB
DESIGNED BY: TVB
CHECKED BY: MHL
NOT VALID WITHOUT SEAL

23

This instrument was prepared by:

Nick Asselta

Action Title Services of St. Johns County, Inc.

3670 US 1 South, Suite 110, St. Augustine, Florida 32086

File Number: 26708

Documentary Stamps Paid: \$28,000.00

Consideration: \$4,000,000.00

This Corporate Warranty Deed

This Indenture, made , January 13, 2025 A.D.

Between Jabez Enterprises, Inc. whose post office address is: 500 Anastasia Boulevard, St.

Augustine, Florida 32080 a corporation existing under the laws of the State of Florida, Grantor and

The City of St. Augustine, Florida, a municipality of the State of Florida whose post office address

is: 75 King Street, St. Augustine, FL 32084, Grantee.

Witnesseth, that the said Grantor, for and in consideration of the sum of **Ten Dollars and no cents (\$10.00)** , to it in hand paid by the said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee forever, the following described land, situate, lying and being in the County of **St. Johns**, State of Florida, to wit:

Lots 2, 3, 4, 5, 15, 16, 17, 18, and 19, Block 33, DAVIS SHORES OCEAN VIEW SECTION, according to the Plat thereof as recorded in Map Book 3, Pages 97, 98, 99, 100, 101, and 102, of the Public Records of St. Johns County, Florida, LESS AND EXCEPTING therefrom that portion heretofore conveyed to the State of Florida for road right-of-way purposes as set forth in instrument recorded in Official Records Book 65, Page 337, of the Public Records of St. Johns County, Florida.

ALSO LESS AND EXCEPT that portion of the above-described property previously conveyed by virtue of that certain deed in Official Records Book 3874, Page 460, to wit:

That part of Lots 2 and 19, Block 33, DAVIS SHORES OCEAN VIEW SECTION, according to the Plat thereof as recorded in Map Book 3, Pages 97 through 102, inclusive, of the Public Records of St. Johns County, Florida, being more fully described as follows:

BEGINNING at the intersection of the Northerly right of way line of State Road A1A, also known as Anastasia Boulevard, said right of way having a width of 100 feet, with the Easterly line of said Lot 19; thence North 20° 56' 00" East along said Easterly line 63.72 feet to the Southeasterly corner of said Lot 2; thence North 50° 50' 00" East along the Southeasterly line of said Lot 2 a distance of 74.89 feet to the Northeasterly right of way line of Comares Avenue, a 60' wide right of way; thence South 57° 45' 02" West departing said last right of way line 42.60 feet; thence South 49° 07' 12" West 37.60 feet; thence South 22° 00' 14" West 61.38 feet to a point on aforesaid Northerly right of way line; thence South 69° 12' 09" East along said Northerly right of way line 7.13 feet to the POINT OF BEGINNING.

SUBJECT TO covenants, restrictions, easements, limitations and reservations of record, if any. However, this reference does not reimpose same. Subject to all applicable zoning ordinances and/or restrictions and prohibitions imposed by governmental authorities, if any. Subject to taxes and assessments for the current year.

Parcel Identification Number: **218570-0000**


Said property is not the homestead of the Grantor(s) under the laws and constitution of the State of Florida in that neither Grantor(s) or any members of the household of Grantor(s) reside thereon as defined by Article X, Section 4 of the Florida Constitution, nor is it adjacent to or contiguous with any of his/their homestead(s).

And the said Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.


In Witness Whereof, the said Grantor has caused this instrument to be executed in its name by its duly authorized officer and caused its corporate seal to be affixed the day and year first above written.


Two different witnesses have signed below (the notary may be one of the witnesses). Neither the witnesses nor the notary is related to the grantor(s) or has any beneficial interest in the sale of the property described herein. Both witnesses must print their mailing addresses as required by §695.26 of the Florida Statutes.

Jabez Enterprises, Inc.

By: 
Edward R. Nettles, III
Its President

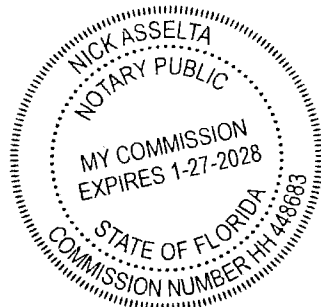
Signed and Sealed in Our Presence:


(1) 
Witness Print Name: Nick Asselta
Witness Address: 3670 US1 S. Ste. 110, St. Augustine, FL 32086

(2) 
Witness Print Name: Craig M. Herzog
Witness Address: 3670 US1 S. Ste. 110, St. Augustine, FL 32086

State of FLORIDA
County of ST. JOHNS

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this **January 10, 2025**, by **Edward R. Nettles, III**, the **President** of **Jabez Enterprises, Inc.** A corporation existing under the laws of the State of Florida, on behalf of the corporation. He has produced **VALID DRIVER'S LICENSE** .





Notary Public
Notary Printed Name: Nick Asselta
My Commission Expires: **1/27/2028**

(Notary Seal)

St. Johns County, FL

Apply for Exemptions

Apply for Exemptions

Homestead Compliance

This form is not a Homestead Exemption application. To apply online for homestead and related exemptions, please click [here](#).

Homestead Compliance

Sales Questionnaire Form

If you are a new owner of this property, please click here to submit a Sales Questionnaire

Sales Questionnaire

2024 TRIM Notice

2024 TRIM Notice (PDF)

Summary

Parcel ID 2185700000
Location 500 ANASTASIA BLVD
Address SAINT AUGUSTINE 32080-0000
Neighborhood Retail Stores Anastasia (COM) (680.3)
Tax 3-100 DAVIS SHORES LOTS 2 3 4 5 & & 15 ALL LOTS 16 17 18 & 19 (EX
Description* PT OF LTS 2 & 19 IN OR3874/460) (EX R/W RD #A1A IN OR65/337)
 BLK 33 OR6082/1951
**The Description above is not to be used on legal documents.*
Property Use Owner Occupied Stores (1105)
Code
Subdivision Davis Shores Ocean View Section
Sec/Twp/Rng 16-7-30
District City of St Augustine (District 452)
Millage Rate 19.5552
Acreage 1.270
Homestead N

Owner Name [City Of St Augustine](#) 100%
Mailing Address 75 KING ST
 SAINT AUGUSTINE, FL 32084-0000

[Click Here to Open Cyclomedia Viewer in a New Tab](#)



Exemption Information

Exemption Type	Status	Amount
City		\$1,347,049

Map



Valuation Information

Assessed Year	2026
Building Value	\$473,804.00
Extra Features Value	\$43,427.00
Total Land Value	\$829,818.00
Agricultural (Assessed) Value	\$0.00
Agricultural (Market) Value	\$0.00
Just Market	\$1,347,049.00
Total Deferred	\$0.00
Assessed Value	\$1,347,049.00
Total Exemptions	\$1,347,049.00
Taxable Value	\$0.00

Values listed are from our working tax roll and are subject to change. Exemption and taxable values shown reflect County-level assessment.

Historical Assessment Information

Year	Building Value	Extra Feature Value	Total Land Value	Ag (Market) Value
2025	\$414,947	\$45,426	\$829,818	\$0
2024	\$407,669	\$48,306	\$553,212	\$0
2023	\$357,643	\$48,946	\$553,212	\$0
2022	\$158,645	\$14,025	\$675,318	\$0
2021	\$118,984	\$17,242	\$675,318	\$0
2020	\$124,649	\$20,458	\$675,318	\$0
2019	\$106,842	\$20,769	\$541,569	\$0
2018	\$154,737	\$26,287	\$715,975	\$0
2017	\$73,684	\$16,277	\$660,900	\$0
2016	\$73,684	\$16,277	\$660,900	\$0
2015	\$77,369	\$16,277	\$660,900	\$0

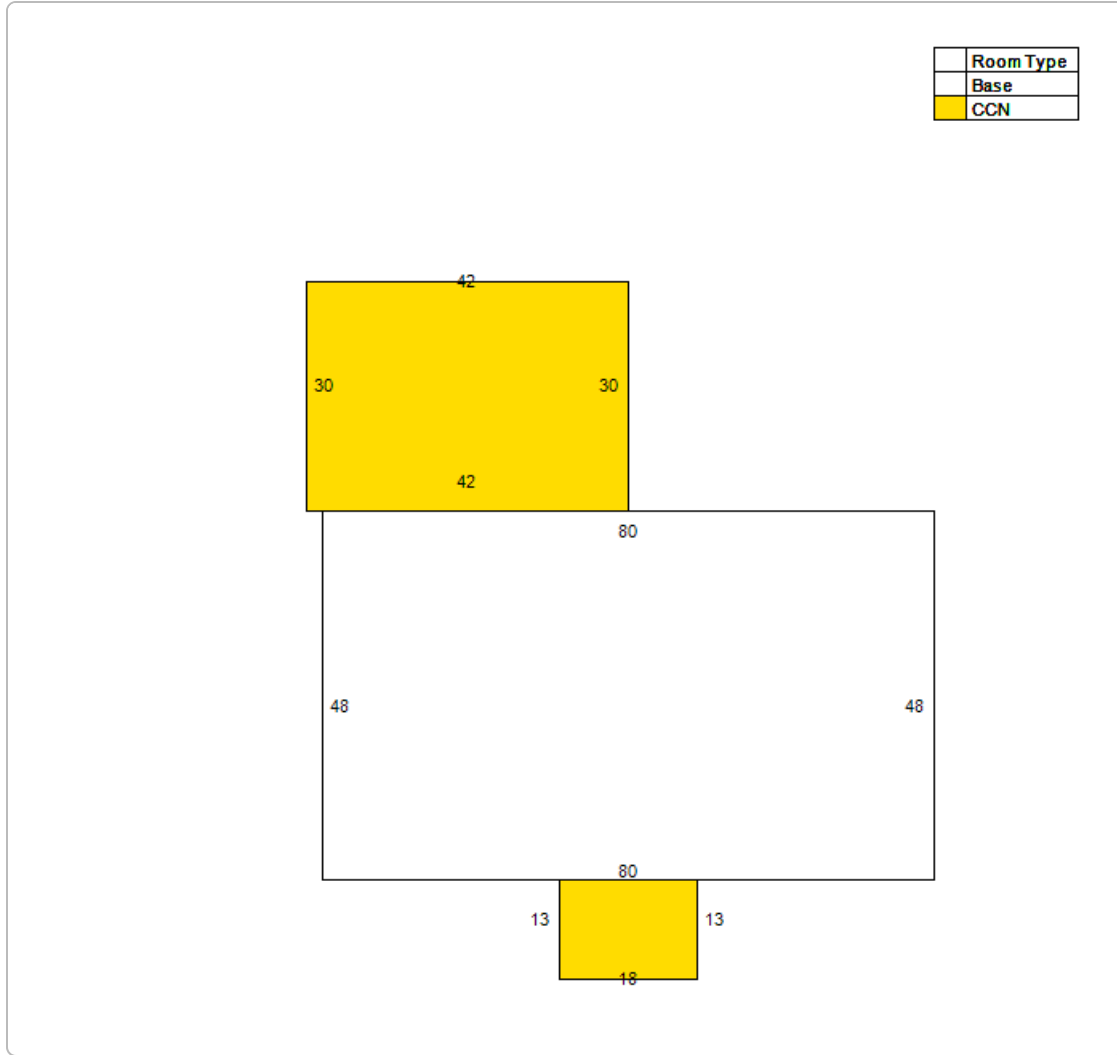
Building Information

Building	1
Building Value	\$473,804
Year Built	1971
Actual Area	5334
Conditioned Area	3840
Use	Stores (Retail)
Style	04
Exterior Wall	Concrete Stucco

Roof Cover	Built Up
Roof Structure	Rigid Frame
Interior Flooring	Marble
Interior Wall	Drywall
Heating Type	Air Duct
Air Conditioning	Central
Bedrooms	
Baths	

Description	Square Footage
FINISHED CANOPY	1260
BASE AREA	3840
FINISHED CANOPY	234
Total SqFt	5334

Sketch Information



Extra Feature Information

Code Description	Status	Value
Concrete Paving - Under 8" (COM)		7795
Asphalt Paving (COM)		32560
Curb (COM)		3072

Land Information

Use Description	Front	Depth	Total Land Units	Unit Type	Land Value
Stores	0	0	55321.2	SF	\$829,818

Sale Information

Recording Date	Sale Date	Sale Price	Instrument Type	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
1/13/2025	1/13/2025	\$4,000,000.00	WARRANTY DEED	6082	1951	U	I	JABEZ ENTERPRISES INC	CITY OF ST AUGUSTINE
	11/20/2009	\$400,000.00	WARRANTY DEED	3261	1542	U	I	BANK OF AMERICA NA	JABEZ ENTERPRISES INC

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